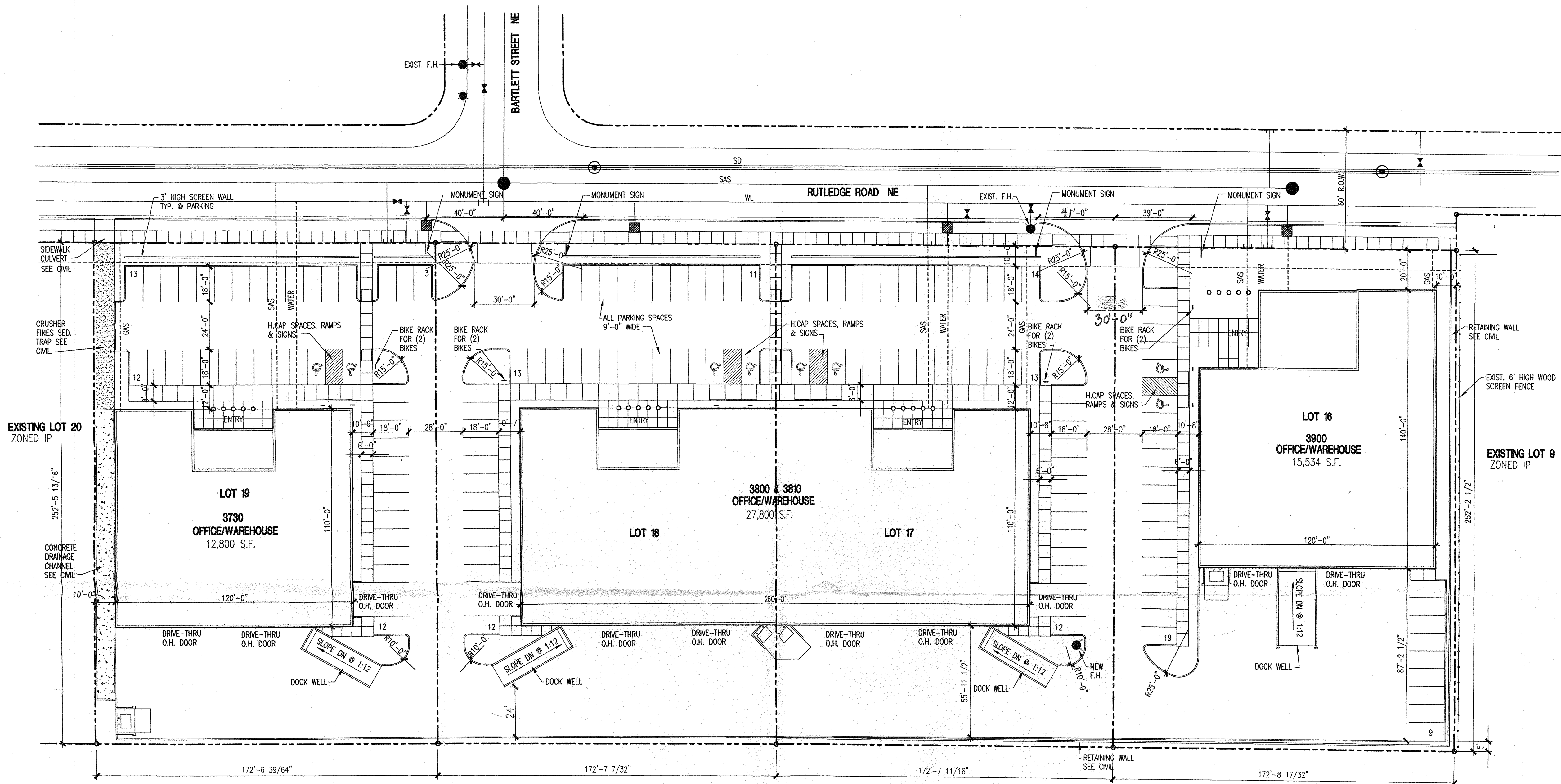
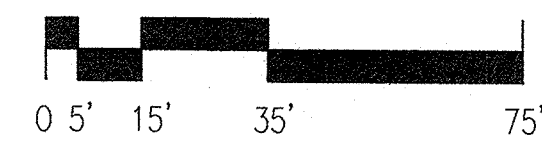




RECIPROCAL ACCESS, PARKING & DRAINAGE
EASEMENTS RECORDED BK-461 PG. 35B
ON JULY 25, 2003.

