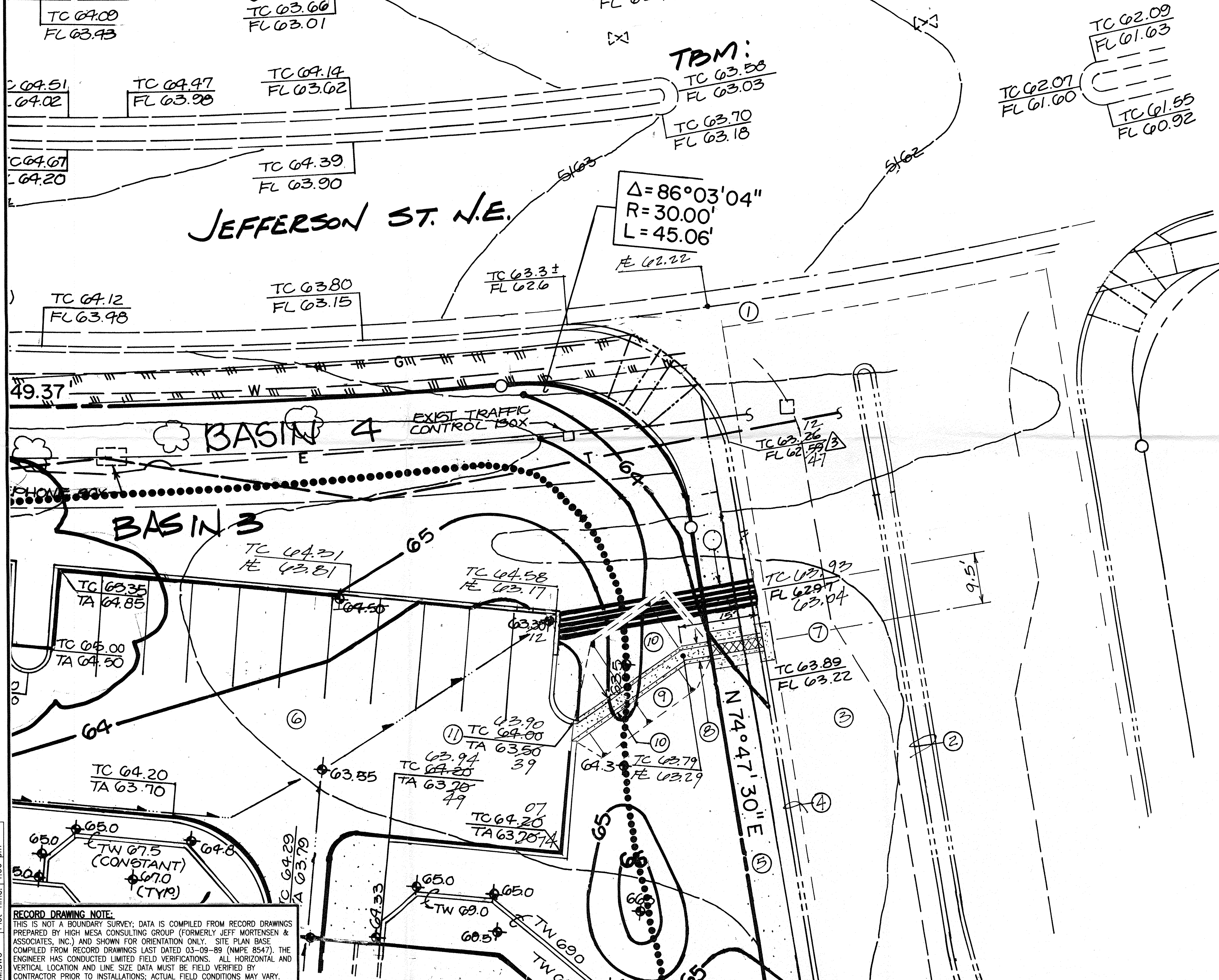


SCALE: 1" = 10'



