

CITY OF ALBUQUERQUE



July 10, 2008

Jeffrey G. Mortensen, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Marshall Building
7770 Jefferson NE, Grading Plan
Engineer's Stamp dated 06-25-08 (D-17/D003F)

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 06-26-08, the above referenced plan is approved for Grading Permit.

The above referenced plan is approved for an SO-19 permit. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Be advised that no Certificate of Occupancy, temporary or permanent, will be released prior to inspection and approval of the storm drain connection / sidewalk culvert by the Storm Drain Maintenance department. Contact Duane Schmitz at 235-8016 to schedule an inspection.

P.O. Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3630.

New Mexico 87103

www.cabq.gov

Sincerely,

A large, stylized handwritten signature in black ink, which appears to read "Milo E. Salgado-Fernandez".

Milo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Duane Schmitz, DMD Street / Storm Maintenance (Pino Yards)
Antoinette Baldonado, Construction Services
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 20, 1995

**Tom Mann, PE
Engineering & Surveying Assoc
5312 Noreen Drive NE
Albuquerque, NM 87111**

**RE: ENGINEER'S CERTIFICATION FOR PYRAMID PAVILION (D-17/D3X)}
RECEIVED OCTOBER 17, 1995 FOR CERTIFICATE OF OCCUPANCY
ENGINEER'S STAMP DATED 10/15/95**

Dear Mr. Mann:

Based on the information included in the submittal referenced above, City Hydrology accepts the engineer's Certification of grading & drainage for Certificate of Occupancy. Contact Code Administration to obtain the Certificate of Occupancy for 5151 San Francisco NE.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,

**John P. Curtin, P.E.
Civil Engineer/Hydrology**

c: Andrew Garcia

9037177

REPLAT MAP
FOR

TOM
MANN

JOURNAL CENTER
TRACT 2A-1 & 2A-2BB

ALBUQUERQUE, NEW MEXICO

FEBRUARY, 1990

90C
129

SEP - 5 1995

PHOTOLOGY DEPT

FREE CONSENT AND DEDICATION

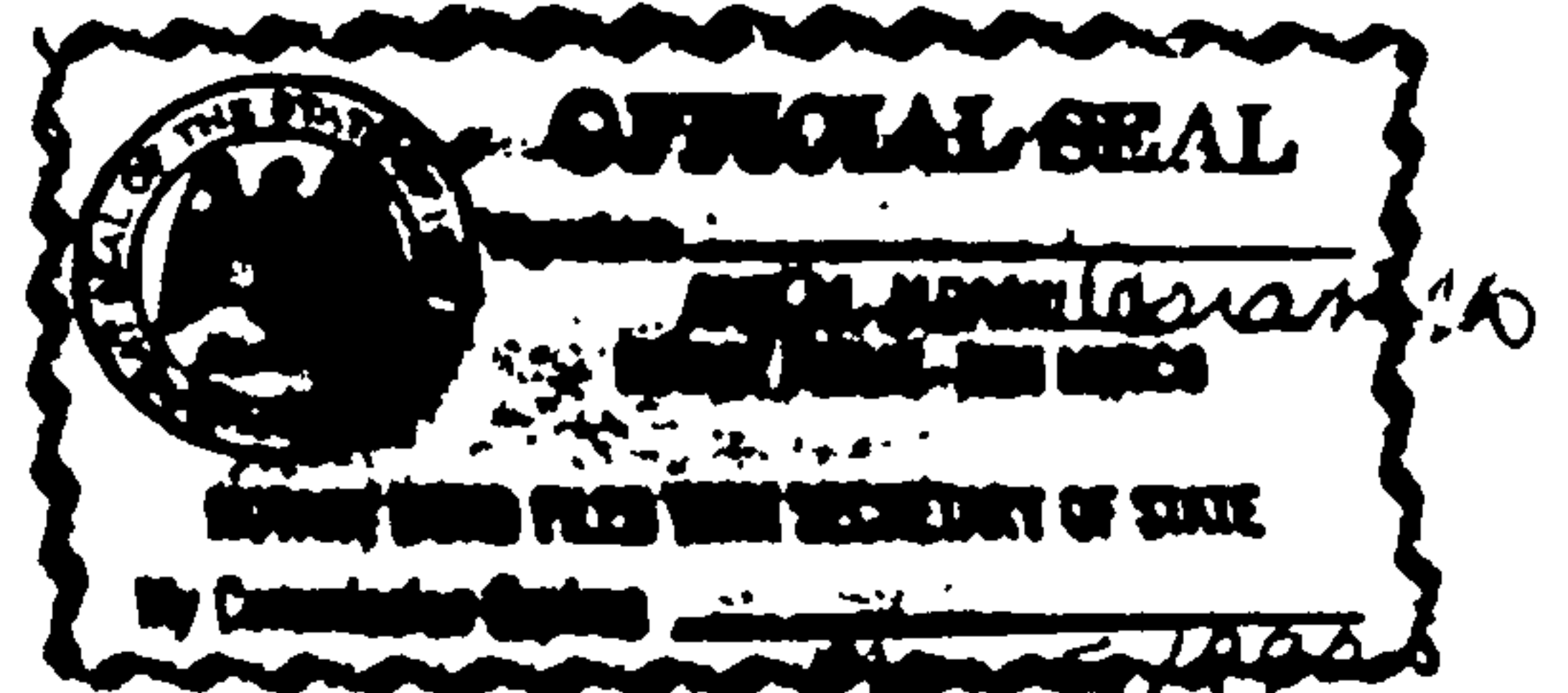
The foregoing Replat of that certain tract of land situate in the City of Albuquerque, Bernalillo County, New Mexico, being and comprising 2A-2BB, JOURNAL CENTER, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on April 13, 1989 in Volume C39, Folio 4, and Tract 2A-1, JOURNAL CENTER, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on December 19, 1985 in Volume C29, Folio 32; and now hereon shown and comprising Tracts 2A-C and 2A-D, JOURNAL CENTER is with free consent and in accordance with the desires of the undersigned owners and/or proprietors thereof and said owners and/or proprietors do hereby grant all easements shown on this plat. Electrical power and communication easements are reserved for overhead distribution lines for pole type utilities and buried distribution lines, conduits and pipes for underground utilities, and other related equipment where shown or indicated, including the right of egress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Any drainage rights-of-way shown hereon are also rights-of-way for underground sewer and waterlines.

