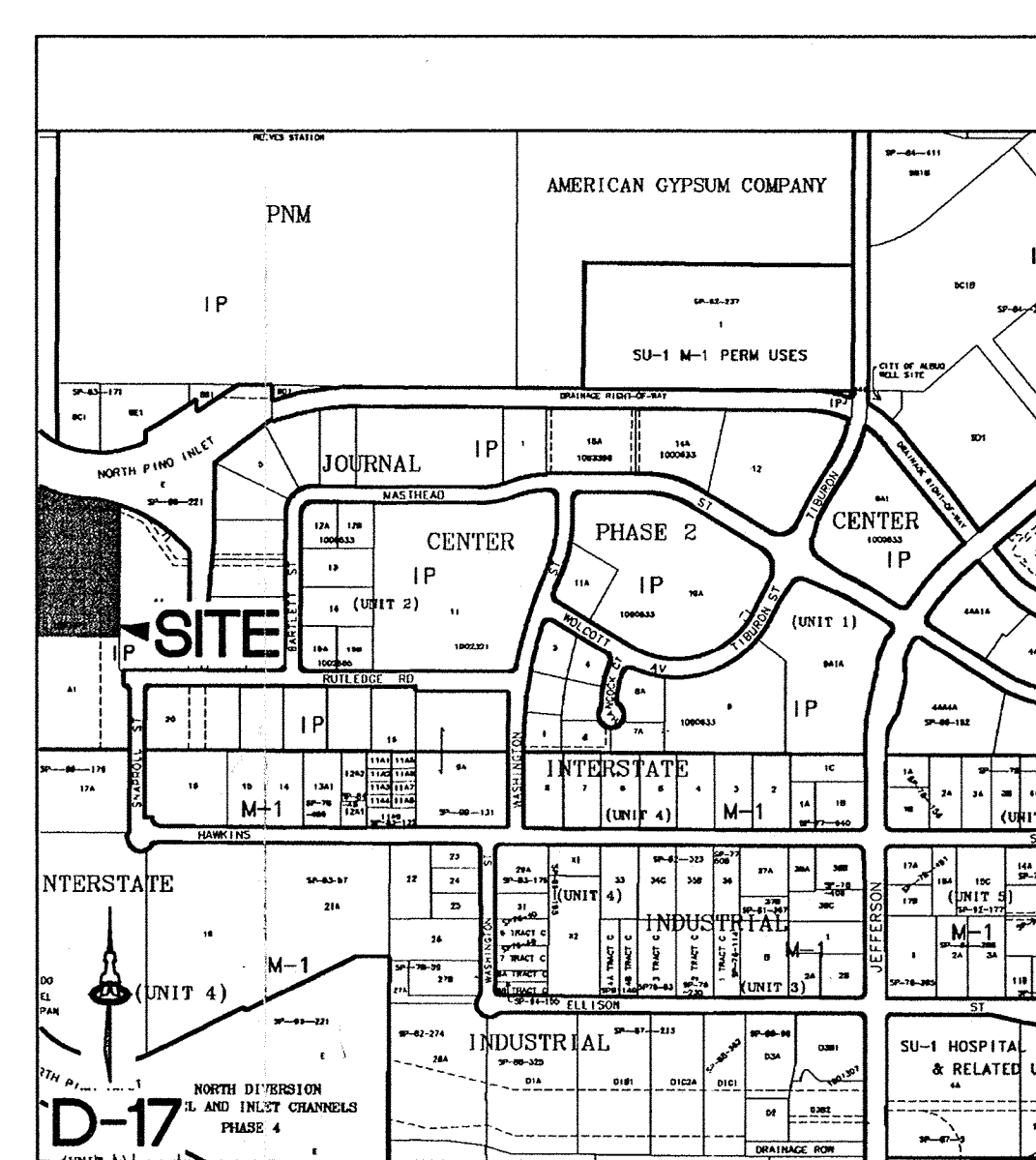
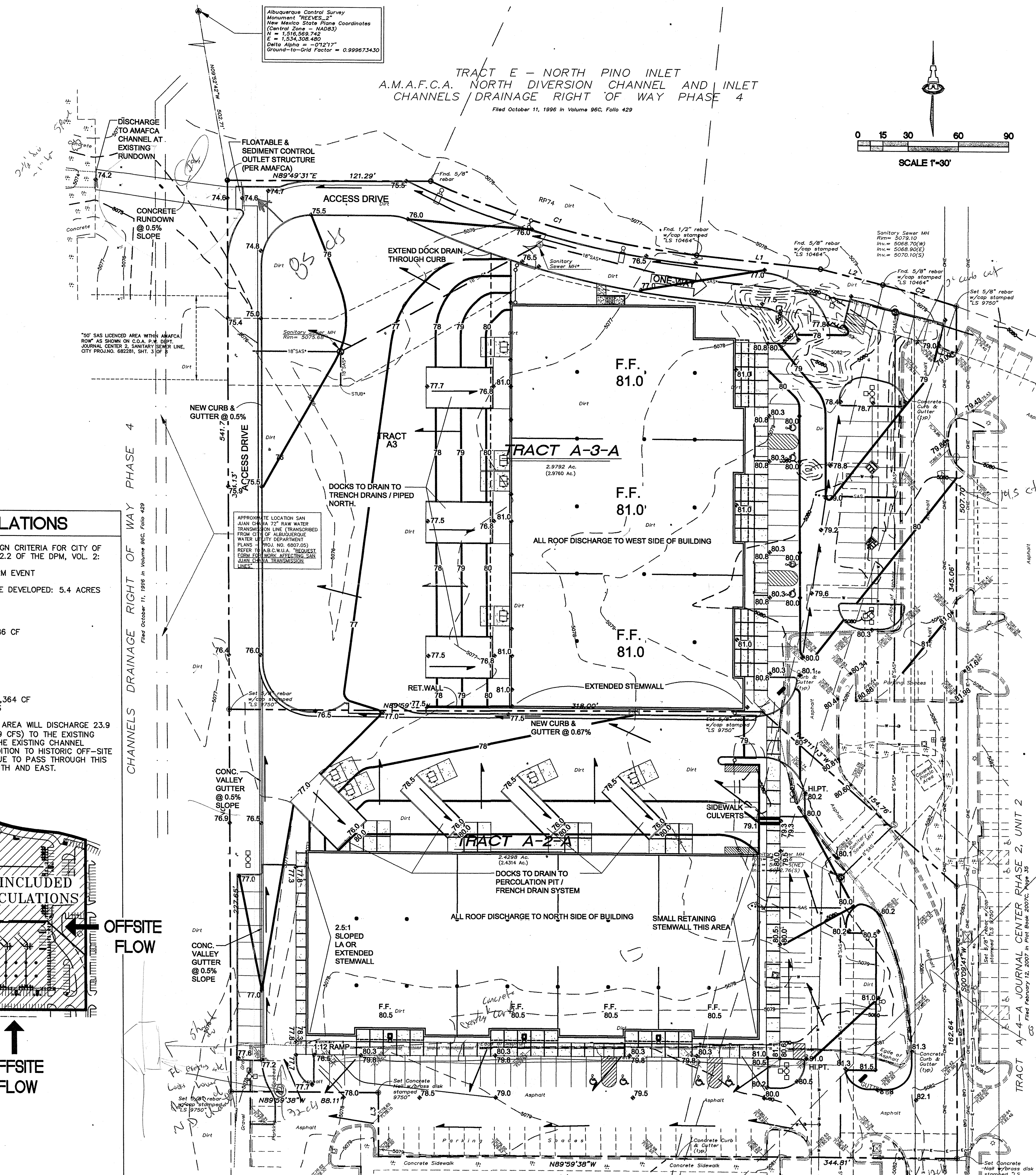