LEGAL DESCRIPTION:
TRACT 2828A, JOURNAL CENTER

STREET ADDRESS:
7770 JEFFERSON STREET NE

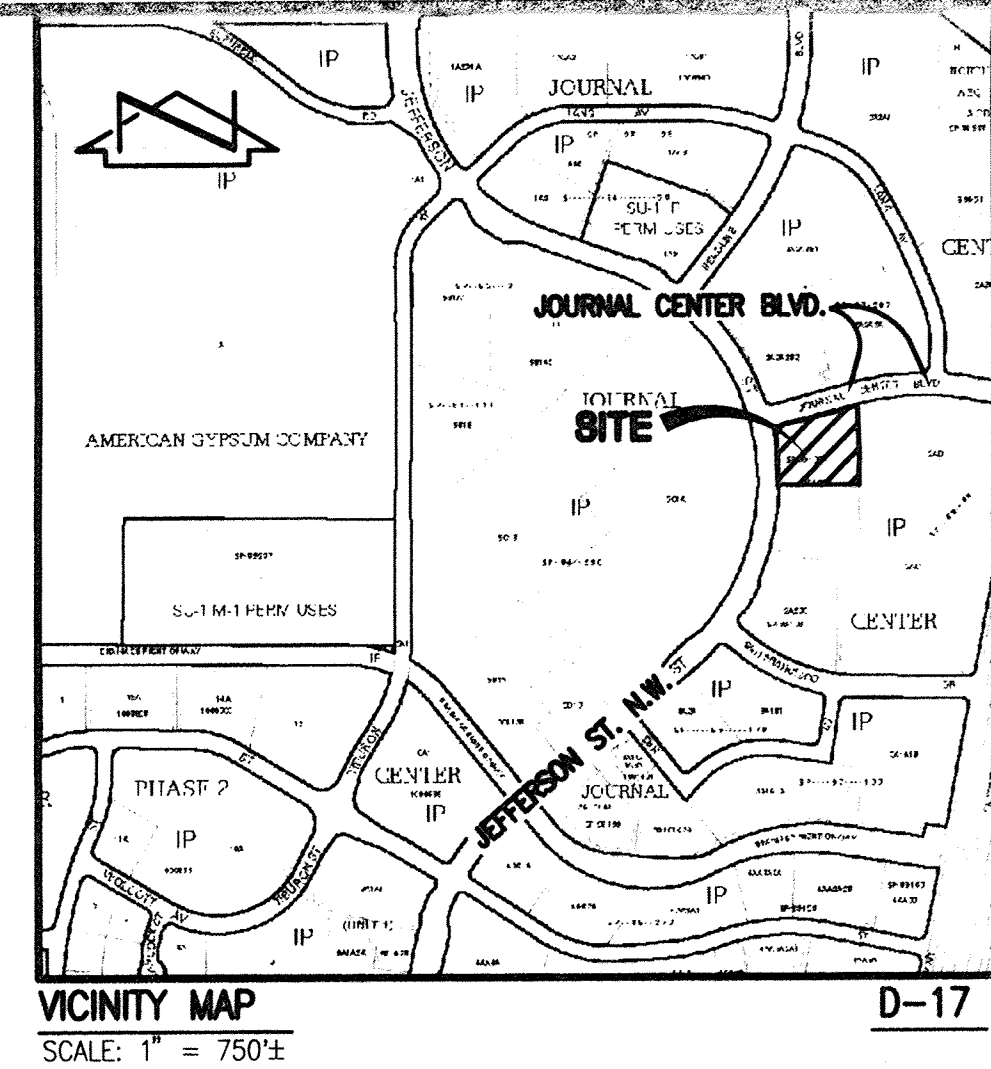
PROJECT BENCHMARK:
BRASS CAP CENTERLINE MONUMENT STAMPED "LS 2455" LOCATED IN THE INTERSECTION OF JEFFERSON STREET NE AND SAN FRANCISCO ROAD NE, ELEVATION = 5160.47, AS NOTED ON THE ORIGINAL TOPOGRAPHIC SURVEY PREPARED BY ALBUQUERQUE SURVEYING CO., INC. (NMPS 4078), DATED OCTOBER 1987.

T.B.M.:
TOP OF CURB ELEVATION AT MEDIAN NOSE IN JEFFERSON STREET AS NOTED ON DRAWING AT LEFT, ELEVATION = 5163.58, AS TAKEN FROM ORIGINAL TOPOGRAPHIC SURVEY PREPARED BY ALBUQUERQUE SURVEYING CO., INC. (NMPS 4078), DATED OCTOBER 1987.