JOURNAL CENTER CORPORATION (Owner of Tract 2A-D)

T.H. Lang, President

State of New Mexico)

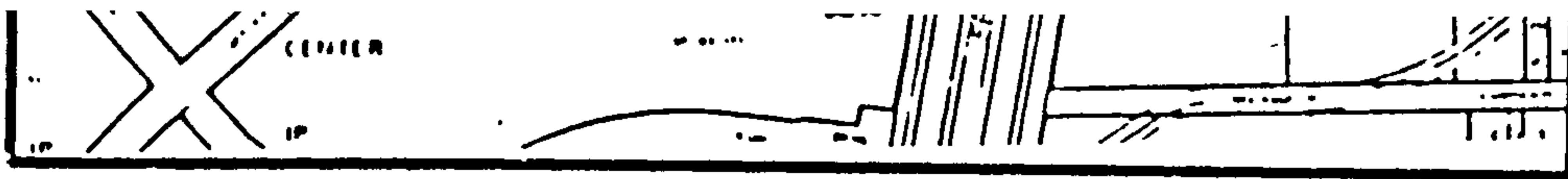
County of Bernalillo)



The foregoing instrument was acknowledged before me this 8th day of February, 1990 by T.H. Lang, President, Journal Center Corporation, a Corporation, on behalf of said Corporation.

My commission Expires: May 5, 1990

Ann M. Jaramillo
Notary Public



LOCATION MAP

ZONE ATLAS INDEX MAP NO. D-17 & D-18
NOT TO SCALE

SUBDIVISION DATA

1. DRB NO. _____
2. Zone Atlas Index No. D-17-Z and D-18-Z.
3. Gross Subdivision Acreage: 14.5389 acres.
4. Total Number of Tracts Created: Two (2) tracts.
5. No street millage created with the filing of this Replat.
6. This plat shows existing easements.
7. The purpose of this replat is to divide Tract 2A-2BB and Tract 2A-1 into two new tracts (2A-C and 2A-D).
8. This Plat was prepared from Plats of Records and field work performed by Bohannon-Huston, Inc., on February 1, 1990.