PROJECT INFORMATION

PROPERTY OWNER: GA BRUNACINI DEVELOPMENT
ARCHITECT: CLAUDIO VIGIL ARCHITECTS
SURVEYOR: SURV-TEC CONSULTING SURVEYORS 505-897-3366

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-17-Z. THE SITE CONSISTS OF TRACTS A2 AND A3 OF THE BRUNACINI JOURNAL CENTER PROPERTY. IT IS BOUND TO THE EAST AND NORTH BY DEVELOPED COMMERCIAL PROPERTY, TO THE WEST BY THE AMAFCA NORTH DIVERSION CHANNEL, AND TO THE SOUTH BY DEVELOPED STATE OF NM PROPERTY AND TO THE NORTH BY THE NORTH PINO DRAINAGE R.O.W.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE TWO NEW COMMERCIAL / INDUSTRIAL BUILDINGS, SITE WALKS, PAVING AND ASSOCIATED LANDSCAPING.

LEGAL: TRACTS A-2-A AND A-3-A JOURNAL CENTER, PHASE 2, UNIT 2 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ADDRESS: 9721 RUTLEDGE ST. NE

BENCHMARK: VERTICAL DATUM IS BASED ON CITY OF ALBUQUERQUE CONTROL STATION MONUMENT "13-D16", ELEVATION = 5,073.471 (NAVD 1988).

OFF-SITE DRAINAGE: OFF-SITE DRAINAGE WILL CONTINUE TO PASS THROUGH THE PROPERTY WHICH IS COVERED BY A BLANKET DRAINAGE EASEMENT.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #136, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN. THE A.M.A.F.C.A. DIVERSION CHANNELS AT THE WEST AND NORTH BOUNDARIES ARE DESIGNATED AS ZONE 'A' (NO BASE FLOOD ELEVATIONS DETERMINED) CONFINED TO THE CONSTRUCTED CHANNEL.

DRAINAGE PLAN CONCEPT:

THE EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED WITH ALL STORM WATER DIRECTED NORTH WITHIN THE PROPOSED PAVEMENT TO DISCHARGE TO THE ARROYO SYSTEM AT THE EXISTING ARROYO RUNDOWN).

- GENERAL NOTES**
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
 - ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
 - ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
 - FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
 - MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
 - EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
 - THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
 - ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
 - ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD DRAINAGE AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS TO EXISTING SHALL BE SMOOTH AND LEVEL.
 - ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
 - SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED. TYPICAL NO SLOPE STEEPER THAN 2:1.
 - OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

CALCULATIONS

BASED ON DRAINAGE DESIGN CRITERIA FOR CITY OF ALBUQUERQUE, SECTION 22.2 OF THE DPM, VOL. 2:

100 YEAR, 24 HOUR STORM EVENT

AREA OF PROPERTY TO BE DEVELOPED: 5.4 ACRES

EXISTING CONDITIONS:

100% TREATMENT C

HISTORIC VOLUME = 22,186 CF

HISTORIC Q=17.0 CFS

PROPOSED CONDITIONS:

5% TREATMENT B

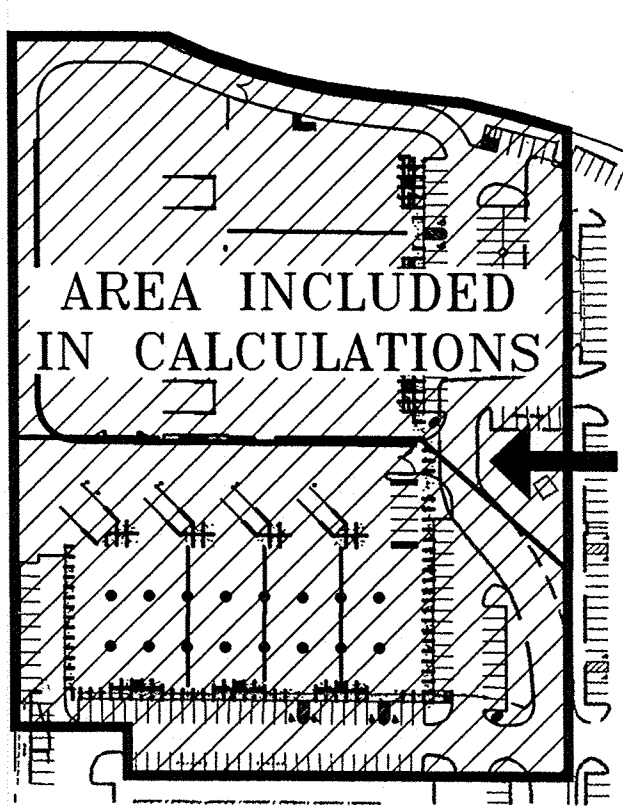
10% TREATMENT C

85% TREATMENT D

DEVELOPED VOLUME = 38,364 CF

DEVELOPED Q = 23.9 CFS

THE OVERALL DEVELOPED AREA WILL DISCHARGE 23.9 CFS (AN INCREASE OF 6.9 CFS) TO THE EXISTING DRAINAGE CHANNEL AT THE EXISTING CHANNEL RUNDOWN. THIS IS IN ADDITION TO HISTORIC OFF-SITE FLOW WHICH WILL CONTINUE TO PASS THROUGH THIS PROPERTY FROM THE SOUTH AND EAST.



