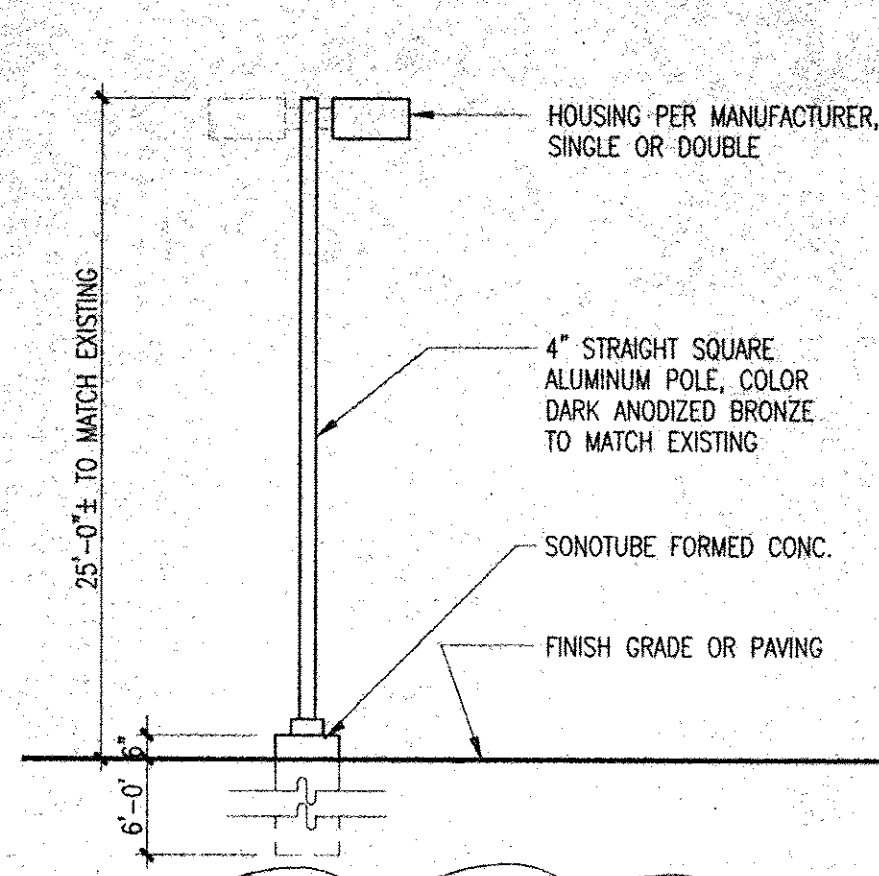
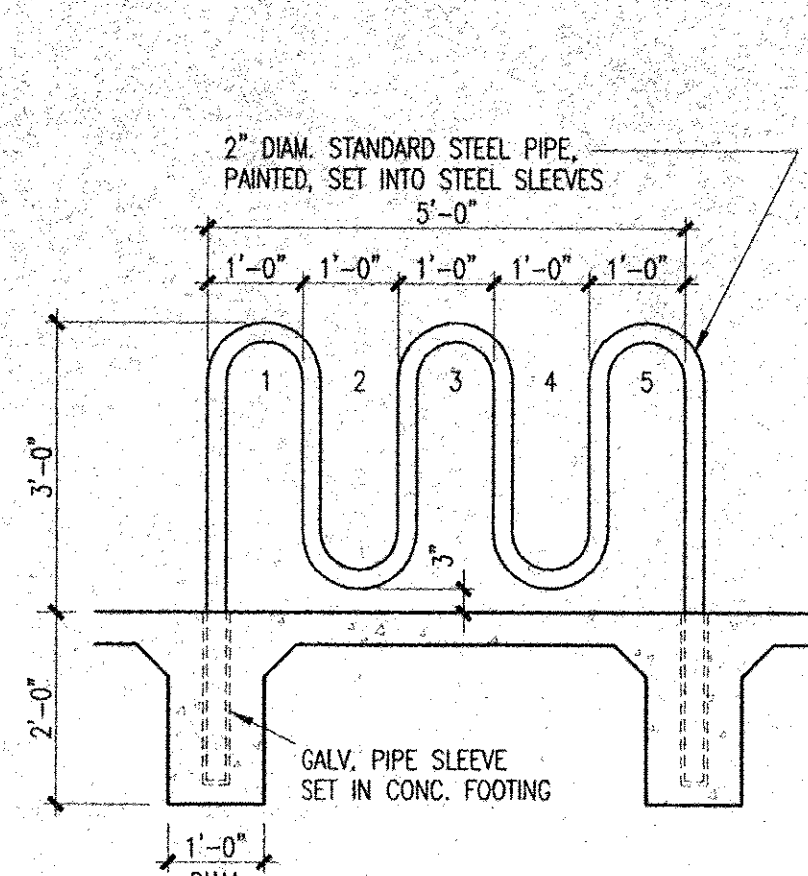