SEP - 5 1995

HYDROLOGY DIV.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Number 5 rebar with a yellow plastic cap stamped "WEAVER LS 6544" are designated by ●
4. ASC centerline monument with 4" aluminum survey cap stamped "P.L.S. No. 2455, 1982" are designated by △
5. A Chiseled "X" in the concrete sidewalk is designated by X
6. Site is located within Projected Sections 23 and 24, Township 11 North, Range 3 East, N.M.P.M.
7. Found PK Nail with "WEAVER" washer designated by ⊙
8. Cross-lot drainage between Tract 2A-C, 2A-2B1, 2A-D and 2A-2B3 will be permitted in accordance with the approved Master Drainage Plan.
9. Prior to development, City of Albuquerque Water and Sanitary Sewer Service to 2A-D must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer availability statement.

APPROVALS

PLAT NUMBER SP-90-94

PLANNING DIRECTOR

DATE

CITY ENGINEER

DATE

A.M.A.F.C.A.

DATE

TRAFFIC ENGINEER

DATE

CITY SURVEYOR

DATE

PROPERTY MANAGEMENT

DATE

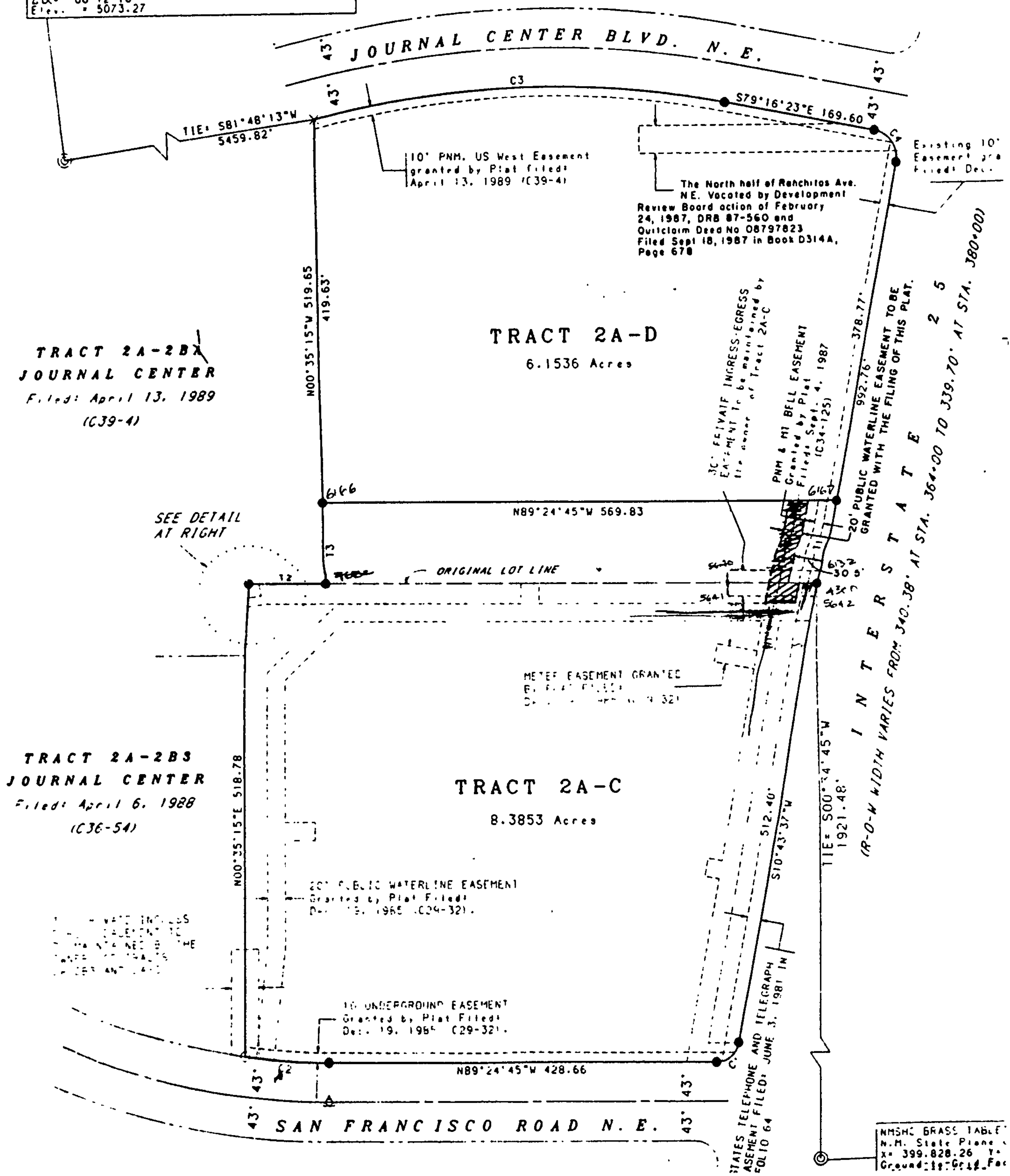
UTILITY DEVELOPMENT DEPARTMENT

DATE

SEP - 5 1995