CLAUDIO VIGIL ARCHITECTS

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Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

OWNERSHIP OF INSTRUMENTS OF SERVICE

All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1756 CG-101-SOP.dwg Feb 25, 2010

PROFESSIONAL SEAL

FRED C. ARFMAN
NEW MEXICO
7322
03-01-10

BRUNACINI JOURNAL CENTER

OFFICE BUILDING
TRACTS A2 & A3
9721 RUTLEDGE STREET, N.E.
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 09175
DRAWING FILE: BJB
DRAWN BY: BJB
CHECK BY: FCA
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2009
DATE: FEBRUARY 26, 2010

SHEET TITLE

PRELIMINARY GRADING AND DRAINAGE PLAN

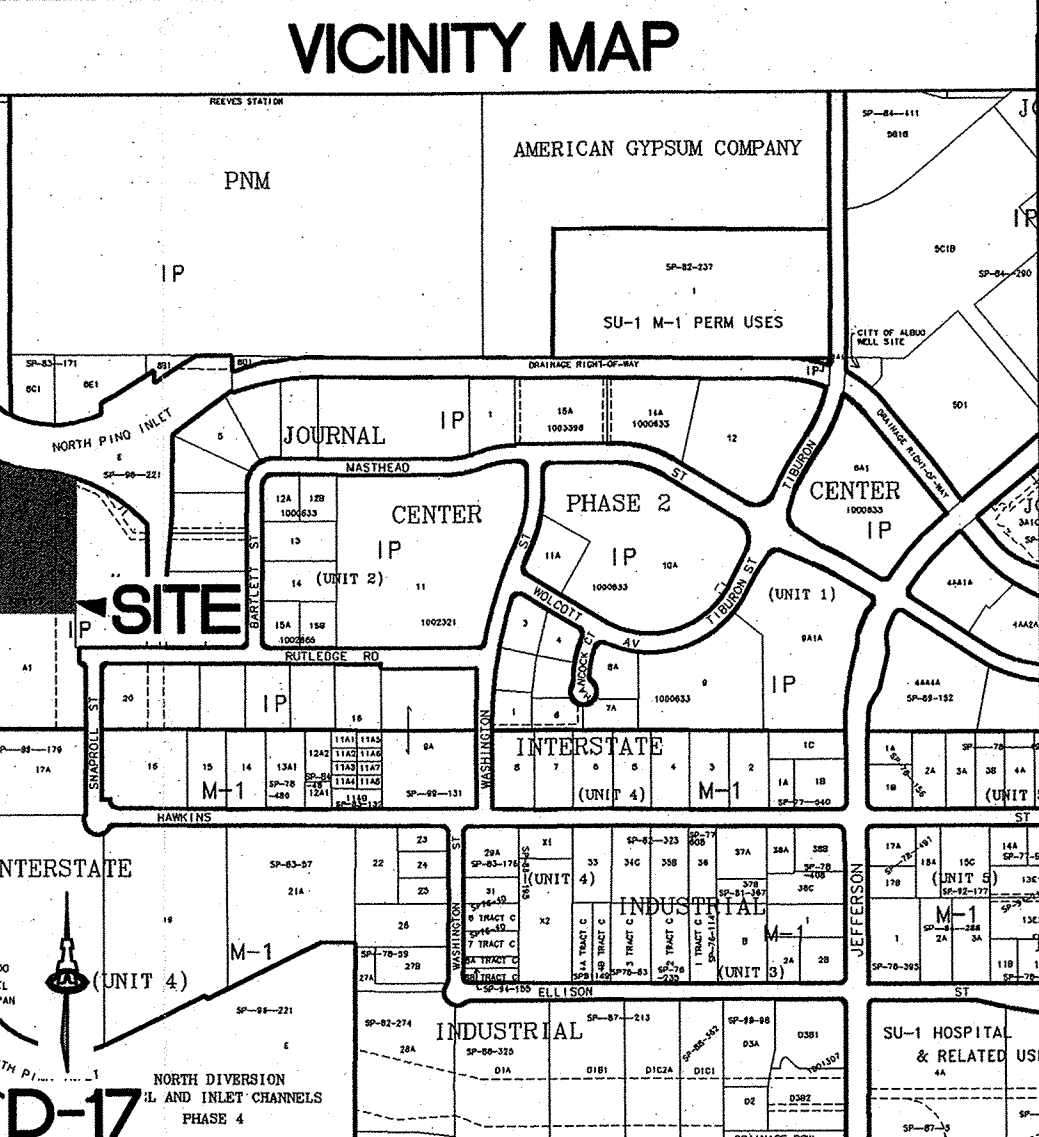
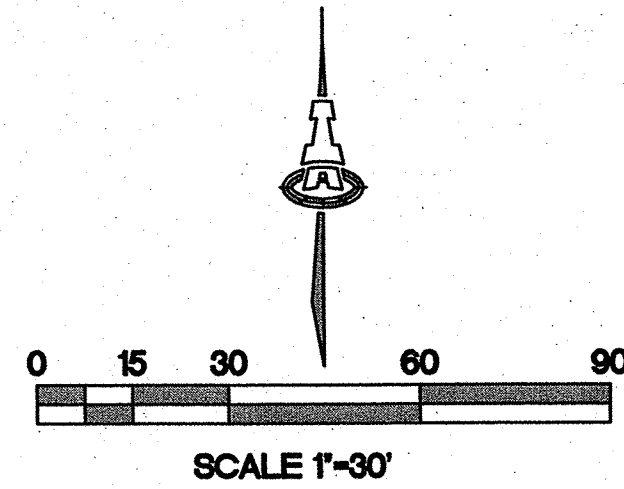
SHEET NUMBER

3 OF 5

1. have map met in 1999 w/ center 145
for front 44 (D17/003344) 8.11, 145
2. 93 44 D17/0033 444

Albuquerque Control Survey
Monument "TRES-2"
New Mexico State Plane Coordinates
(Central Zone - NAD83)
N = 1,516,569.742
E = 1,534,308.480
Delta Alpha = -0°21'17"
Ground-to-Grid Factor = 0.999873430

TRACT E - NORTH PINO INLET
A.M.A.F.C.A. NORTH DIVERSION CHANNEL AND INLET
CHANNELS / DRAINAGE RIGHT OF WAY PHASE 4
Filed October 11, 1998 in Volume 96C, Folio 429



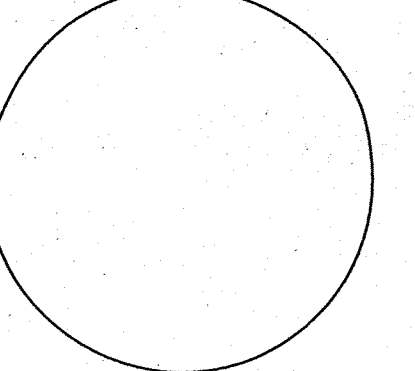

**CLAUDIO VIGIL
ARCHITECTS**

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1756 CG-101-SOP.dwg Jan 26, 2011