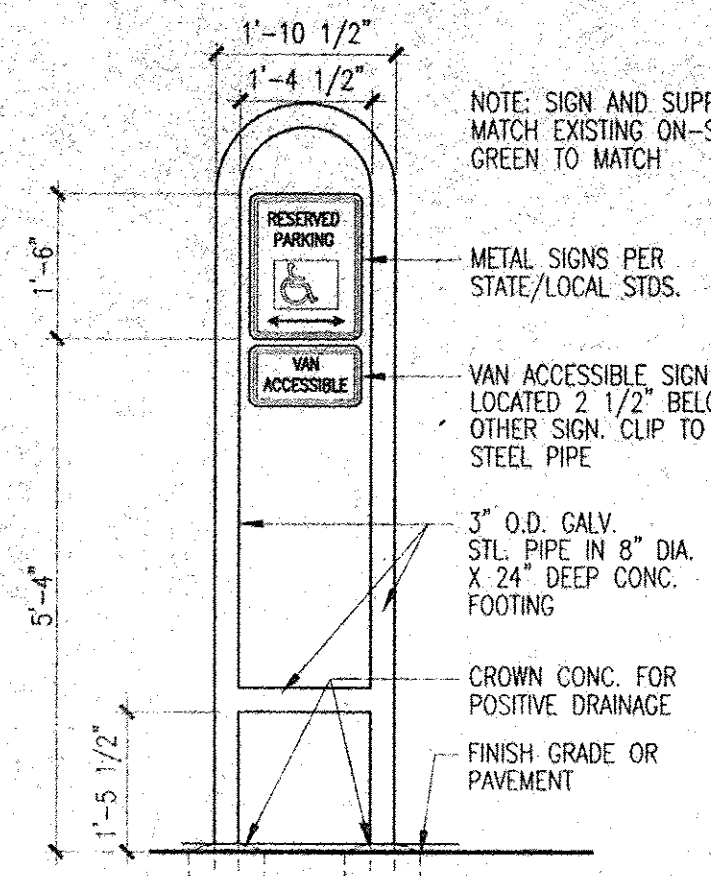


Parking Light Elevation
1/4"=1'-0"

NOTE: NO FLUORESCENT LIGHT WILL BE ALLOWED.
ALL LIGHTING MUST REMAIN ON SITE



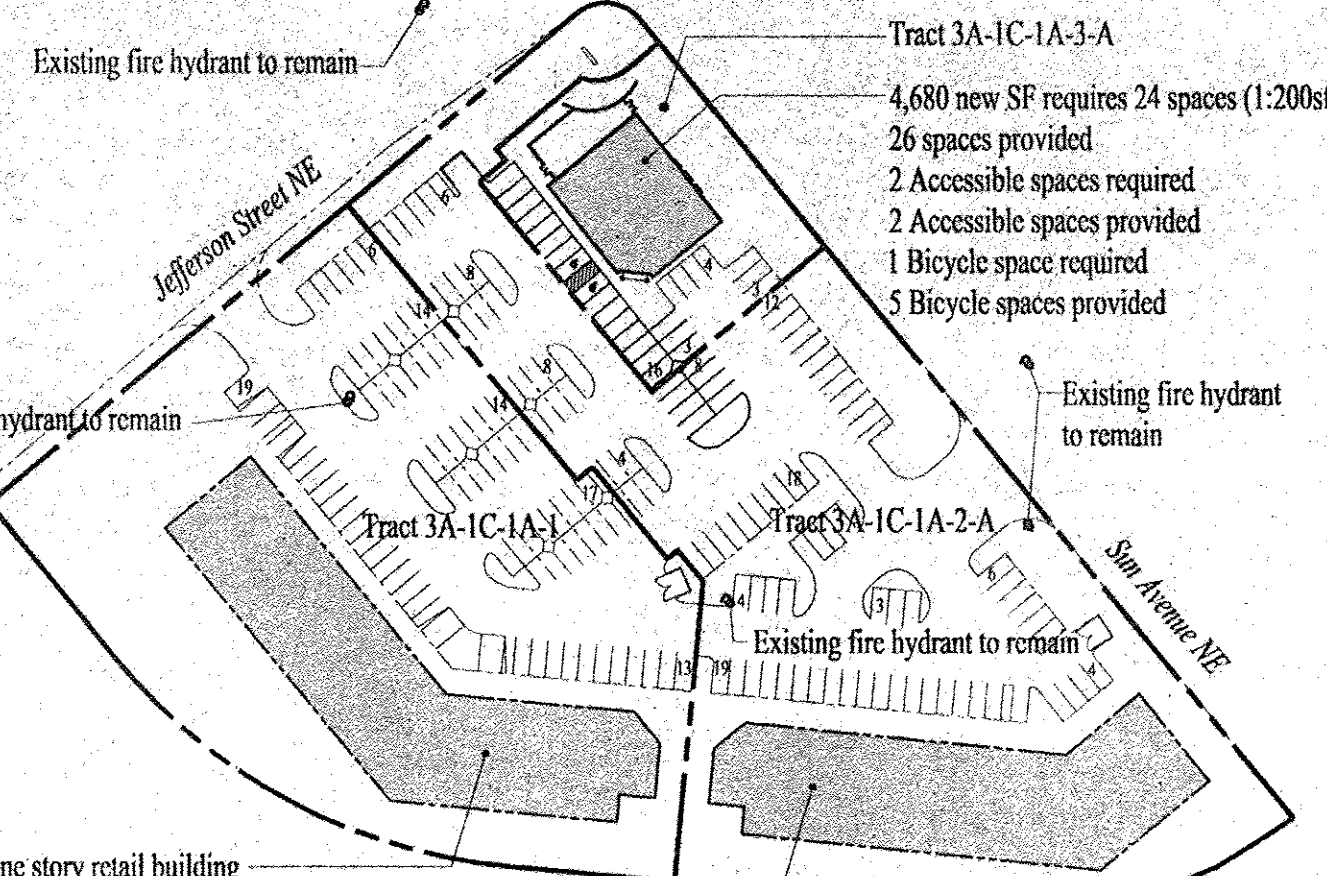
Bicycle Rack Elevation
1/2"=1'-0"