1 SITE PLAN
1"=30'-0"



PROJECT INFORMATION

PROJECT: INDUSTRIAL PARK @ JOURNAL CENTER 2 NEW OFFICE/WAREHOUSE DEVELOPMENT

LOCATION: 3730, 3800, 3810 & 3900 RUTLEDGE ROAD NE

OWNER: BRUNACINI DEVELOPMENT

ARCHITECT: TATE FISHBURN ARCHITECT

LEGAL DESCRIPTION: LOTS 16, 17, 18 & 19 JOURNAL CENTER 2

CURRENT ZONING CLASSIFICATION: IP

TYPE CONSTRUCTION: TYPE IIN SPRINKLERED

OCCUPANCY: B & S1

ALLOWABLE AREA: 36,000 SQ. FT.
TYPE IIN CONSTRUCTION & B OCCUPANCY = 12,000
TRIPLE FOR SPRINKLER = 36,000

GROSS BUILDING AREA:

3730-	12,800 S.F.
3800 & 3810-	27,800 S.F.
3900-	15,534 S.F.

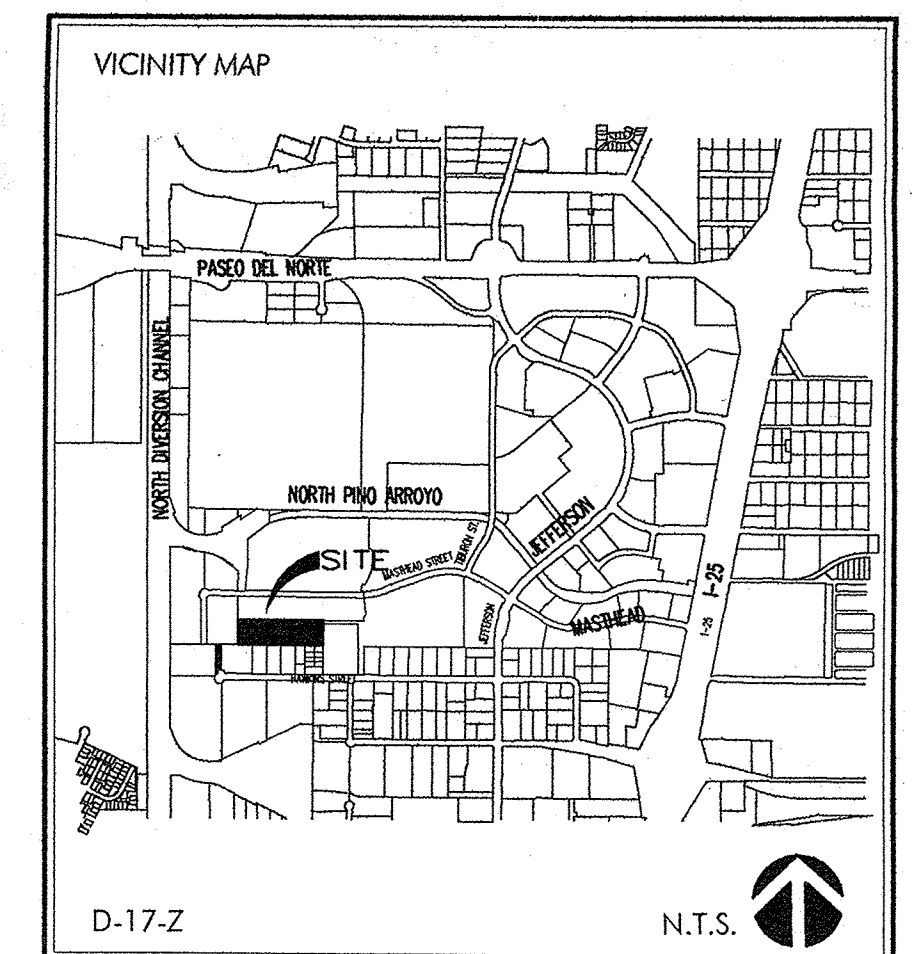
OCCUPANT LOAD: 56,134/500 = 113 OCCUPANTS