USC&GS BRASS TABLE STAMPED "REEVES 1969"
N.M. State Plane Coordinates (Central Zone)
x = 393,890.55 y = 1,516,528.81
Ground-to-Grid Factor = 0.99967155
AX = -00°12'16"
Elev. = 5073.27

SCALE:



8829732

REPLAT MAP FOR
TRACT 2A-2B
JOURNAL CENTER
ALBUQUERQUE, NEW MEXICO

MARCH, 1988



SCALE: 1" = 100'

State of N.M.
County of Bernalillo
The undersigned
315
Attest my hand and seal
this 1st day of March 1988.
Notary Public
Shirley A. ...

C36
54

SEP - 5 1995

ENCLOSURE

TANGENT DATA

NUMBER	BEARING	DISTANCE
T1	N52°13'57"W	61.83
T2	S69°02'34"E	52.02
T3	S89°24'45"E	110.49
T4	S00°35'15"W	12.00
T5	S00°35'15"W	12.00
T6	N89°24'45"W	107.74
T7	N78°52'11"W	97.67
T8	N74°47'30"E	30.34
T9	N86°06'06"E	40.79
T10	N74°47'30"E	106.71
T11	S74°47'30"W	24.00
T12	S74°47'30"W	106.71
T13	S63°28'54"W	40.79
T14	S74°47'30"W	30.09
T15	N74°47'30"E	94.37

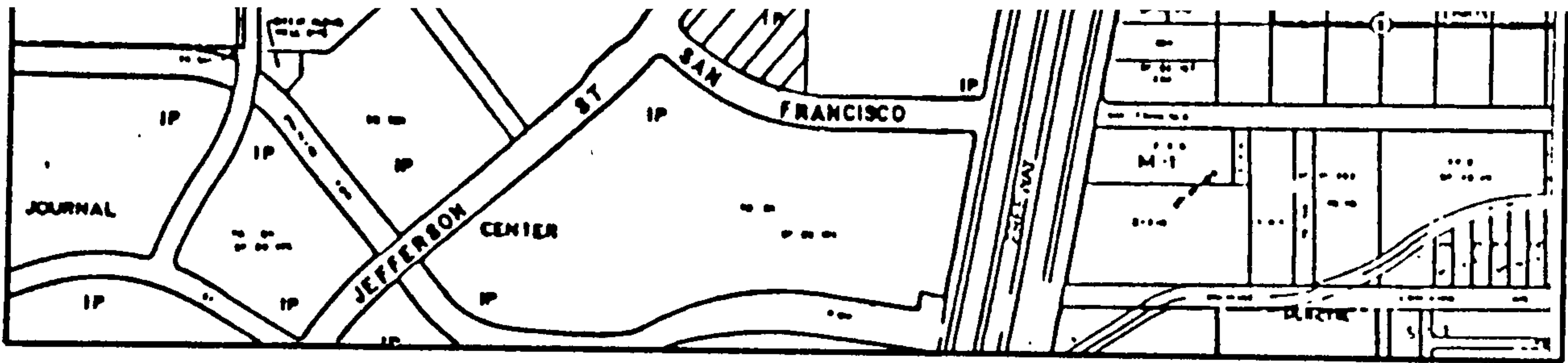
C U R V E D A T A

NUMBER	ARC	RADIUS	DELTA	CHORD BEAR.	CHORD	TANGENT
C1	361.05	700.28	29°32'24"	N67°00'09"W	357.06	184.63
C2	39.96	25.00	91°35'03"	N06°26'25"W	35.84	25.70