PROFESSIONAL SEAL



**BRUNACINI
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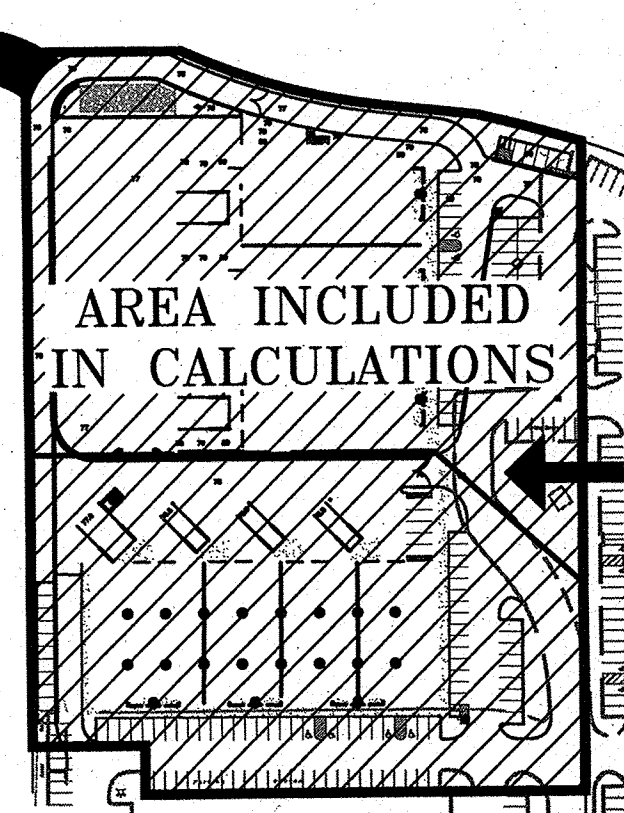
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DRAWN BY: FCA
CHECK BY: FCA
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2009
DATE: FEBRUARY 28, 2010

SHEET TITLE
**PRELIMINARY
GRADING AND DRAINAGE
PLAN**

SHEET NUMBER
3 OF 5

CALCULATIONS

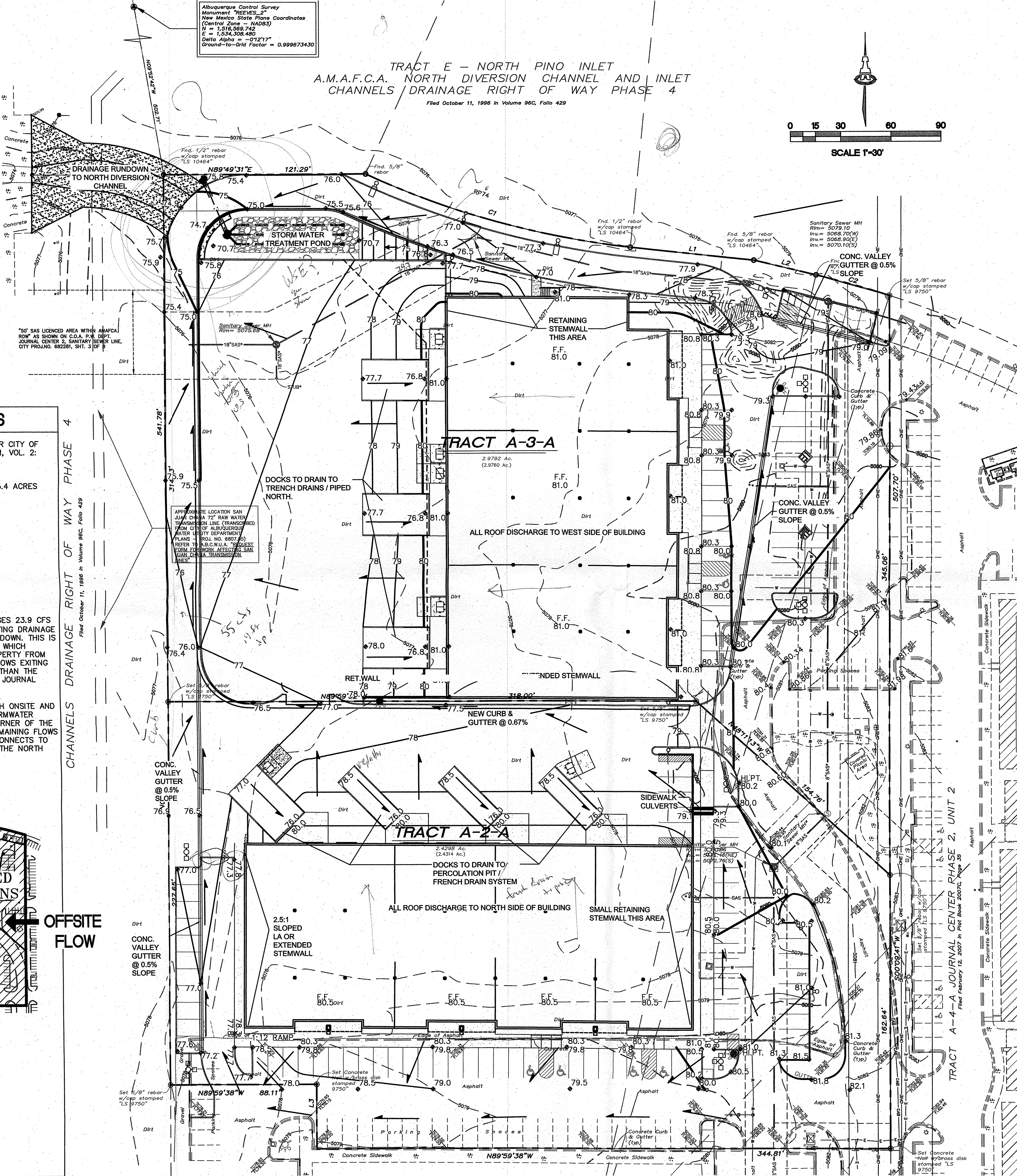
BASED ON DRAINAGE DESIGN CRITERIA FOR CITY OF ALBUQUERQUE, SECTION 22.2 OF THE DPM, VOL. 2:
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5% TREATMENT B
10% TREATMENT C
85% TREATMENT D
DEVELOPED VOLUME = 38,364 CF
DEVELOPED Q = 23.9 CFS
THE OVERALL DEVELOPED AREA DISCHARGES 23.9 CFS (AN INCREASE OF 6.9 CFS) TO THE EXISTING DRAINAGE CHANNEL AT THE EXISTING CHANNEL RUNDOWN. THIS IS IN ADDITION TO HISTORIC OFF-SITE FLOW WHICH CONTINUES TO PASS THROUGH THIS PROPERTY FROM THE SOUTH AND EAST. THE COMBINED FLOWS EXITING THE SITE ARE 74.0 CFS, WHICH IS LESS THAN THE ALLOWED DISCHARGE ACCORDING TO THE JOURNAL CENTER MASTER PLAN.
THE 0.5" STORM (FIRST FLUSH) FOR BOTH ONSITE AND OFFSITE FLOWS ARE DIRECTED TO A STORMWATER TREATMENT POND IN THE NORTHWEST CORNER OF THE SITE. THE TREATED WATER AND THE REMAINING FLOWS EXIT THE SITE VIA A RUNDOWN, WHICH CONNECTS TO THE EXISTING RUNDOWN IS THE SIDE OF THE NORTH DIVERSION CHANNEL.