TOTAL LOT AREA: 4 ACRES +/-
(4) 1 ACRE LOTS

PARKING ANALYSIS:

WAREHOUSE AREA =	44,904
OFFICE AREA =	11,230
REQUIRED WAREHOUSE = 44,904/2000 =	23
REQUIRED OFFICE = 11,230/200 =	56
TOTAL REQUIRED PARKING SPACES =	79 SPACES
SPACES PROVIDED =	143 SPACES INCLUDING 8 HANDICAP
BIKE PARKING REQUIRED =	4
BIKE PARKING PROVIDED =	8

SITE LIGHTING NOTE: SITE LIGHTING SHALL BE BUILDING MOUNTED WALL PACKS WITH CUT OFF ANGLE THAT WILL NOT ALLOW ANY LIGHT TO SPILL ONTO ADJACENT PROPERTIES.



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PROJECT NO. 1002746

APPLICATION NO. 03DRB-00996

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, Z-79-80-2) AND THE IP ZONE. IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 27, 2003, AS REFLECTED IN DDP 1002746.

R. H. Dine 8-01-03
TRAFFIC ENGINEER, TRANSPORTATION DIVISION

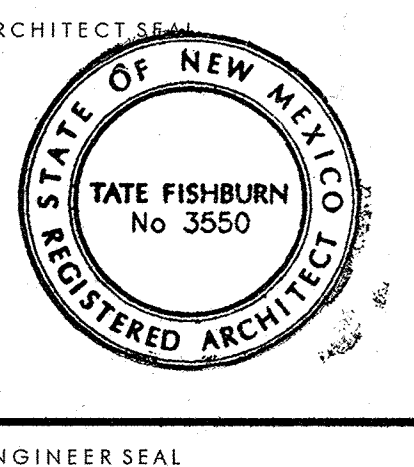
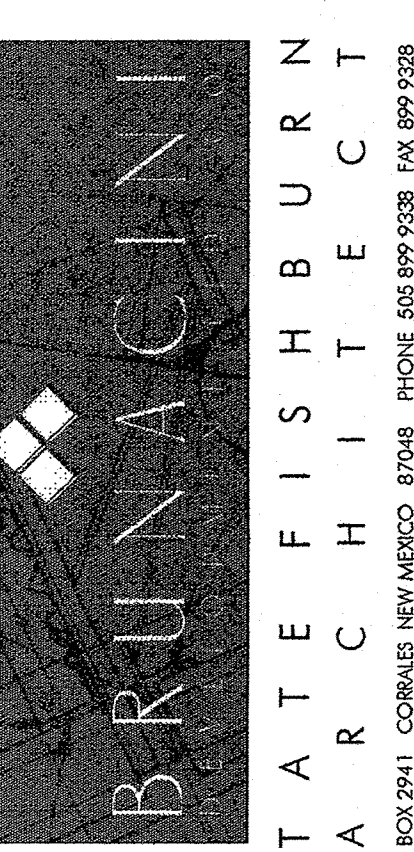
Christina Sandoval 6/25/03
PUBLIC WORKS, WATER UTILITIES DIVISION

Roger A. Green 6/25/03
PUBLIC WORKS, WATER UTILITIES DIVISION

Brenda J. Byler 6/25/03
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA

Sharon Matson 8/1/03
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT

APPROVED & CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL



SITE DEVELOPMENT PLAN FOR
INDUSTRIAL PARK @ JOURNAL CENTER 2
LOTS 16-19, JOURNAL CENTER 2
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE JUNE 17, 2003

SCALE 1"=30'-0"