EXISTING 10' PUBLIC UTILITY
EASEMENT GRANTED BY PLAT
FILED, DEC. 19, 1985 (C29-32)

2 5

at STA. 364+00 to 339.70' at STA. 380+00)



LOCATION MAP
ZONE ATLAS INDEX MAP D-17-Z & D-18-Z
NOT TO SCALE

SUBDIVISION DATA

SP-88-108

1. DRB No. **87-56 REF. 88-173**
2. Zone Atlas Index No. D-17-Z and D-18-Z.
3. Gross Subdivision Acreage: 20.3200 acres.
4. Total Number of Tracts Created: Three (3) tracts.
5. No street millage created with the filing of this Replat.
6. This plat shows existing easements.
7. The purpose of this replat is to divide Tract 2A-2B into three tracts (Tracts 2A-2B1, 2A-2B2 and 2A-2B3) and also to grant two Access Easements.
8. This Plat was prepared from Plats of Records and field work previously performed by Bohannon-Huston, Inc.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Number 5 rebar with a yellow plastic cap stamped "WEAVER LS 6544" are designated by •
4. ASC centerline monument with 4" aluminum survey cap stamped "P.L.S. No. 2455, 1982" are designated by Δ
5. A Chiseled "X" in the concrete sidewalk is designated by ⊗
6. Site is located within Projected Sections 23 and 24, Township 11 North, Range 3 East, N.M.P.M.
7. Cross-lot drainage between Tract 2A-1, 2A-2B1 and 2A-2B2 will be permitted in accordance with the approved Master Drainage Plan.
8. Prior to development, City of Albuquerque Water and Sanitary Sewer Service to 2A-2B1, 2A-2B2 and 2A-2B3 must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer availability statement.

SEP - 5 1988

PROLOGY DI.

APPROVAL

for Jack Cleveland
PLANNING DIRECTOR
Frank J. Aguirre
CITY ENGINEER

9-6-88

DATE

3-22-88

DATE

CENTERLINE MONUMENT (110' OFFSET)
N.M. State Plane Coordinates (Central Zone)
X = 398,601.14 Y = 1,517,719.83
Ground-to-Grid Factor = 0.9996670
ΔOC = -00°11'44"
Elev. = 5152.16

TRACT 2A-2A
JOURNAL CENTER

FILED: SEPT. 4, 1987 (C34-125)

FULL WIDTH OF VACATED RIGHT-OF-WAY RESERVED
AS AN EASEMENT FOR PUBLIC UTILITIES BY ENVIRONMENTAL
PLANNING COMMISSION LAND CONTROLS BOARD RESOLUTION
Y-80-26, FILED NOVEMBER 19, 1980 IN MISC. BK. 813,
FOLIO 752 & 753.

EASEMENT VACATED BY "WAIVER AND RELEASE OF
EASEMENT", MISC. BK. 298A, PG. 298, DOCUMENT 85 3058A

EXISTING 10' UNDERGROUND

EASEMENT

FILED: DEC. 19, 1985

(C29-32)

ACCESS EASEMENT
SEE SHEET 3

S74°47'30"W

298.37'

2A-2B2

13.6301 ACRES

2A-2B

2A-2B1

3.7074 ACRES

EXISTING PEDESTRIAN

ACCESS EASEMENT

GRANTED BY PLAT.

FILED: JUNE 30, 1983

(C21-126)

NOTE: CURVE & TANGENT DATA
FOR EASEMENT LOCATED ON
FILED PLAT.

L=26.34'
R=967.00'
Δ=01°33'39"

12.5' X 21.5' EASEMENT
FOR PADMOUNTED SWITCH-
GEAR. FILED: DEC. 19, 1985
(C29-32)

ACCESS EASEMENT
SEE SHEET 3

30' PRIVATE INGRESS/EGRESS EASEMENT
TO BE MAINTAINED BY THE OWNERS
OF TRACTS 2A-1 AND 2A-2B2.
GRANTED BY PLAT FILED
DEC. 19, 1985 (C29-32)

TRACT 2A-1

JOURNAL CENTER

FILED: DECEMBER 19, 1985 (C29-32)

2A-2B3

2.8825
ACRES

EXISTING PEDESTRIAN
ACCESS EASEMENT
GRANTED BY PLAT
FILED: JUNE 30, 1983
(C21-126)
NOTE: CURVE & TANGENT DATA FOR
EASEMENT LOCATED ON FILED PLAT.