Accessible Parking Sign
1/2"=1'-0"

General Notes

- Parking spaces are 8.5'Wx20'1", unless noted otherwise.
- All building colors to match existing shopping center.
- Reciprocal common access and parking easements apply as recorded on October 1, 1998 in Book 9816, Page 4208 as Document No. 1998128038.
- Remove all existing traffic control bollards and chain in their entirety.



Existing one story retail building
19,260 existing SF requires 96 spaces (1:200sf) - 10% bus route = 85 spaces
83 spaces provided

Existing one story retail building
16,156 existing SF requires 81 spaces (1:200sf)
100 spaces provided



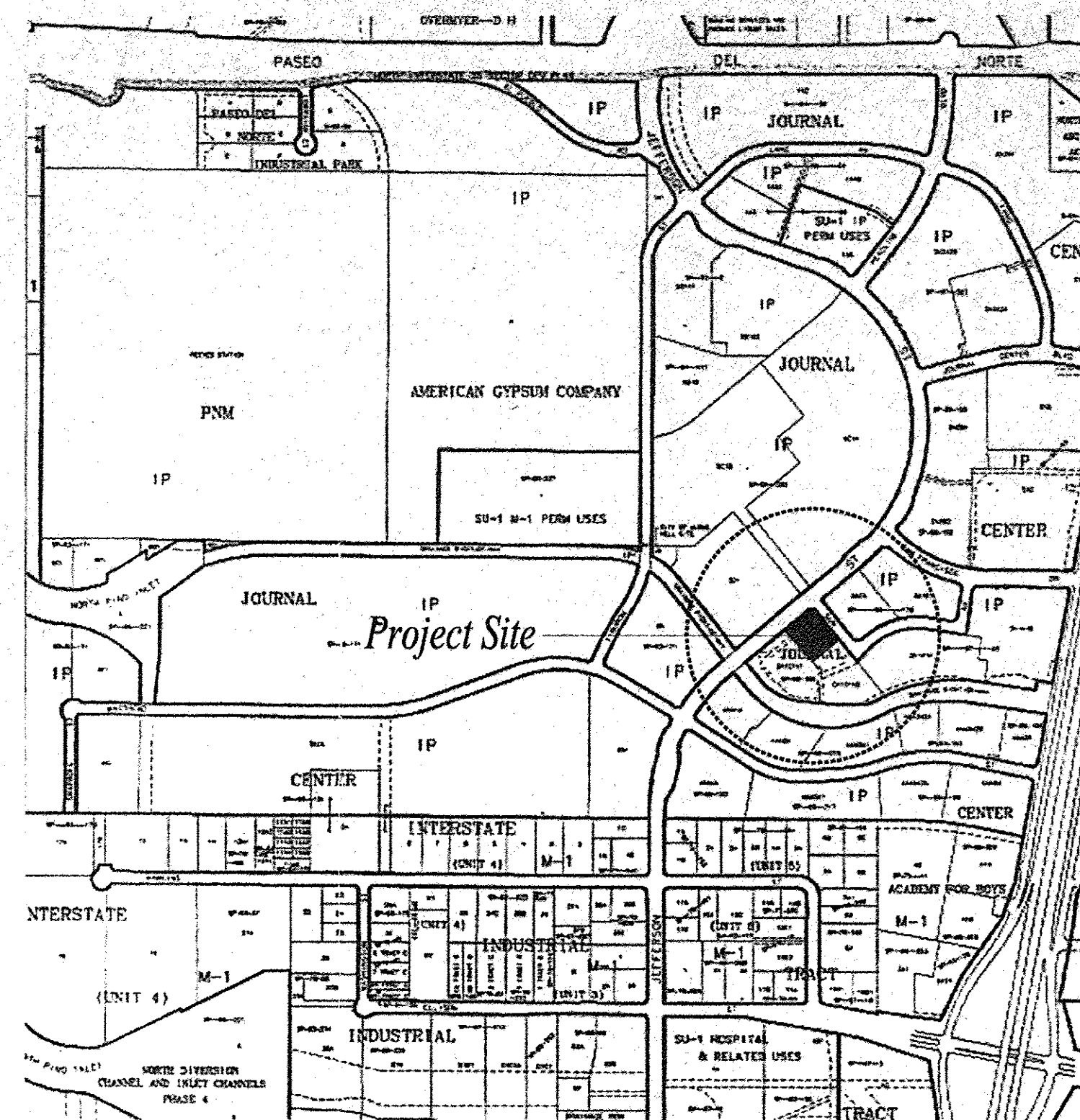
Project Data

- Legal Description
Tracts numbered 3A-IC-1A-2 and 3A-IC-1A-3 of Journal Center as the same shown and designated on the plat of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico on November 4, 1998 in Volume 98C, Folio 317, containing 2.6343 acres more or less, now comprising tracts 3A-IC-1A-2-A and 3A-IC-1A-3-A Journal Center.
- Zoning
City of Albuquerque, New Mexico Zone: SU-1 for O-1
- Areas
Total Tract Area: 18,795 sf, 0.431 acres
Building Area: 4,688 sf
F.A.R.: 0.249
- Proposed Use
Single tenant office
- Parking
Parking Required (1 space per 200 NSF): 24 spaces
Parking provided: 26 spaces
ADA parking required: 2 spaces
ADA parking provided: 2 spaces, 1 being van accessible
Bicycle parking required (1:20 autos): 2 spaces
Bicycle parking provided: bike rack that can park 5 bicycles
- Building Data:
Construction Type VN, non-sprinklered
Occupancy Group B, single tenant

Journal Center Approval

This plan has been reviewed and approved by the Journal Center Architectural Review Committee:

[Signature] 8/2/01
Date



Vicinity Map
D-17-Z

Keyed Notes

- Existing trash enclosure with doors to COA standards to remain. Dumpster to be shared with Phase 3 by written agreement.
- Existing 6' wide concrete sidewalk in pedestrian access easement to remain.
- Existing parking stripping to remain.
- Dashed line indicates extents of concrete curb and parking stripping (where occurs) to be removed.
- Dashed line indicates extent of concrete ramp to be removed.
- Existing 25'± high site lighting standard to remain. All new fixtures to match existing in height, color and fixture type.
- Existing monument sign to remain.
- Existing pedestrian plaza and landscaping to remain. Pedestrian access easement to be granted to the City of Albuquerque by plat.