OFFSITE
FLOW

OFFSITE
FLOW

CHANNELS DRAINAGE RIGHT OF WAY PHASE 4
Filed October 11, 1998 in Volume 96C, Folio 429



PROJECT INFORMATION

PROPERTY OWNER: GA BRUNACINI DEVELOPMENT
ARCHITECT: CLAUDIO VIGIL ARCHITECTS
SURVEYOR: SURV-TEK CONSULTING SURVEYORS 505-897-3366

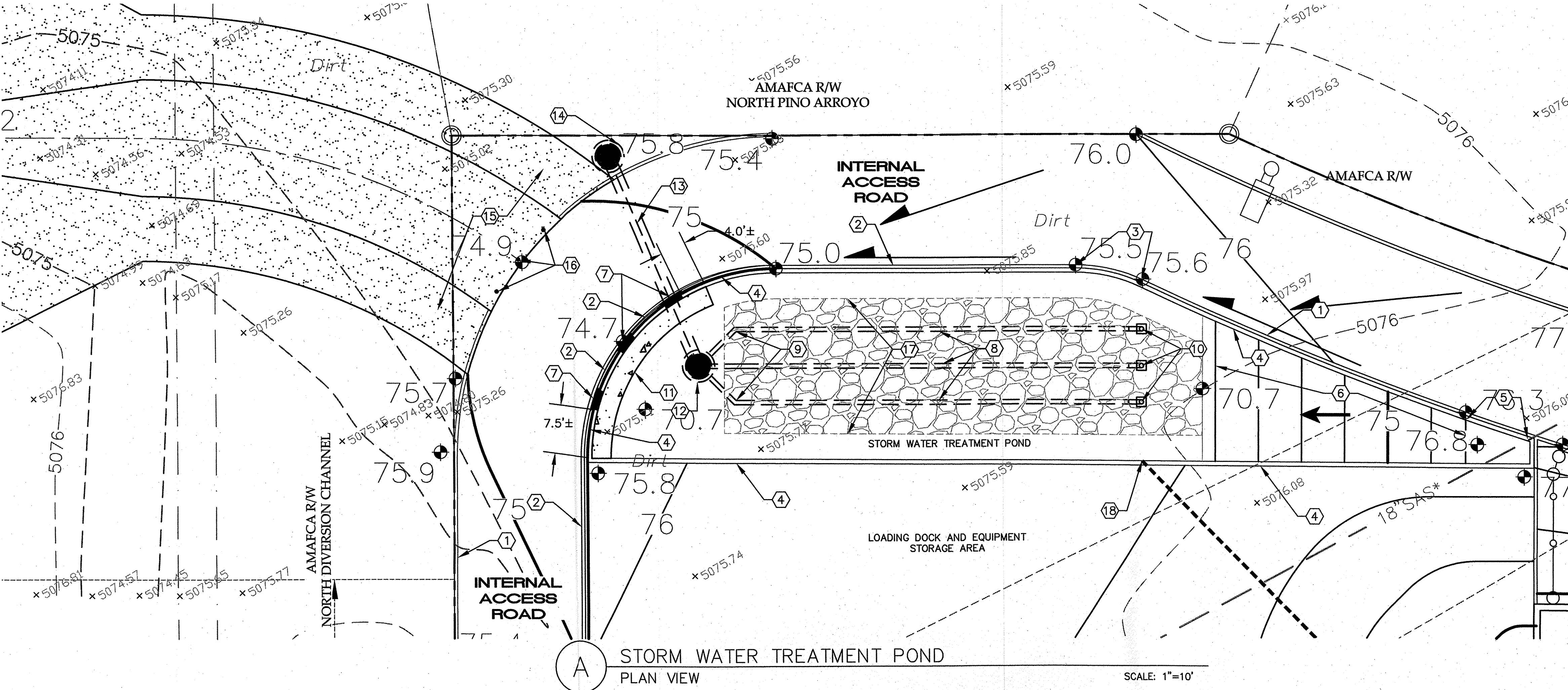
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LEGAL: TRACTS A-2-A AND A-3-A JOURNAL CENTER, PHASE 2, UNIT 2 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
ADDRESS: 9721 RUTLEDGE ST. NE

