

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 17, 2023

James E. Lopez, P.E.
Wilson & Company
440I Masthead St. NE
Albuquerque, NM 87113

**RE: Explore Academy Renovations
5100 Masthead St. NE
Grading & Drainage Plans
Engineer's Stamp Date: 04/13/23
Hydrology File: D17D003N**

Dear Mr. Lopez:

PO Box 1293

Based upon the information provided in your submittal received 03/15/2023, the Grading & Drainage Plans are approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ **560.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back. Follow the instructions on the bottom of the form and pay it at the Treasury next to Building Permits. Once paid, please email me proof of payment.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

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Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Explore Academy Building Permit # _____ Hydrology File # _____
DRB# _____ EPC# _____
Legal Description: Tract 4AA5A1 Journal Center City Address OR Parcel 5100 Masthead NE

Applicant/Agent: Wilson & Company, Inc. Contact: James Lopez, PE
Address: 4401 Masthead St NE Suite 150, Albuquerque, NM 87109 Phone: (505) 730-8013
Email: james.lopez@wilsonco.com

Applicant/Owner: Explore Academy Contact: _____
Address: 5100 Masthead St NE, Albuquerque, NM 87109 Phone: (505) 437-3800
Email: _____

TYPE OF DEVELOPMENT: 1 PLAT (#of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE: _____
RE-SUBMITTAL: _____ YES X NO

DEPARTMENT: _____ TRANSPORTATION X HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G&D PLAN
____ GRADING PLAN
X DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOOD PLAN DEVELOPMENT PERMIT APP.
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ADMINISTRATIVE
____ TRAFFIC CIRCULATION LAYOUT FOR DRB
APPROVAL
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY)
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ CONCEPTUAL TCL DRB APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOOD PLAN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 03-10-23

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: James Lopez, PE DATE: 03-10-23

DEVELOPMENT: Explore Academy Renovation/Addition

LOCATION: 5100 Masthead St. NE, Albuquerque, NM, 87109

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 70 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 70 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: The site is currently fully built out. The
existing on-site ponding location is at an elevation that is
too high for it to effectively capture runoff to qualify for MS4
ponding requirements.

James Lopez, PE

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 560.00

THIS SECTION IS FOR CITY USE ONLY

☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.

Renée C. Brissette

City of Albuquerque
Hydrology Section

03/23/23

Drainage Narrative

LEGAL DESCRIPTION: Tract 4AA5A1 JOURNAL CENTER

AREA: 3.300 acres (Project Area: 0.084 Acre = 3680 SF)

FLOOD HAZARD: From FEMA Map Panel 35001C0137H (effective 8/16/12), this site is within Zone 'X'; areas determined to be subject to the 0.2% annual chance flood.

EXISTING CONDITIONS: The site is developed with a single-story school building, paved parking, walkways, and landscaping. On the western side of the site, a playground and grass field area have been added which replaced asphalt paving. Additionally, a retention pond was built north of the playground area. This playground and pond are enclosed on the site by a perimeter fence. Site runoff surface flows to the west on both the north and south sides of the building and then freely discharges north into Masthead St. at the NW corner entrance of the site.

OFFSITE FLOW: No offsite flows enter the project site.

PROPOSED IMPROVEMENTS: The project includes a single-story, 3680 SF addition that is being constructed. The new addition is located near the NW corner of the building in a small courtyard between two existing portions of the building. The addition replaces both paved and landscaped areas. The change in impervious area is 0.02 acres.

DRAINAGE APPROACH: The drainage concept will maintain existing flow patterns. The proposed addition will also maintain the existing drainage pattern and flow to the NW corner of the site and free discharge to Masthead Street. It has been determined that the elevation and location of the constructed pond north of the playground disqualifies it from effectively capturing site runoff. Therefore, it is assumed that the pond will capture a negligible portion of flow, and thus, a Storm Water Quality Pond Waiver will be paid in lieu of the required volume.