- New bike rack capable of parking 5 to match existing. Refer to detail on this sheet.
- New monument sign to match colors and materials of Phase 3 building, refer to detail on sheet 5.
- New 6' wide min. concrete sidewalk in pedestrian access easement granted to the COA by plat.
- New concrete paving with tooled control joints at 6' o.c. patterned as shown.
- New accessible sidewalk ramp.
- New accessible parking space; 20'1x8.5'W with concrete parking bumper anchored to paving, sign per detail this sheet and adjacent 20'1x8'W access aisle.
15. 4x4' tree well.
16. 5x5' diamond tree well.
17. 6" high standup concrete curb with landscaping shown on the landscaping plan.
18. 4'-8" high ground face masonry unit wall, re: building elevations sheet 5. Note: this is a privacy wall not a retaining wall.
19. New pole mounted lighting standard to match existing on-site.
20. Patio gate, refer sheet 5.
21. Existing accessible sidewalk ramp to City of Albuquerque standards to remain.
22. Lot line eliminated by Plat.
23. Lot line created by Plat, shown bold.
24. Remove existing temporary asphalt curb. Replace with concrete stand-up curb to match existing adjacent.
25. Concrete swale, refer Grading and Drainage Plan.
26. (5) 5 1/2" high concrete steps with 44" landings, refer Grading and Drainage Plan.
27. Painted steel sidewalk culvert cover to COA standards.
28. (4) 7" high concrete steps with 44" landings, refer Grading and Drainage Plan.

Project Number

This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

Site Development Plan

[Signature]
Traffic Engineer, Transportation Division

[Signature]
Park & Recreation Department

[Signature]
Public Works, Water Utilities Division

[Signature]
City Engineer, Engineering Division / AMAFCA

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

City Planner, Albuquerque
Planning Division

Solid Waste

RECEIVED
MAR 15 2002
PAID DESIGN REVIEW

9-05-01
Date

9/5/01
Date

9-25-01
Date

9/5/01
Date

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

architect

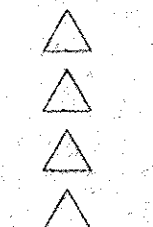
engineer

Issued For
DRB Submittal

project

Maestas & Ward
Market Place At The Journal Center
Phase 3
Albuquerque, New Mexico

revisions



plotted: 08-17-2001 10:58A
S:\01029 MAESTAS AND WARD\DRB-APPROV\1029SP.DWG

drawn by **MRM**

reviewed by **TG**

date

project no. **01029**

drawing name

Site Plan for
Building Permit

sheet no.