DRAWING NAME SITE DEVELOPMENT PLAN

SHEET NUMBER

SDP-1

PROJECT INFORMATION

PROJECT: INDUSTRIAL PARK @ JOURNAL CENTER 2 NEW OFFICE/WAREHOUSE DEVELOPMENT

LOCATION: 3730, 3800, 3810 & 3900 RUTLEDGE ROAD NE

OWNER: BRUNACINI DEVELOPMENT

ARCHITECT: TATE FISHBURN ARCHITECT

LEGAL DESCRIPTION: LOTS 16, 17, 18 & 19 JOURNAL CENTER 2

CURRENT ZONING CLASSIFICATION: IP

TYPE CONSTRUCTION: TYPE IIN SPRINKLERED

OCCUPANCY: B & S1

ALLOWABLE AREA: 36,000 SQ. FT.

TYPE IIN CONSTRUCTION & B OCCUPANCY = 12,000

TRIPLE FOR SPRINKLER = 36,000

GROSS BUILDING AREA:

3730-	12,800 S.F.
3800 & 3810-	27,800 S.F.
3900-	15,534 S.F.

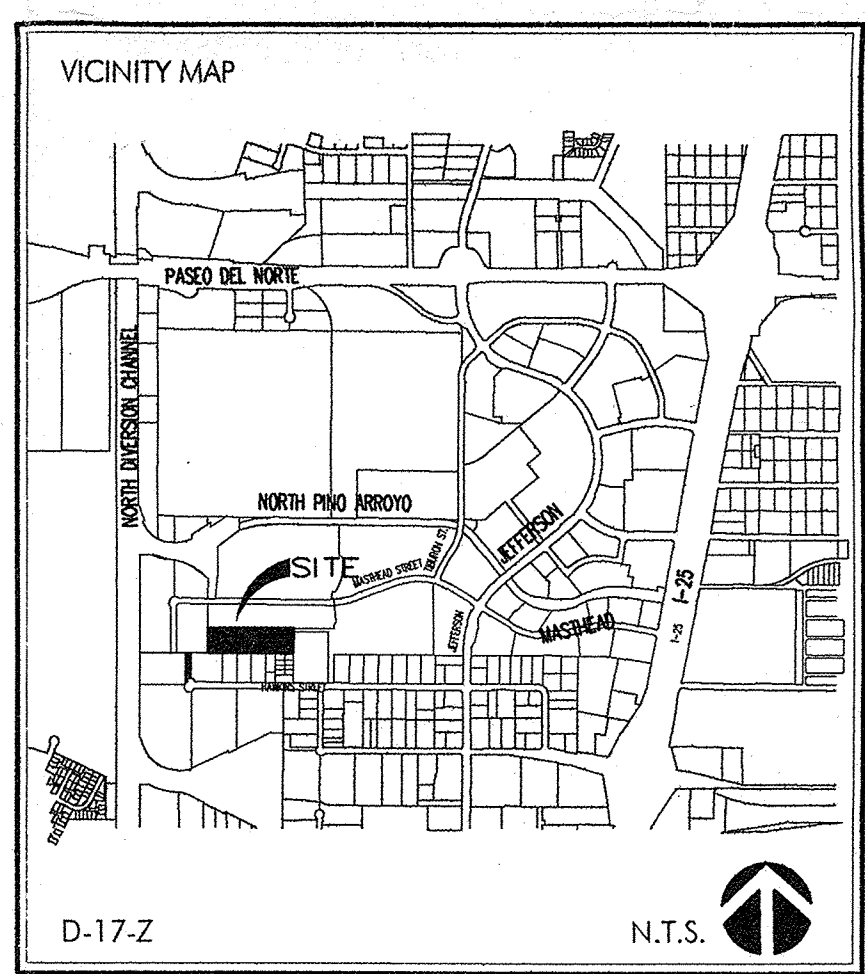
OCCUPANT LOAD: 56,134/500 = 113 OCCUPANTS

TOTAL LOT AREA: 4 ACRES +/- (4) 1 ACRE LOTS

PARKING ANALYSIS:

WAREHOUSE AREA =	44,904
OFFICE AREA =	11,230
REQUIRED WAREHOUSE = 44,904/2000 =	23
REQUIRED OFFICE = 11,230/200 =	56
TOTAL REQUIRED PARKING SPACES =	79 SPACES
SPACES PROVIDED =	143 SPACES INCLUDING 8 HANDICAP
BIKE PARKING REQUIRED =	4
BIKE PARKING PROVIDED =	8

SITE LIGHTING NOTE: SITE LIGHTING SHALL BE BUILDING MOUNTED WALL PACKS WITH CUT OFF ANGLE THAT WILL NOT ALLOW ANY LIGHT TO SPILL ONTO ADJACENT PROPERTIES.