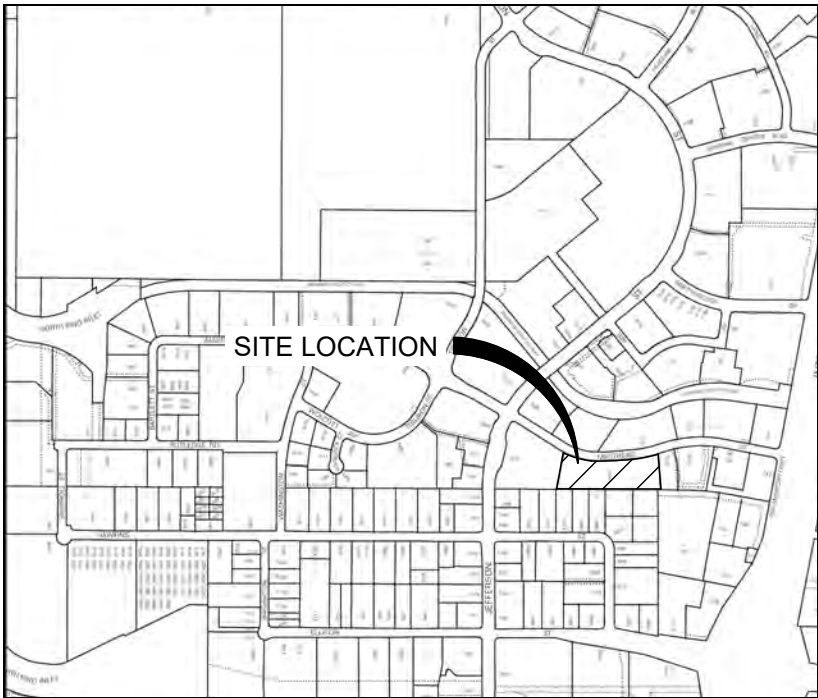
RUNOFF: (Precipitation Zone 2) The following calculations were performed in accordance with the City of Albuquerque Development Process Manual. Remodeled area for SWQ Pond Waiver = 3680 SF (excludes pervious area to remain pervious in proposed condition).

Existing Conditions

Basin	Total Area (sq ft)	Total Area (Ac)	A		B		C		D		Peak Discharge, Q (cfs)
			%	Ac	%	Ac	%	Ac	%	Ac	
101	143748	3.300	0	0.00	6.2	0.20	28	0.92	66	2.18	12.7

Proposed Conditions

Basin	Total Area (sq ft)	Total Area (Ac)	A		B		C		D		Peak Discharge, Q (cfs)
			%	Ac	%	Ac	%	Ac	%	Ac	
101	143748	3.300	0	0.00	6.2	0.20	27	0.90	66.7	2.20	12.8



LOCATION
ZONE ATLAS MAP NO D-17



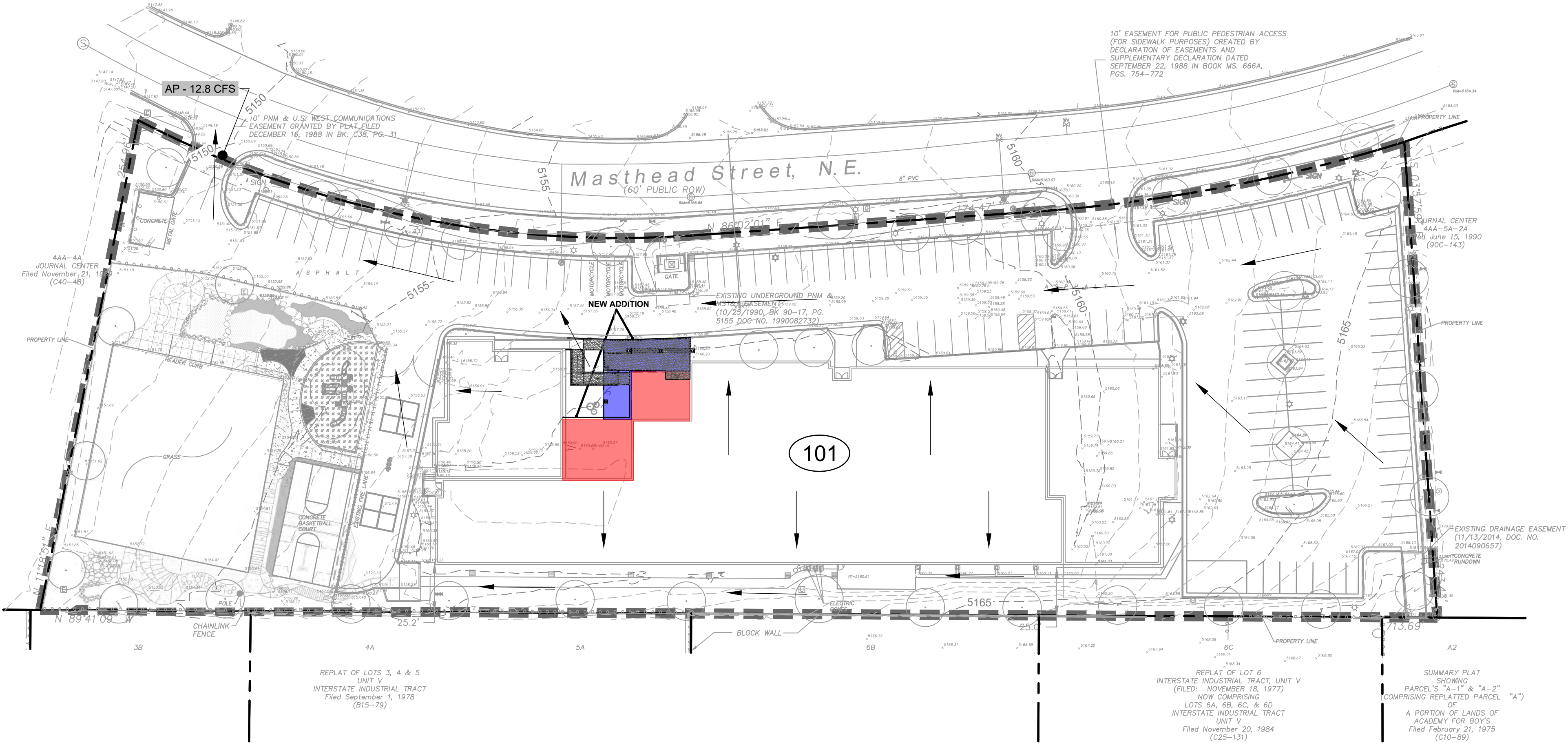
FLOOD INSURANCE RATE MAP
REFERENCE: FLOOD INSURANCE STUDY
PANEL NO. #35001C0137H