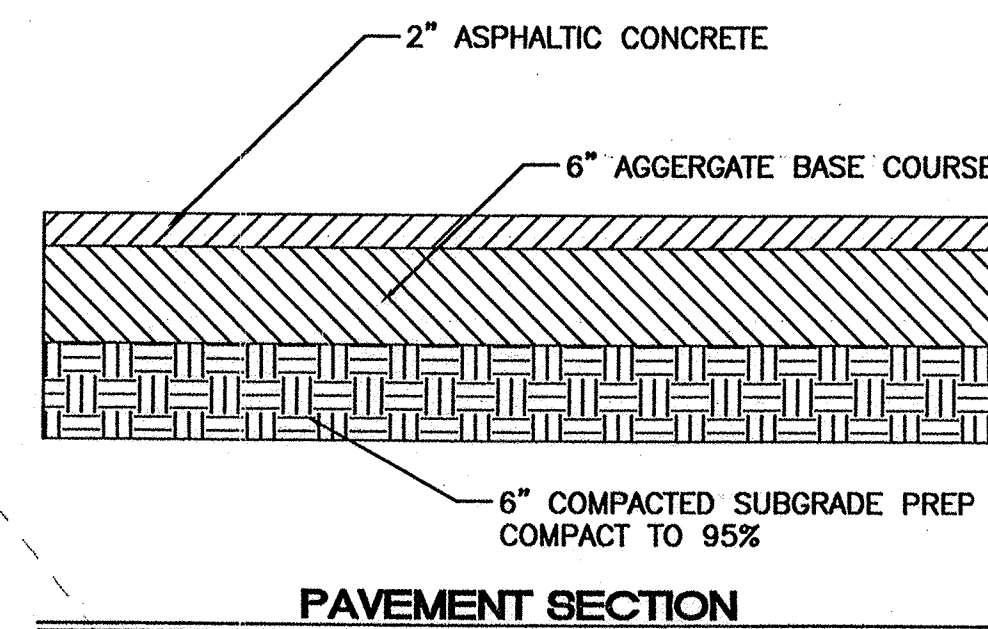
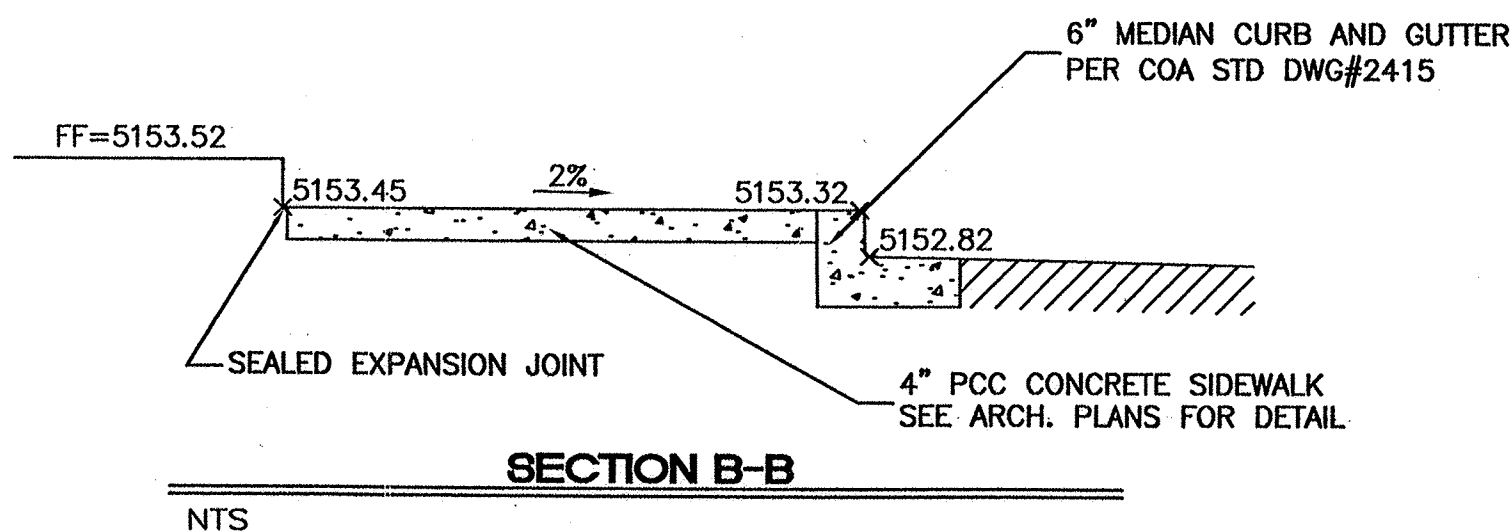
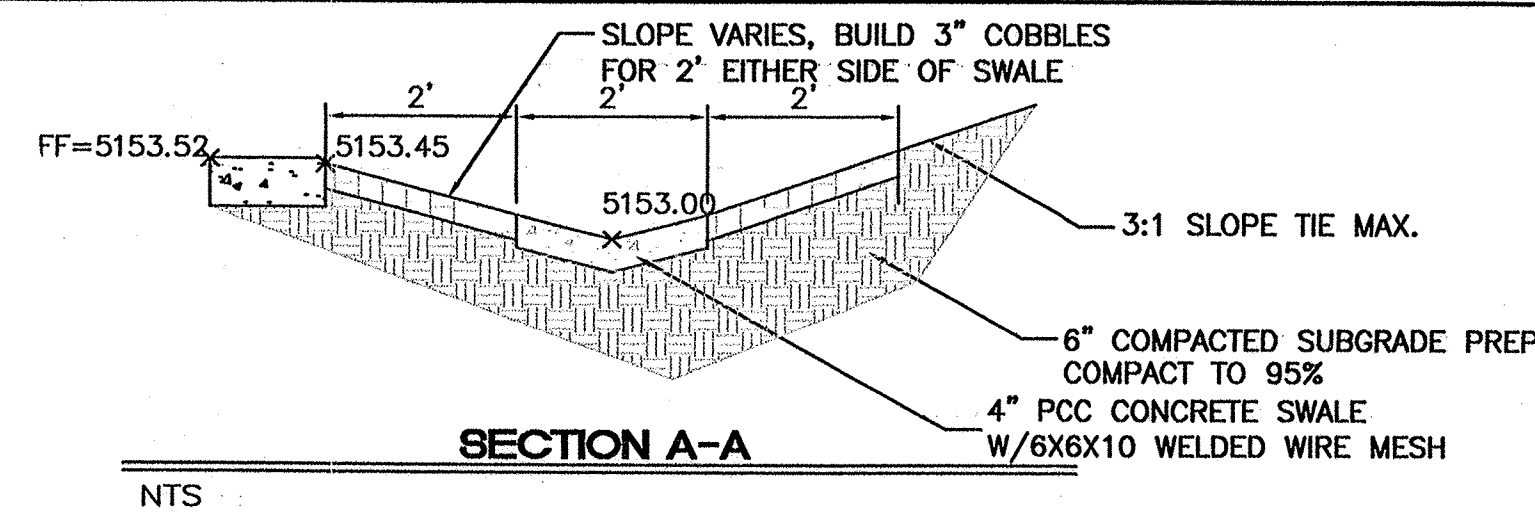