DESIGN INTENT:
THE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE AN EMERGENCY OVERFLOW FOR BASIN 3. THE 6-INCH PVC PIPES AS SHOWN ON THE RECORD DRAWINGS WERE CONSTRUCTED FLATTER THAN THE APPROVED DESIGN AND ARE PRONE TO CLOGGING. TO ADDRESS THIS, A CONCRETE RUNDOWN DISCHARGING TO A 24-INCH SIDEWALK CULVERT IS PROPOSED. THIS WORK SHALL BE CONSTRUCTED BY SO # 19 PROCESS. APPROVAL FOR SO # 19 PERMIT IS THE PURPOSE OF THIS DRAINAGE SUBMITTAL. SUPPORTING CALCULATIONS ARE CONTAINED HEREON.

KEYED NOTES:

- EXISTING VALLEY GUTTER CONSTRUCTED AFTER APPROVAL OF RECORD DRAINAGE PLAN AND DATE OF REFERENCED TOPOGRAPHIC SURVEY
- EXISTING MEDIAN CURB CONSTRUCTED AFTER APPROVAL OF RECORD DRAINAGE PLAN AND DATE OF REFERENCED TOPOGRAPHIC SURVEY
- EXISTING ASPHALT PAVING CONSTRUCTED AFTER APPROVAL OF RECORD DRAINAGE PLAN AND DATE OF REFERENCED TOPOGRAPHIC SURVEY
- EXISTING STANDARD CURB AND GUTTER CONSTRUCTED AFTER APPROVAL OF RECORD DRAINAGE PLAN AND DATE OF REFERENCED TOPOGRAPHIC SURVEY
- EXISTING 6" CONCRETE SIDEWALK CONSTRUCTED AFTER APPROVAL OF RECORD DRAINAGE PLAN AND DATE OF REFERENCED TOPOGRAPHIC SURVEY
- EXISTING ASPHALT PAVING CONSTRUCTED BY ORIGINAL BUILDING PERMIT
- NEATLY SAWCUT, REMOVE AND DISPOSE 7 LF EXISTING CURB AND GUTTER. CONSTRUCT 1-24-INCH SIDEWALK CULVERT PER COA STD DWG 2236; TC @ 5163.82, INV OUT @ 5163.22, INV IN @ 5163.26 (S = 0.0040)
- CONSTRUCT 2" CONCRETE RUNDOWN @ S = 0.0040; TRANSITION CURB HEIGHT FROM 6-INCHES AT ANGLE POINT TO 8-INCHES AT BACK OF SIDEWALK
- CONSTRUCT 2" CONCRETE RUNDOWN @ S = 0.0040 PER TYPICAL SECTION
- CAREFULLY REMOVE EXISTING SOD FOR INSTALLATION OF CONCRETE RUNDOWN. LOWER EXISTING IRRIGATION LINES AND RELOCATE SPRINKLER HEADS AS REQUIRED. GRADE BACK ADJACENT AREAS AT 5:1 MAX. AND REPLACE SOD.
- NEATLY SAWCUT, REMOVE AND DISPOSE EXISTING CURB TO FACILITATE RUNDOWN CONSTRUCTION; PATCH ASPHALT PAVING IN A WORKMANLIKE MANNER AS REQUIRED.



CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, AMENDMENT 1.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