SOILS MAP
REFERENCE: HTTP://WEBSOILSURVEY.NRCS.USDA.GOV

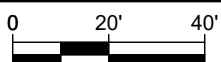
LEGEND

- NEW BUILDING ADDITION
- NEW BUILDING OVERHANG AREA
- BASIN BOUNDARY
- 101 BASIN ID
- FLOW DIRECTION INDICATOR



A1 OVERALL GRADING AND DRAINAGE PLAN

SCALE: 1" = 40'



WILSON & COMPANY
4401 MASTHEAD ST. NE, SUITE 150
ALBUQUERQUE, NM 87109
PHONE: 505-348-4000
FAX: 505-348-4055
www.wilsonco.com

CONSULTANTS



PROJECT NAME

EXPLORE ACADEMY
RENOVATION/ADDITION
5100 MASTHEAD ST. NE,
ALBUQUERQUE, NM, 87109

REV.	DATE	DESCRIPTION	BY

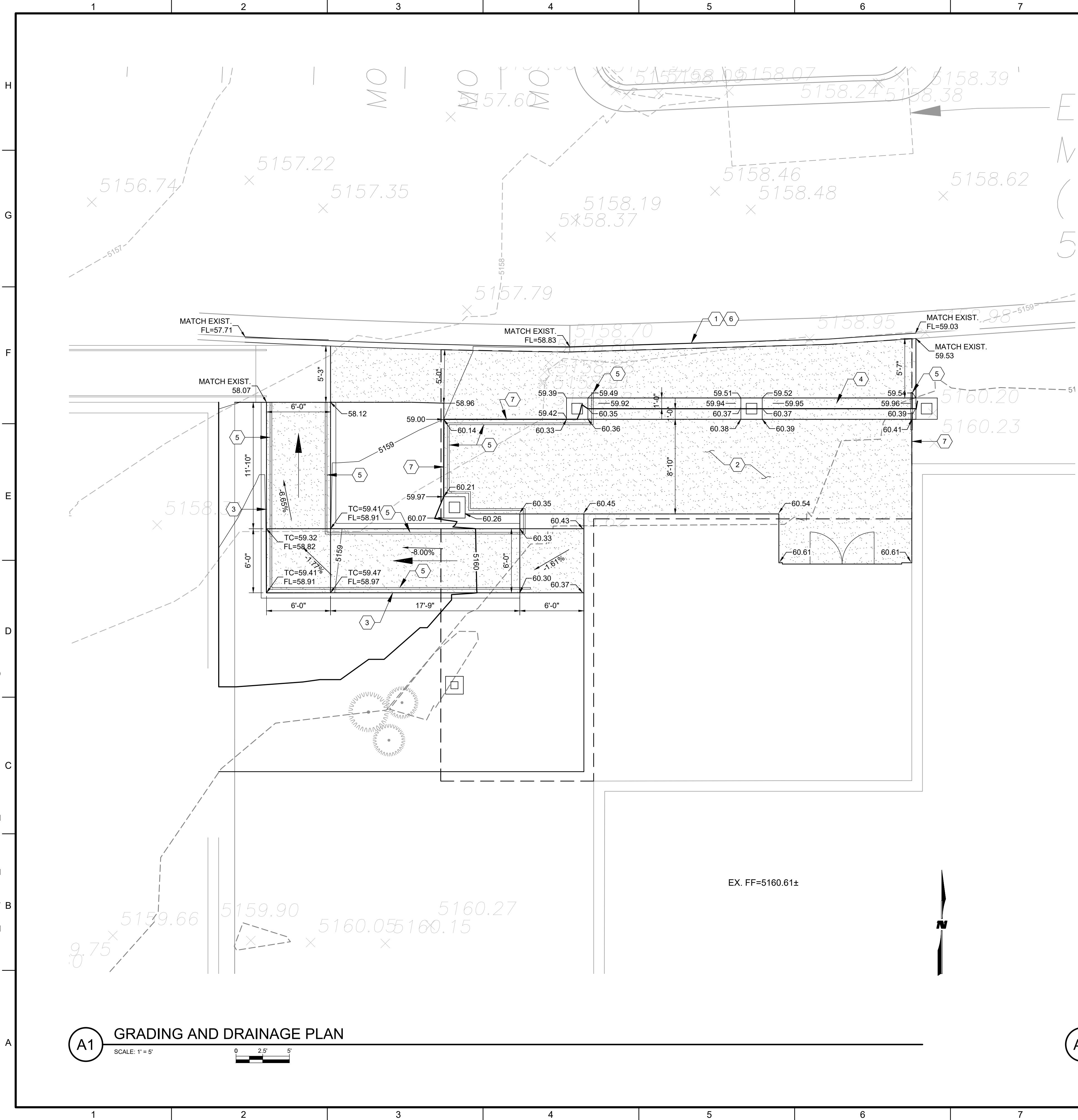
PROJECT NO: 23-600-138-00
DESIGNED BY: JEL
DRAWN BY: TRG
CHECKED BY: TGS
DATE: APRIL 2023