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

PROJECT NO. 1002746

APPLICATION NO. 03DRB-00996

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AK-79-13, 7-79-80-2) AND THE IP ZONE. IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON JUNE 23, 2003, AS REFLECTED IN DBP 1002746

Roll Dine 8-01-03
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE

Christina Sandora 6/25/03
PUBLIC WORKS, WATER UTILITIES DIVISION DATE

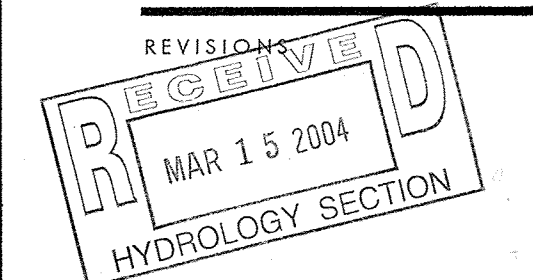
Roger A. Green 6/25/03
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE

Brady J. Bryan 6/25/03
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE

SOLID WASTE DATE

APPROVED & CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL

Sherrin Matson 8/1/03
CITY PLANNER, ALBUQUERQUE PLANNING DEPARTMENT DATE



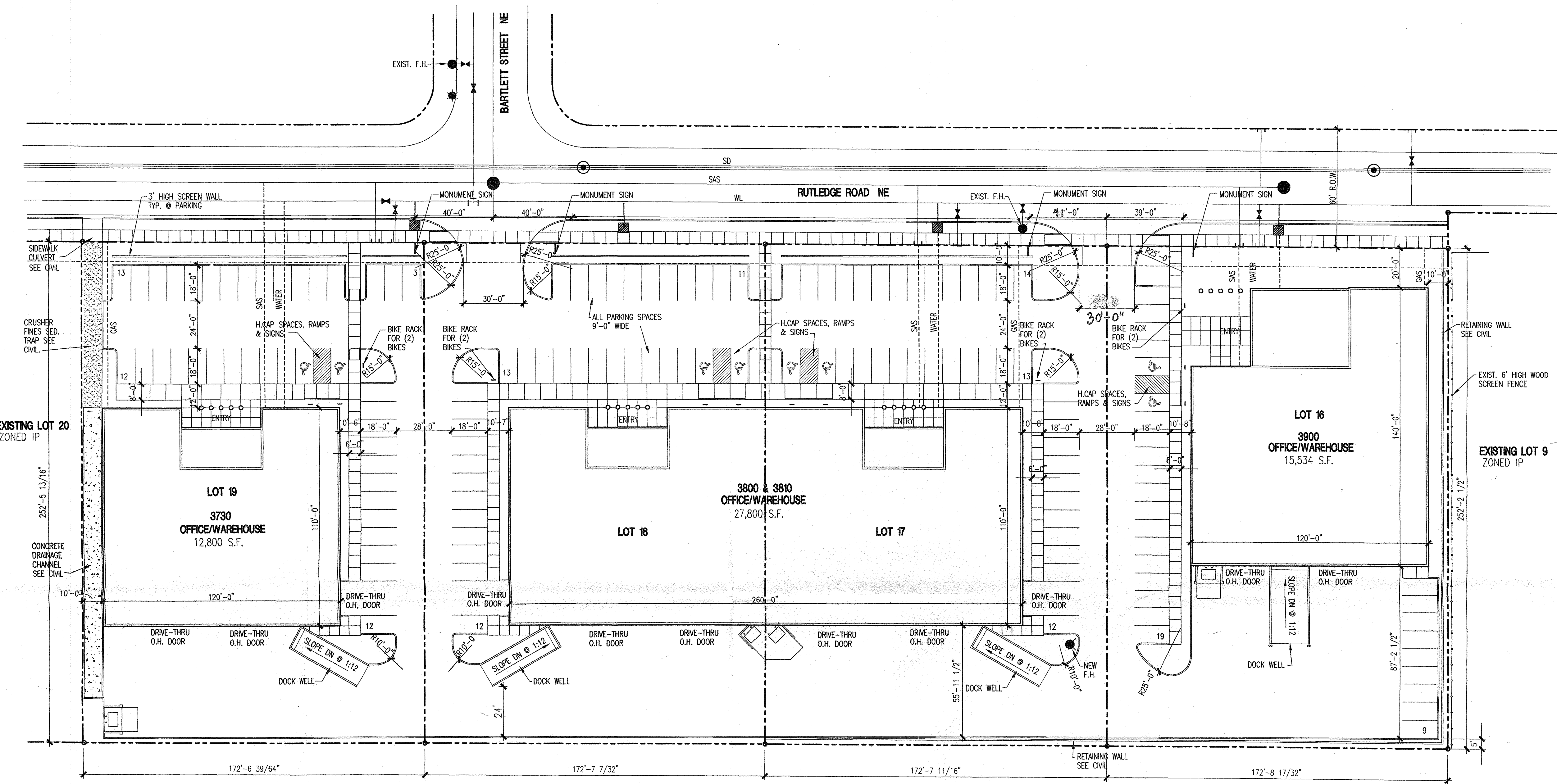
REVISION: MAR 15 2004 HYDROLOGY SECTION

DATE: JUNE 17, 2003

NORTH SCALE: 1"=30'-0"

DRAWING NAME: SITE DEVELOPMENT PLAN

SHEET NUMBER: SDP-1



RECIPROCAL ACCESS, PARKING & DRAINAGE EASEMENTS RECORDED BK-A61 PG. 358 ON JULY 25, 2003.

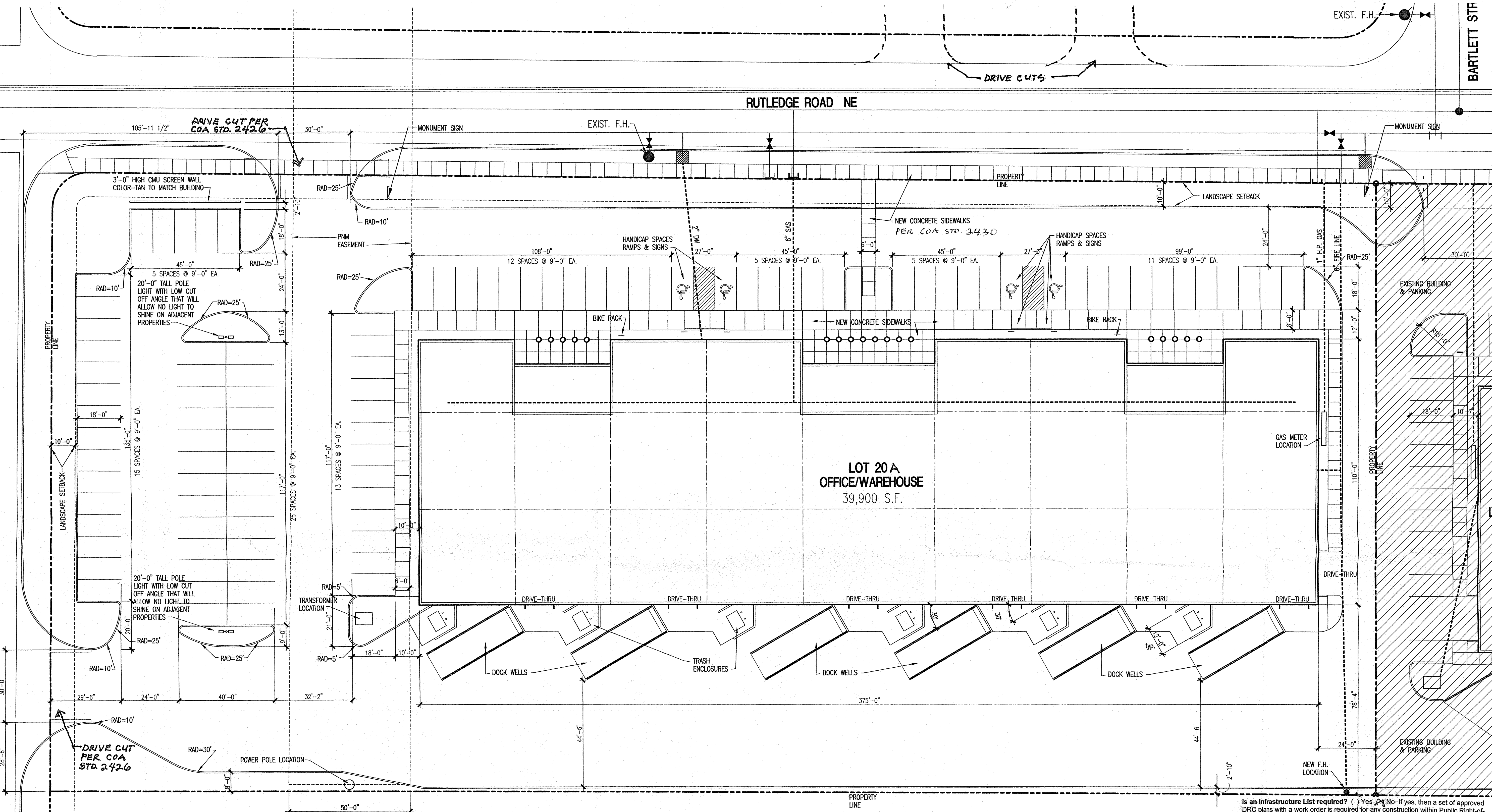
1 SITE PLAN
1"=30'-0"