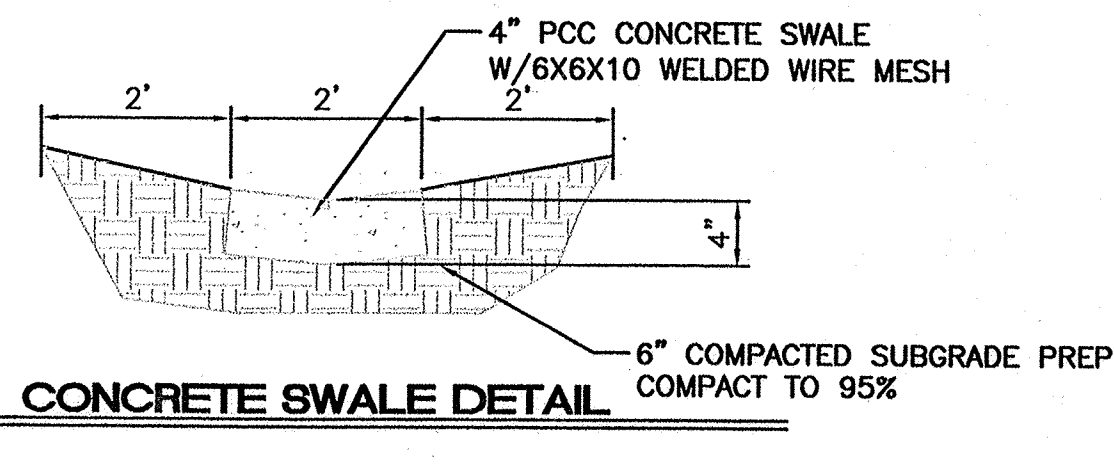
Site Plan for Building Permit
1"=20'-0"



AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
SIGNATURE & DATE

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



30 Day Temporary Certification
I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 8/21/01. Survey information was supplied by Precision Survey, Inc. in accordance with normal surveying practices.

FINAL
I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 8/21/01. Survey information was supplied by Precision Survey, Inc. in accordance with normal surveying practices.

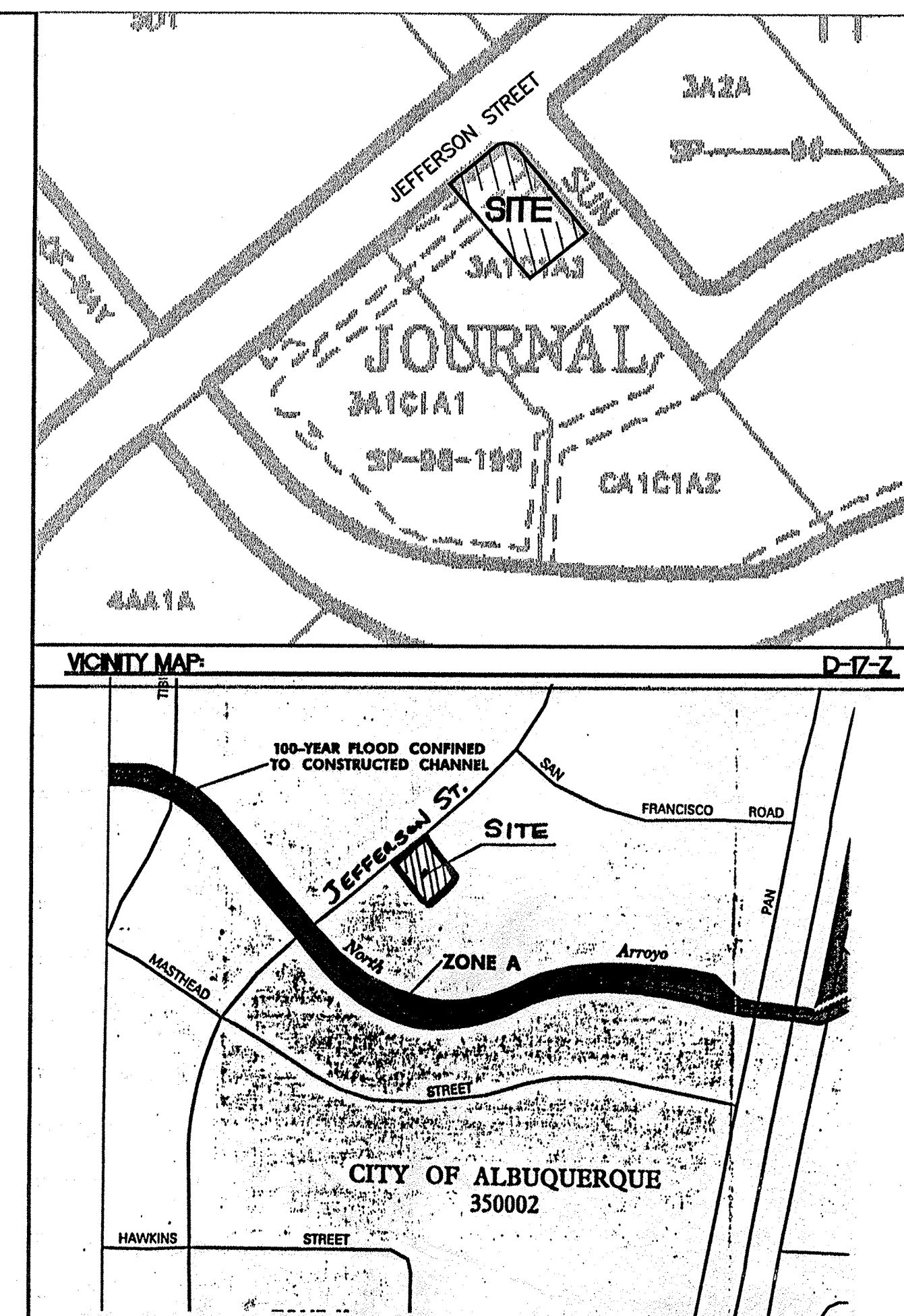
Ronald R. Bohannon

TEMPORARY BENCH MARK
ACS "B-D17A"
CENTRAL STATION DATA
NM STATE PLANE COORDINATES
CENTRAL ZONE
X=397521.38
Y=1513576.38
G=0.99966594
A=00111511
ELEV=5145.55

- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EX. BOUNDARY LINE
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - FLOW ARROW
 - SLOPE TIE
 - EXISTING SPOT ELEVATION (ARE SHOWN AS TOP OF PAVEMENT, UNLESS NOTED OTHERWISE)
 - PROPOSED SPOT ELEVATION

ROUGH GRADING APPROVAL DATE

ENGINEER'S SEAL	MARKET PLACE AT THE JOURNAL CENTER PHASE 3	DRAWN BY WCVJ
DATE 8-20-01	GRADING AND DRAINAGE PLAN	2131GR.DWG
TIERRA WEST, LLC	8509 JEFFERSON NE	SHEET # 2
ALBUQUERQUE, NEW MEXICO 87113	(505)858-3100	JOB # 210031