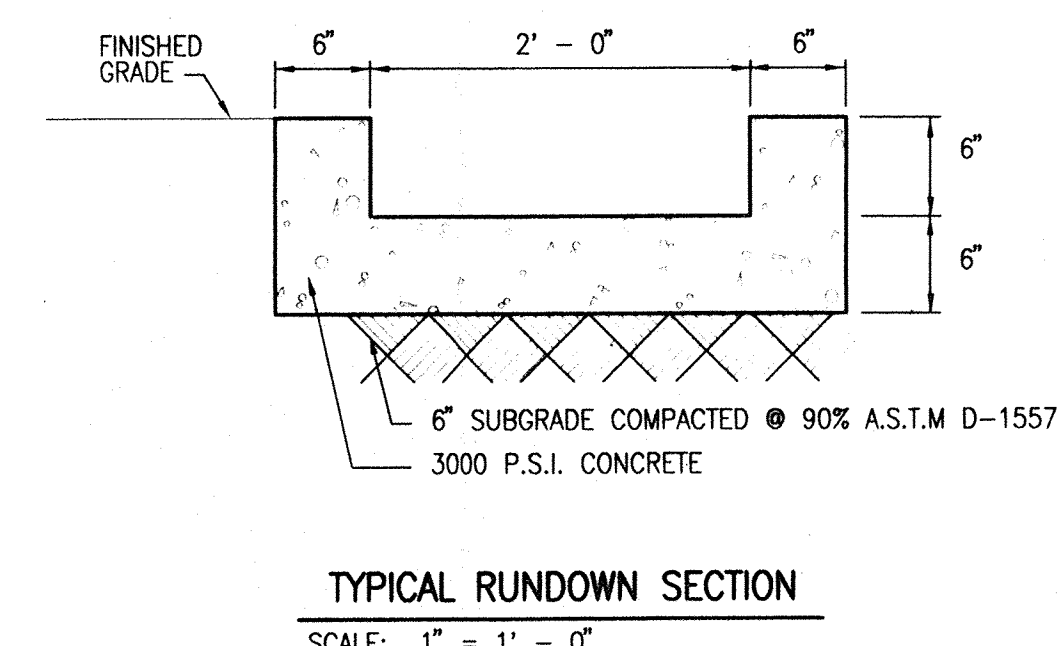
CALCULATIONS:

$Q_{DESIGN} = 3.4 \text{ CFS (FROM 1989 RUN)}$

$Q_{CAP} = (1.49/n)AR^{2/3}S^{1/2} \text{ (MANNING EQN.)}$

WHERE: $n = 0.013$
 $A = 2(0.5) = 1 \text{ SF}$
 $P = 0.5 + 2 + 0.5 = 3 \text{ FT}$
 $R = A/P = 1/3 = 0.33 \text{ FT}$
 $S = 0.17/39 = 0.0044$

$Q_{cap} = 3.6 \text{ CFS} > Q_{DESIGN} \therefore \text{OK}$



TYPICAL RUNOFF SECTION
SCALE: 1" = 1' - 0"

EROSION CONTROL MEASURES:

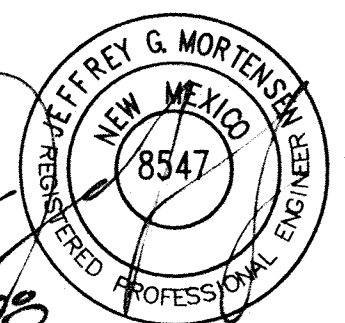
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

APPROVALS	NAME	DATE
HYDROLOGY		
SIDEWALK INSPECTOR		
STORM DRAIN MAINTENANCE		

RECEIVED

JUN 26 2008

HYDROLOGY SECTION 06-29-2008



File Path: E:\WORK\2828A
Plot Date: 06-18-2008
File Name: 881392DN.DWG
Plot Time: 4:05 pm

RECORD DRAWING NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS COMPILED FROM RECORD DRAWINGS PREPARED BY HIGH MESA CONSULTING GROUP (FORMERLY JEFF MORTENSEN & ASSOCIATES, INC.) AND SHOWN FOR ORIENTATION ONLY. SITE PLAN BASE COMPILED FROM RECORD DRAWINGS LAST DATED 03-09-89 (NMPE 8547). THE ENGINEER HAS CONDUCTED LIMITED FIELD VERIFICATIONS. ALL HORIZONTAL AND VERTICAL LOCATION AND LINE SIZE DATA MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO INSTALLATIONS; ACTUAL FIELD CONDITIONS MAY VARY.

HIGH MESA Consulting Group
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

**DRAINAGE MODIFICATIONS
BASIN 3
MARSHALL BUILDING**

DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	87.137.6
DRAWN BY	C.F.A.					DATE	06-2008
APPROVED BY	J.G.M.					SHEET	1 OF 1



T.B.M. = PROJECT BENCHMARK
BRASS CAP CENTERLINE MONUMENT,
STAMPED "LS 2455", LOCATED IN THE
INTERSECTION OF JEFFERSON STREET
N.E. AND SAN FRANCISCO ROAD N.E.
ELEVATION: 5160.47 ft (M.S.L.D.)