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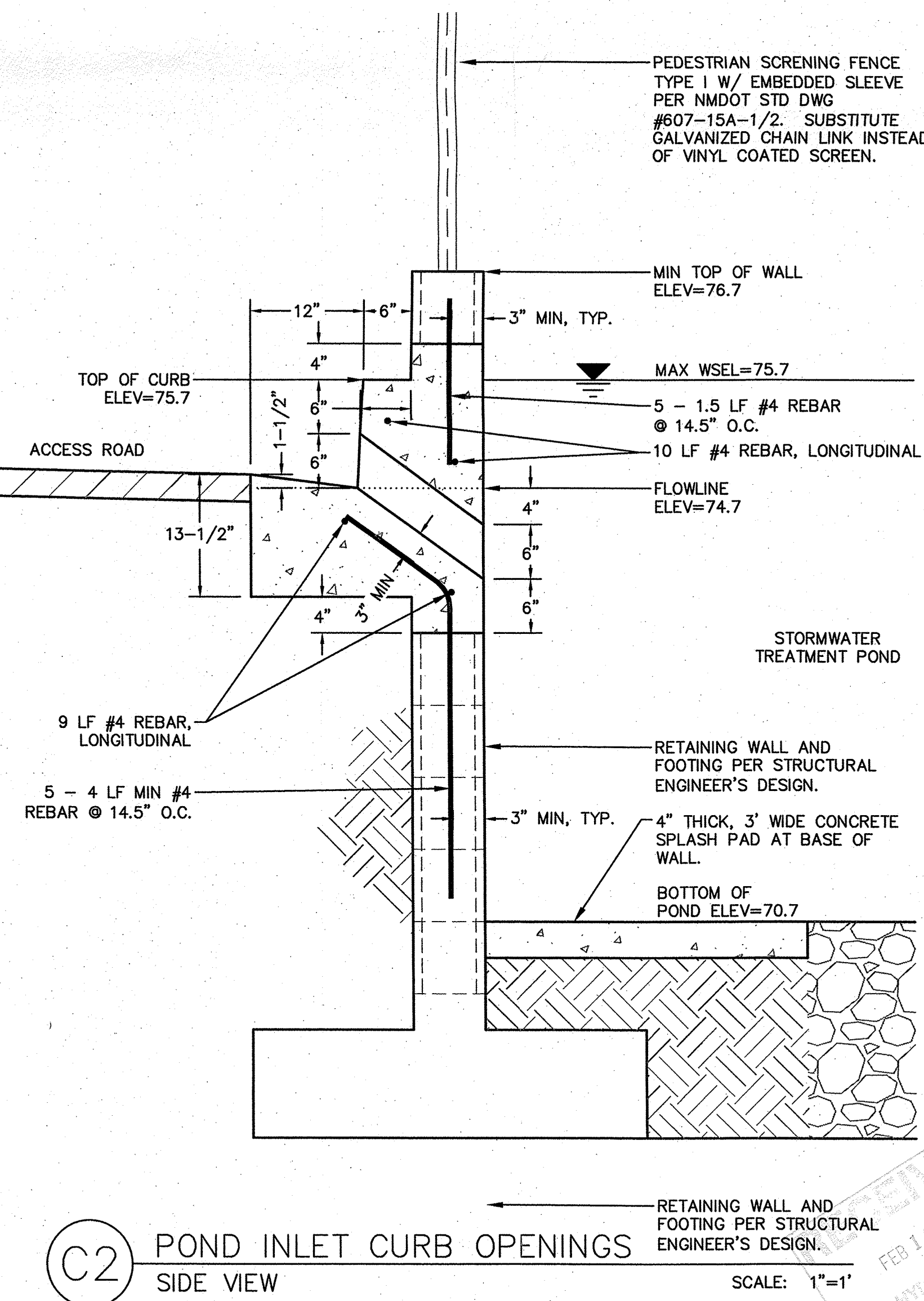
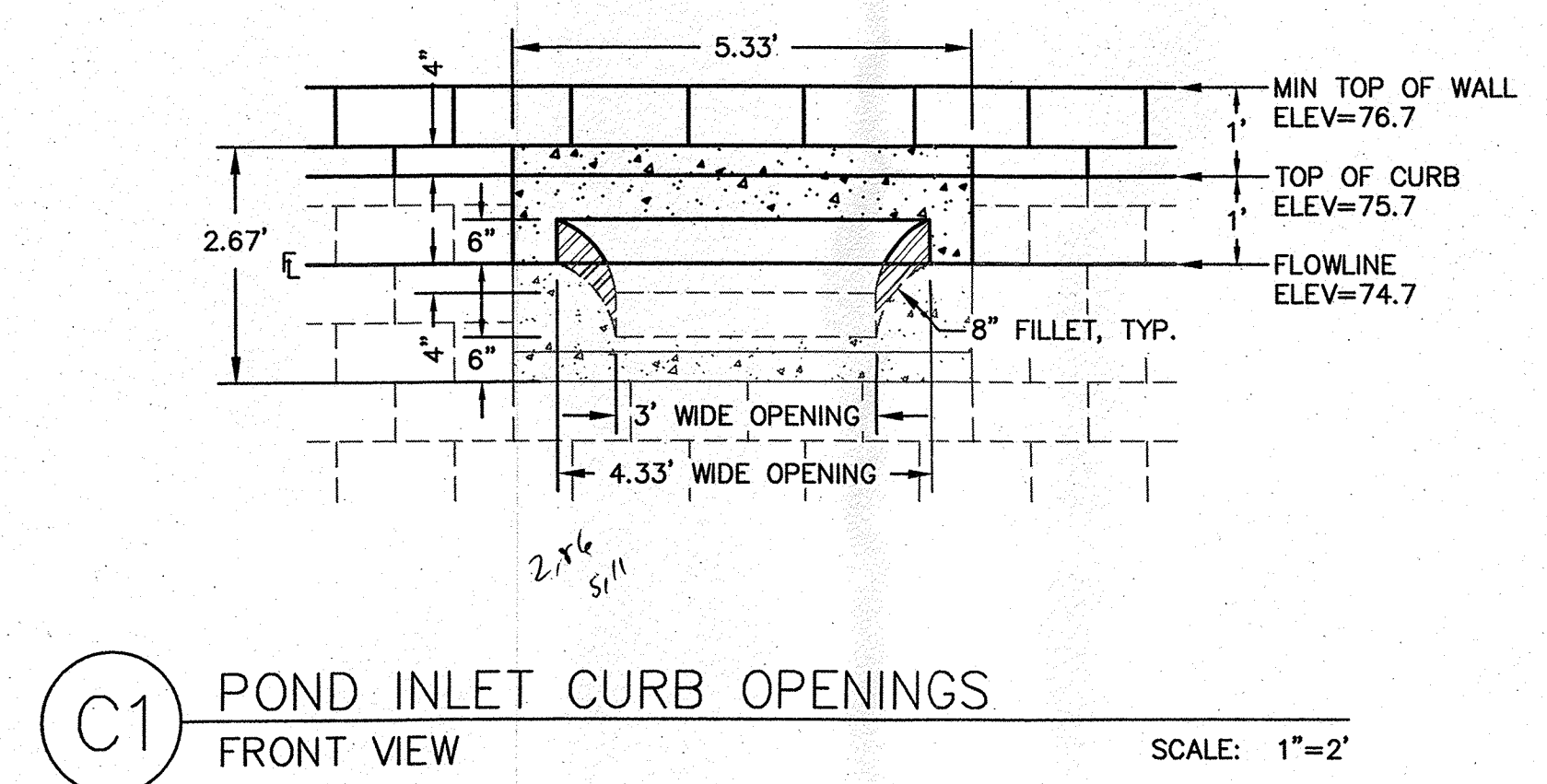
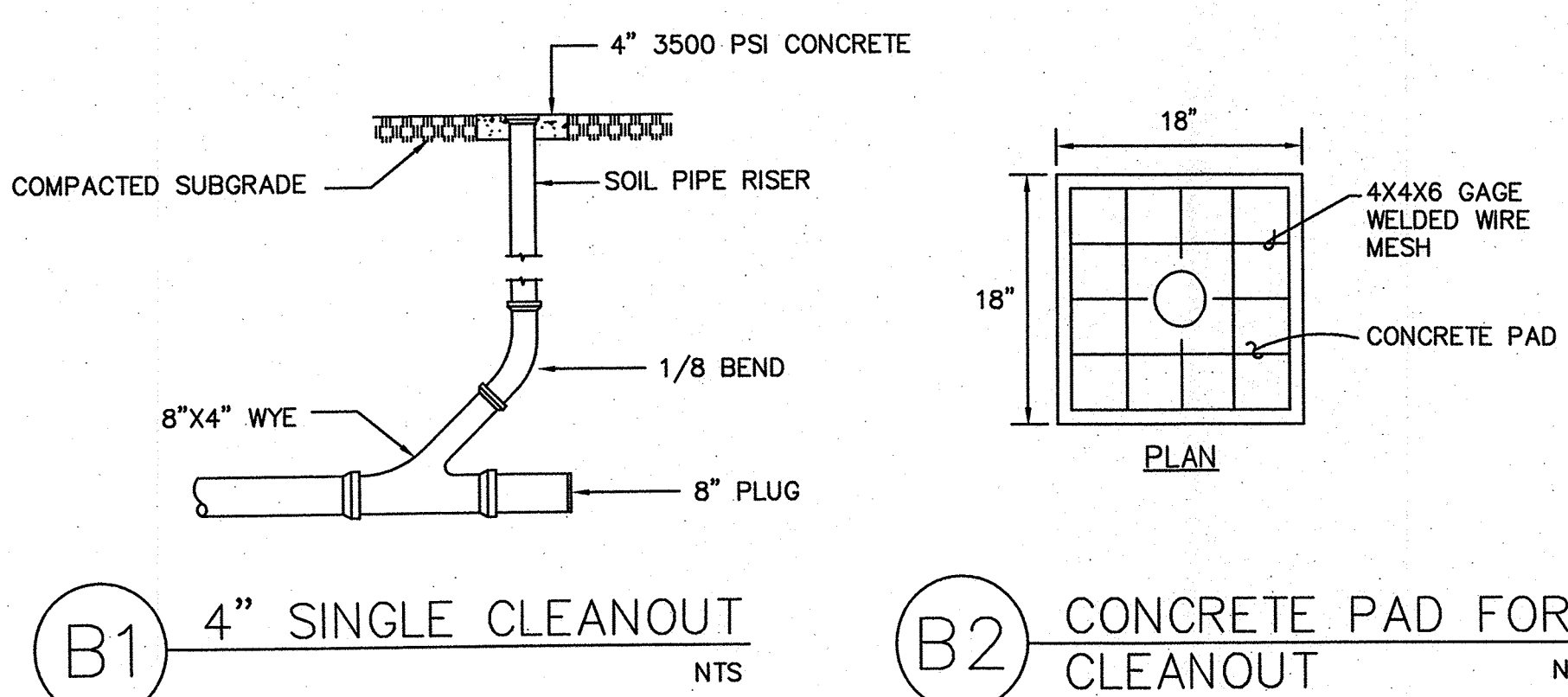
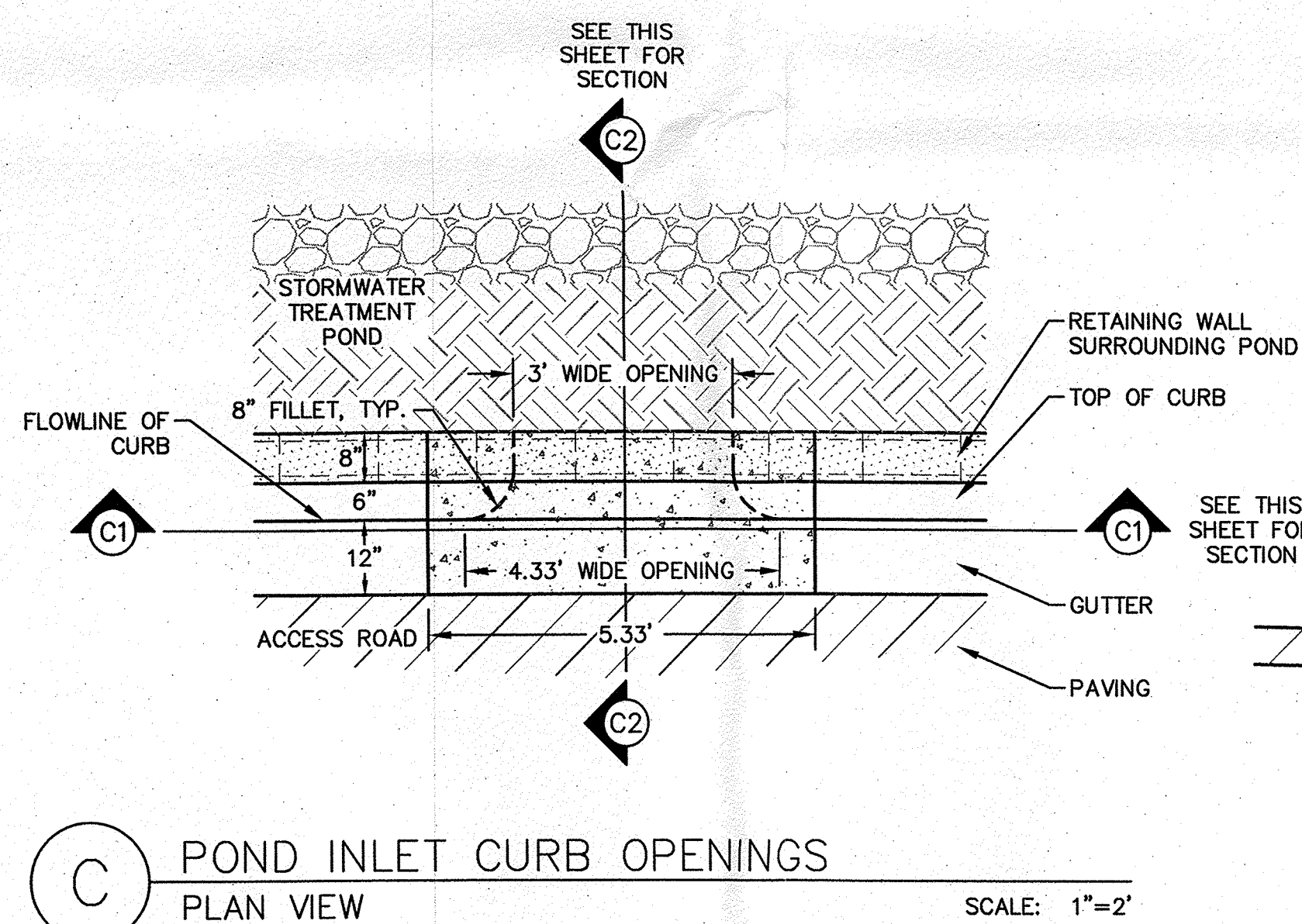
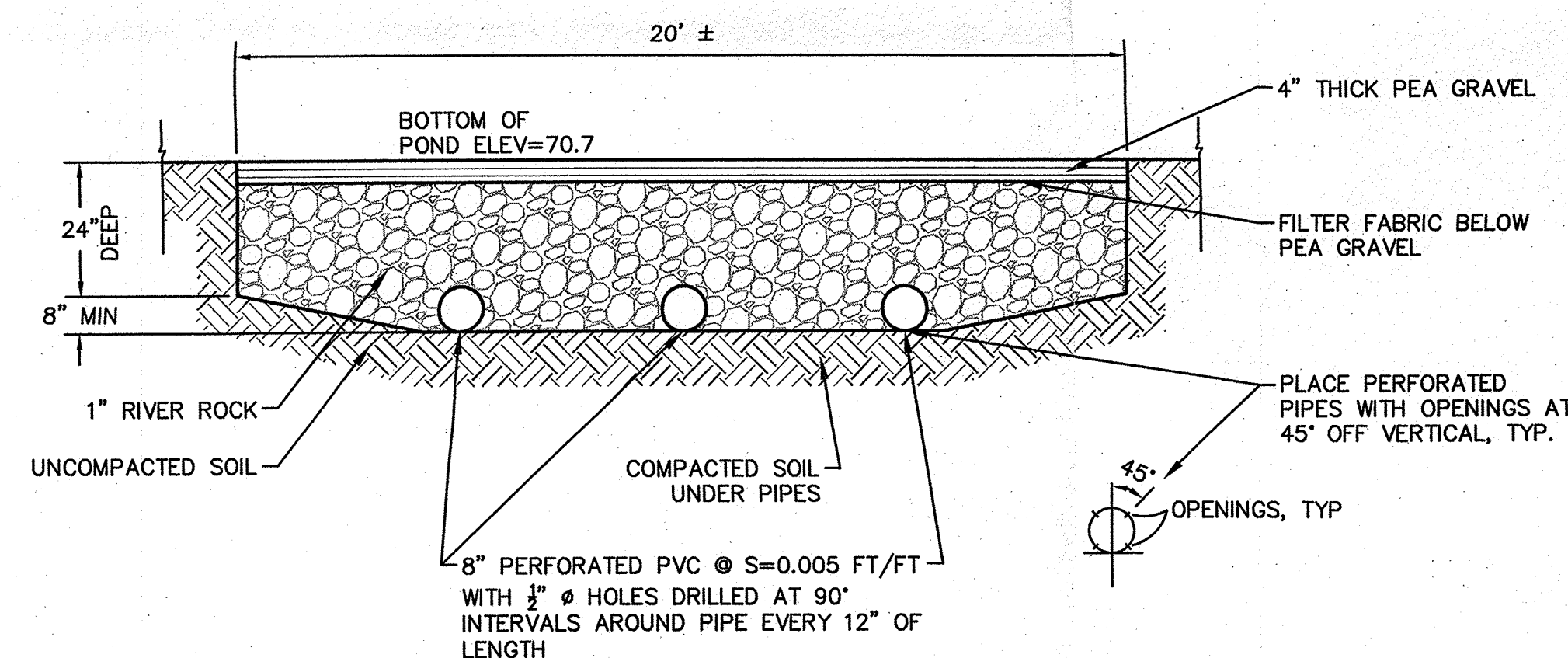
DRAINAGE PLAN CONCEPT:
THE EXISTING DRAINAGE PATTERNS WILL BE MAINTAINED WITH ALL STORM WATER DIRECTED NORTH WITHIN THE PROPOSED PAVEMENT. THE FIRST FLUSH STORM IS DIVERTED TO A TREATMENT POND, AND ALL FLOWS DISCHARGE TO THE ARROYO SYSTEM AT THE EXISTING ARROYO RUNDOWN.