0 5' 15' 35' 75'

SNAPROLL STREET

RUTLEDGE ROAD NE

BARTLETT ST



PROJECT INFORMATION

PROJECT: NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT

LOCATION: 3700 RUTLEDGE ROAD, N.E. ALBUQUERQUE, NM

OWNER: BRUNACINI DEVELOPMENT

ARCHITECT: TATE FISHBURN ARCHITECT

LEGAL DESCRIPTION: LOT 20A JOURNAL CENTER 2

CURRENT ZONING CLASSIFICATION: IP

TYPE CONSTRUCTION: TYPE IIB SPRINKLERED

OCCUPANCY: B & S2

ALLOWABLE AREA: 36,000 SQ. FT.
TYPE IIB CONSTRUCTION & B OCCUPANCY = 23,000
TRIPLE FOR SPRINKLER = 69,000

GROSS BUILDING AREA: 39,900 S.F.

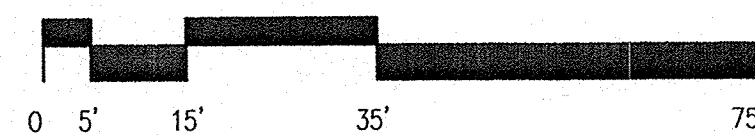
OCCUPANT LOAD:
WAREHOUSE = 29,925/500 = 60 OCCUPANTS
FUTURE OFFICE = 9,975/100 = 100 OCCUPANTS

NOTE: SITE LIGHTING SHALL BE BUILDING MOUNTED WALL PACKS AND POLE LIGHTS WITH CUT OFF ANGLE THAT WILL NOT ALLOW ANY LIGHT TO SPILL ONTO ADJACENT PROPERTIES.