LEGAL DESCRIPTION	TRACT 2A - 2BA, JOURNAL CENTER

CONSTRUCTION NOTES:

1. THE (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 769-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL ADVISE THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

- [illegible]

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ENDS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTING TEMPORARY BARRS AT THE PROPERTY LINES AND WETTING THE SOIL TO ADEE IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ALL EXCAVATED MATERIAL FROM THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "PODSOL" DRAINING CONSTRUCTION PRIOR TO

APPROVED FOR ROUGH GRADING ± 1'

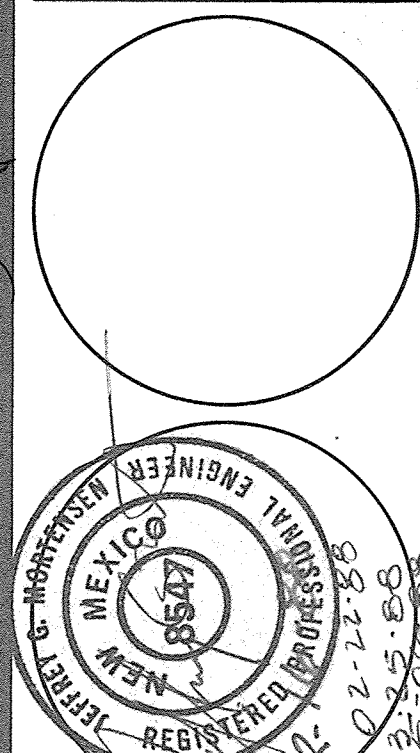
Hydrology Section

Date

CLAUDIO VIGIL ARCHITECTS

GRADING AND DRAINAGE THE MARSHALL BUILDING

SHEET



825 Pennsylvania NE Albuquerque, NM 87110
505/265-3000

NOTE: OF EXISTING GAS,
ELECTRICAL, TELEPHONE AND IRRIGATION LINE,
MAY BE NECESSARY. CONTRACTOR SHALL
COORDINATE NECESSARY RELOCATIONS WITH
RESPECTIVE UTILITY OWNER. CONTRACTOR
SHALL BE RESPONSIBLE FOR CAPPING EXISTING
SPRINKLER LINES AND RELOCATING HEADS (SEE
LANDSCAPE PLANS).

LEGEND

	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	TOP OF CURB
	TOP OF ASPHALT
	TOP OF WALL
	FLOWLINE
	PROPOSED CONCRETE DRAINAGE BASIN BOUNDARY
	EXISTING CONCRETE

NOTE:

ELEVATION (LOWERING) OF EXISTING GAS,
ELECTRICAL, TELEPHONE AND IRRIGATION LINE
MAY BE NECESSARY. CONTRACTOR SHALL
COORDINATE NECESSARY RELOCATIONS WITH
RESPECTIVE UTILITY OWNER. CONTRACTOR
SHALL BE RESPONSIBLE FOR CAPPING EXISTING
SPRINKLER LINES AND RELOCATING HEADS (SEE
LANDSCAPE PLANS).

NOTE: TOPOGRAPHIC SURVEY PREPARED BY OTHERS AND PROVIDED BY OWNER. ITS ADEQUACY IS HEREBY DISCLAIMED AS IT RELATES TO THIS DRAWING.

REVISONS			DESCRIPTION
REV #	DATE	BY	
3	3/89	GCJ	REVISE PRIVATE ENTRANCE, STREET GRADES.

REV. #	DATE	BY	DESCRIPTION
1	5/88	SKS	REVISE ROOF DRAINAGE, PARKING ISLANDS. PIPE OUTLET NW CORNER, DRIVEPAD NORTH SIDE.
2	12/88	GCJ	REVISE PARKING AREA, LOADING DOCK, ELECTRICIAN ENCLOSURE AND TRASH ENCLOSURE, AS PER REVISED SITE PLAN.