30' PRIVATE INGRESS/
EGRESS EASEMENT TO
BE MAINTAINED BY THE
OWNERS OF TRACTS 2A-1
AND 2A-2B3.
GRANTED BY PLAT FILED
DEC. 19, 1985 (C29-32)

TRACT 5C-1A
JOURNAL CENTER
FILED: JULY 5, 1984 (C24-100)

SAN FRANCISCO ROAD

eei Slope-0.0175
Jefferson

(B-1)

TRACT 2A-2BC
3.9158 Ac.

Temporary Graded
Earthen Outlet Channel

30" RCP
S=0.010

30" RCP
S=0.011

24" RCP Culvert
37 cfs

JOURNAL CENTER BLVD.

TRACT 2A-D
(developed)
6.0000 Ac.

TRACT 2A-2BA
(developed)

3.9448 Ac.

Marshall

11 cfs max
from upstream
properties

(E-1)

PARKING/
OUTDOOR
RECREATION
FACILITY

13cfs discharged
to Tract 2A-2B3

TRACT 2A-2B3
2.9825 Ac.

AP 8

Jefferson

Street
Slope =
0.005

TRACT 2A-C
(developed)
8.5000 Ac.

PYRAMID
PLAZA
HOLIDAY INN

San Francisco

SAN FRANCISCO ROAD

INTERSTATE 25

NORTH
1"=200'

TRACT 3A-1
17.2 Ac.