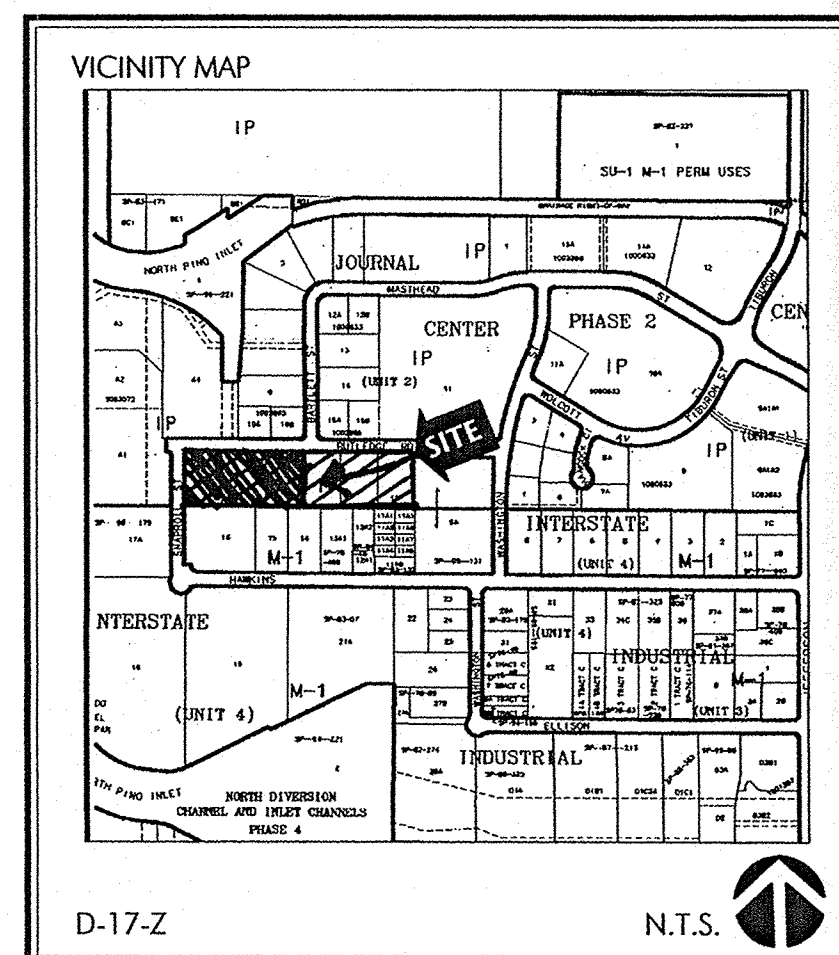
TOTAL LOT AREA: 3.2 ACRES +/-

PARKING ANALYSIS:
WAREHOUSE AREA = 29,925
OFFICE AREA = 9,975
REQUIRED WAREHOUSE = 29,925/2000 = 15
REQUIRED OFFICE = 9,975/200 = 50
TOTAL REQUIRED PARKING SPACES = 65 SPACES
SPACES PROVIDED = 96 SPACES INCLUDING 4 HANDICAP

RELATED CASE: DRB-1002746
03DRB-00996



1 SITE PLAN
1"=20'-0"



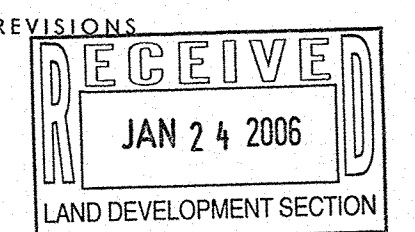
Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

PROJECT NO. 1004159
APPLICATION NO. 05DRB-00736
THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 18, 1980 (AX-79-13, Z-79-80-2) AND THE IP ZONE. IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON 2005, AS REFLECTED IN DRB

APPROVALS:
Christine Sandoval, 5/11/05, DATE
Rogers & Hearn, 5-11-05, DATE
Bradley J. Bingham, 5/11/05, DATE
Michael Hutton, 5-11-05, DATE
P. Matson, 6/14/05, DATE

APPROVAL & CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL

SITE PLAN FOR BUILDING PERMIT FOR BRUNACINI DEVELOPMENT LOT 20- 3700 RUTLEDGE ROAD, N.E. ALBUQUERQUE, NEW MEXICO



DATE: MAY 11, 2005
SCALE: 1"=20'-0"
DRAWING NAME: SITE PLAN FOR BUILDING PERMIT
SHEET NUMBER: SDP-1

BRUNACINI
TATE FISHBURN
ARCHITECT