35001087 D

LEGAL DESCRIPTION

TRACT 3A-1C-1A-3-A OF JOURNAL CENTER, SU1 FOR 01

NOTES

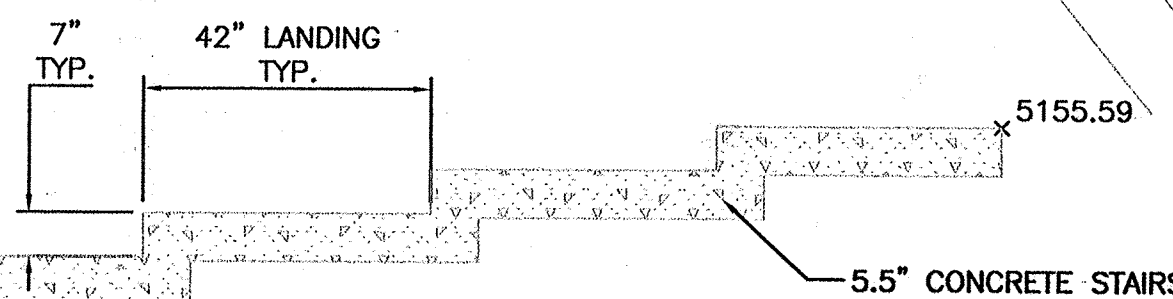
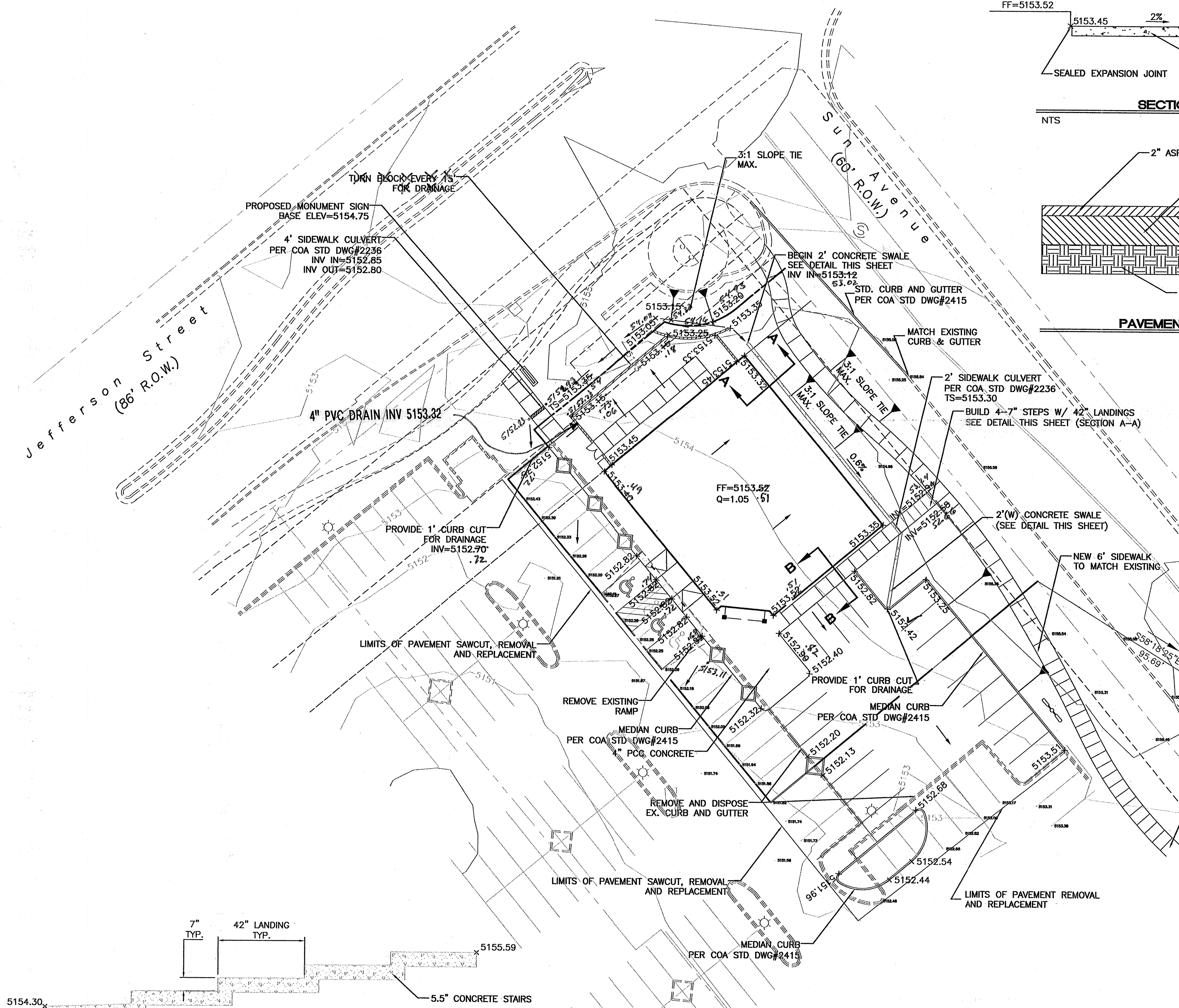
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

2. ALL NEW CURB AND GUTTER ALONG ROAD TO MATCH EXISTING TOP OF ASPHALT

3. THIS GRADING PLAN IS PART OF THE MASTER PLAN APPROVED FOR THE ENTIRE SHOPPING CENTER, UNDER D17/D381. DRAINAGE FLOW SOUTH AND EAST IS COLLECTED BY STORM DRAIN AND CONVEYED TO PINO ARROYO.

4. REFER TO ARCHITECTURAL PLANS FOR HORIZONTAL CONTROL AND PAVEMENT LOCATION.

5. PAVEMENT SECTION IS SHOWN FOR REFERENCE, PLEASE VERIFY WITH SOILS REPORT PREPARED BY OWNER TO CONFIRM SECTION.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