GENERAL NOTES

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- ### KEYED NOTES
- 8" HIGH CURB & GUTTER PER DETAIL ON SHEET CG-50X.
 - 12" HIGH CURB & GUTTER PER DETAIL ON SHEET CG-50X.
 - TRANSITION FROM 12" HIGH TO 8" HIGH CURB OVER 10 LF.
 - RETAINING WALL WITH CHAIN LINK FENCE ON TOP PER DETAIL C2 ON THIS SHEET.
 - 8" WIDE GATE IN CHAIN LINK FENCE FOR MAINTENANCE ACCESS PER COA STD DWG #2252.
 - DIRT RAMP FOR MAINTENANCE ACCESS. 6.5:1 MAX SLOPE.
 - CURB OPENINGS PER DETAILS C, C1, & C2 ON THIS SHEET.
 - 3 - 60 LF PERFORATED PIPES AS PART OF UNDERDRAIN SYSTEM PER DETAIL B ON THIS SHEET. WATER IN POND INFILTRATES INTO UNDERDRAIN.
 - 8" 45° BEND
 - 4" CLEANOUT WITH ACCESS LID IN CONCRETE PAD PER DETAILS B1 & B2 ON THIS SHEET.
 - 4" THICK, 3' WIDE CONCRETE SPLASH PAD AT BASE OF
 - RETAINING WALL.
 - 6" DIA TYPE 'C' MANHOLE PER COA STD DWG #XXXX. RIM ELEV = 70.7. INV (8" PIPES)=67.63. INV (12" PIPE)=67.50.
 - 35 LF 12" ADS N-12 HDPE PIPE @ 1% SLOPE. INV (SE)=67.50. INV (NW)=67.15.
 - SUMP PUMP PER DETAIL ON SHEET CG-50X.
 - SHOTORETE RUNDOWN TO BE BUILT PER PUBLIC IMPROVEMENT PLANS. (N.I.C.) (CPN #XXXXXX).
 - 3 BOLLARDS CENTERED IN RUNDOWN TO BE BUILT PER PUBLIC IMPROVEMENT PLANS. (N.I.C.) (CPN #XXXXXX).
 - GRAVEL BED FOR PERFORATED INFILTRATION PIPES PER DETAIL B ON THIS SHEET.
 - XX" PIPE FROM LOADING DOCK DRAINS. PENETRATION THROUGH WALL AT INV=XX.X.



CLAUDIO VIGIL ARCHITECTS

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Fax: (505) 842-1330

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Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1756 CG-501.dwg Jan 26, 2011

PROFESSIONAL SEAL

BRUNACINI JOURNAL CENTER
OFFICE BUILDING
TRACTS A2 & A3
9721 RUTLEDGE STREET, N.E.
ALBUQUERQUE, NEW MEXICO

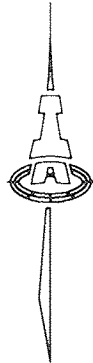
MARK	DATE	DESCRIPTION

PROJECT NUMBER: 09175
DRAWING FILE:
DRAWN BY: BJB
CHECK BY: FCA
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2009
DATE: FEBRUARY 26, 2010

SHEET TITLE
PRELIMINARY
GRADING AND DRAINAGE
DETAILS

SHEET NUMBER
3A OF 5

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SCALE 1st - 100,

OFFSITE BASIN EXHIBIT