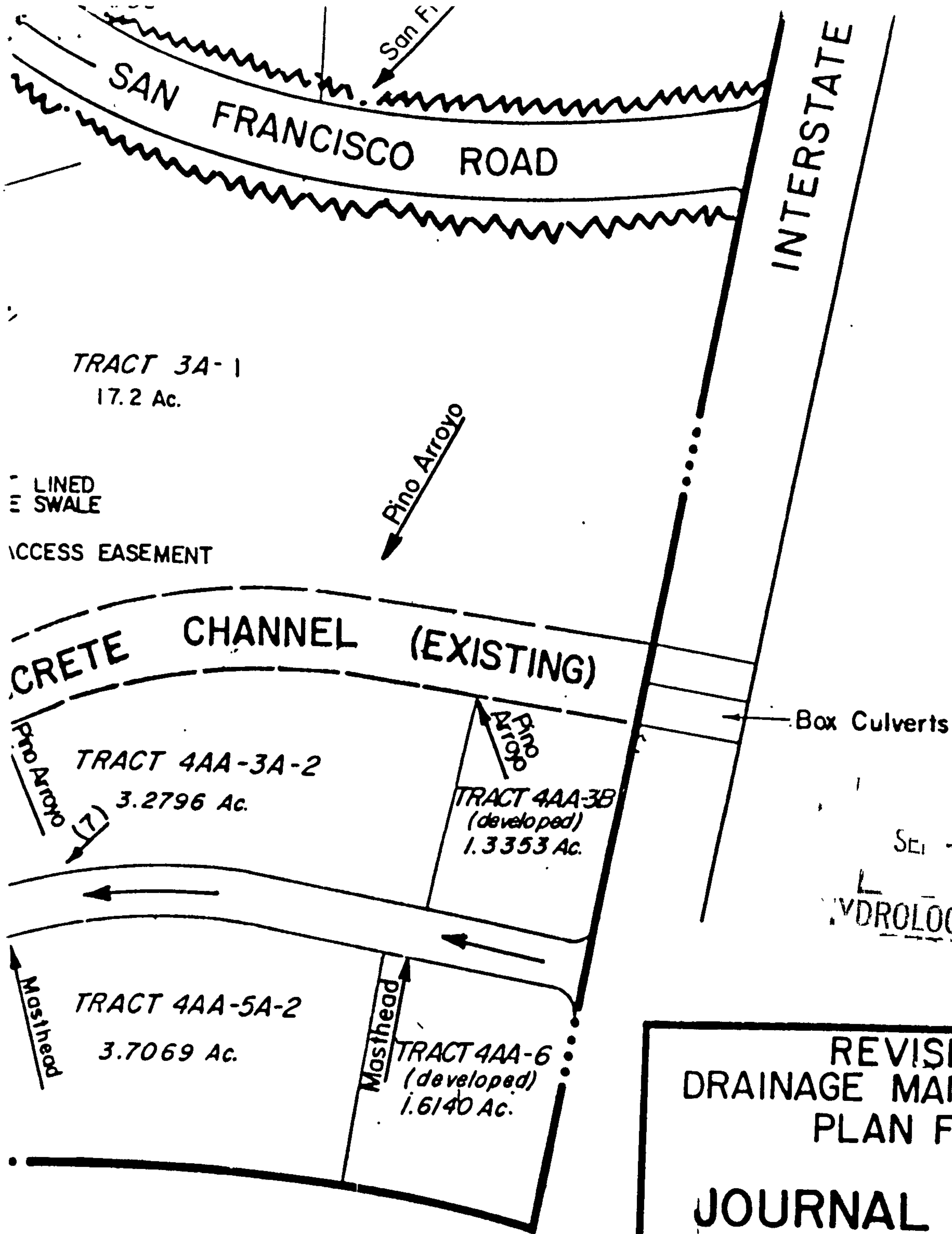
LINED
SWALE

ACCESS EASEMENT

Pino Arroyo

5 1995
HYDROLOGY DIV.

CHANNEL



REVISED
DRAINAGE MANAGEMENT
PLAN FOR:
JOURNAL CENTER

DECEMBER 1992

SEE 'C' INLET
MAN SEWER & MANHOLE
FOR FLOW DIRECTION & DISCHARGE LOCATION
'SIS POINT

NOTES ARE

ORIGINAL PLAN JULY 1984
REVISION NO. 4 NOVEMBER 1990
REVISION NO. 5 DECEMBER 1992

3-6-90
10-10-90
11-14-90

JOB No. 9011001



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 23, 1995

Tom Mann
Engineering & Surveying Assoc.
5312 Noreen Dr. NE
Albuquerque, NM 87111

RE: HOLIDAY INN PYRAMID PLAZA (D17-D3X) ENGINEER'S STAMP
DATED 2/20/95.

Dear Mr. Mann:

Based on the meeting held on March 15, 1995 and your letter faxed on May 22, 1995, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2668.

Sincerely,

Fred J. Aguirre, PE
PWD/Hydrology Division

FJA/dl

c: Andrew Garcia

File

898-8021



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 20, 1995

Phil J. Garcia, President
Southwest Asset Management, Inc.
112 W. San Francisco St. Site 312
Santa Fe, NM 87501

RE: YOUR LETTER DATED 10/5/95, MARSHALL BUILDING/HOLIDAY INN
PYRAMID DRAINAGE ISSUE (D17-D3X).

Dear Mr. Garcia:

Our approval of the Holiday Inn Pyramid Plaza Pavilion Drainage Report by Tom Mann was based on the Marshall Building's drainage report prepared for your property by Jeff Mortensen and Associates on March 9, 1989. Mr. Mortensen's report contained two sheets, the first sheet was the grading and drainage plan and the second sheet provided the calculations, text and an off site basin map. The plan and the calculations showed a potential off-site flow from the east of 17 cfs from undeveloped land. The calculations also showed that they would diminish the off-site basin and the flow rate reduced to 11 cfs when the basin (Pavilion) was developed. The text on the plan states "When developed, a portion of the off-site flow will be allowed to drain into the project site. This discharge rate is calculated to be 11 cfs, based upon the accompanied off site basin map".

Mr. Mann's plan upgraded the existing drainageway on the Holiday Inn site to convey the Pavilion's flow. The Pavilion site will contribute approximately 3.2 cfs to the rundown. The 3.2 cfs is significantly less than the allowable 11 cfs identified by the Marshall Building plan.

Accordingly because the discharge is following the Marshall Building Drainage Report and the fact that the drainage easement is private on the Marshall Building site, the City does not acknowledge or accept any liability in this matter.

If I can be of further assistance, don't hesitate to call me at 768-2668.

Sincerely,

Fred J. Aguirre, P.E., P.S.
PWD/Hydrology Division

C: File