SHEET TITLE
**OVERALL
GRADING AND
DRAINAGE PLAN**

SHEET NO:

1 of 2

4/14/2023 M:\MSD\23-600-138-00\2_Disciplines_SHEETS\2_Sheets - civil\236138-GD02.dwg

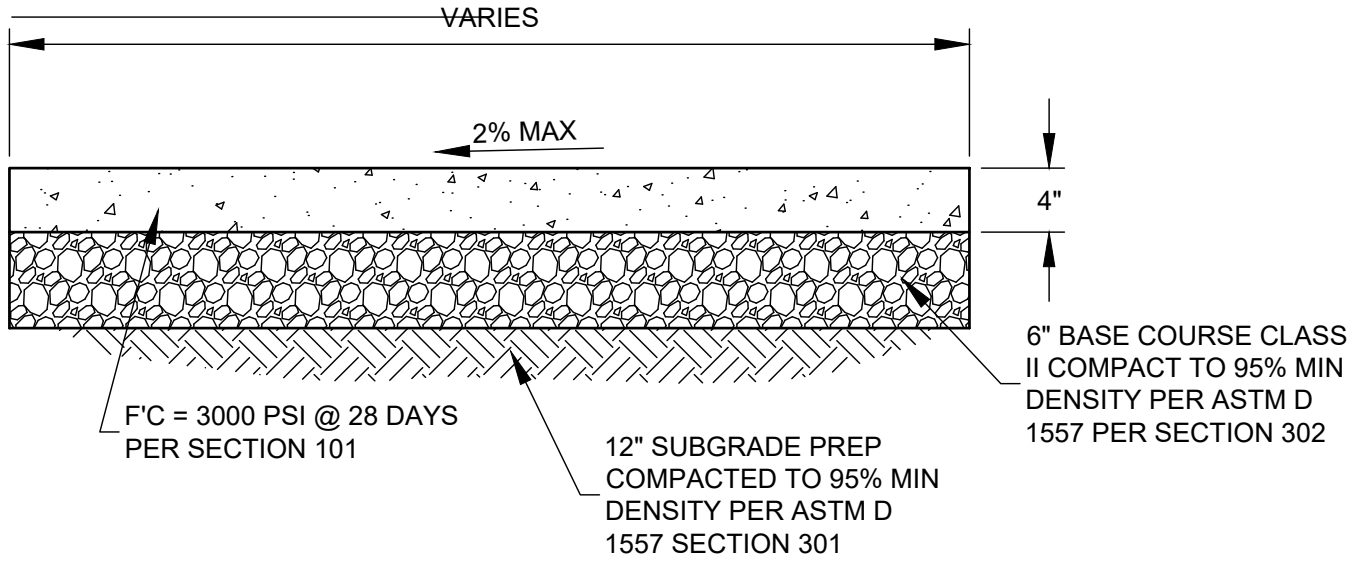


GENERAL NOTES

1. ANY DAMAGE SHALL BE REPAIRED OR REPLACED IN-KIND BY THE CONTRACTOR.

KEYNOTES

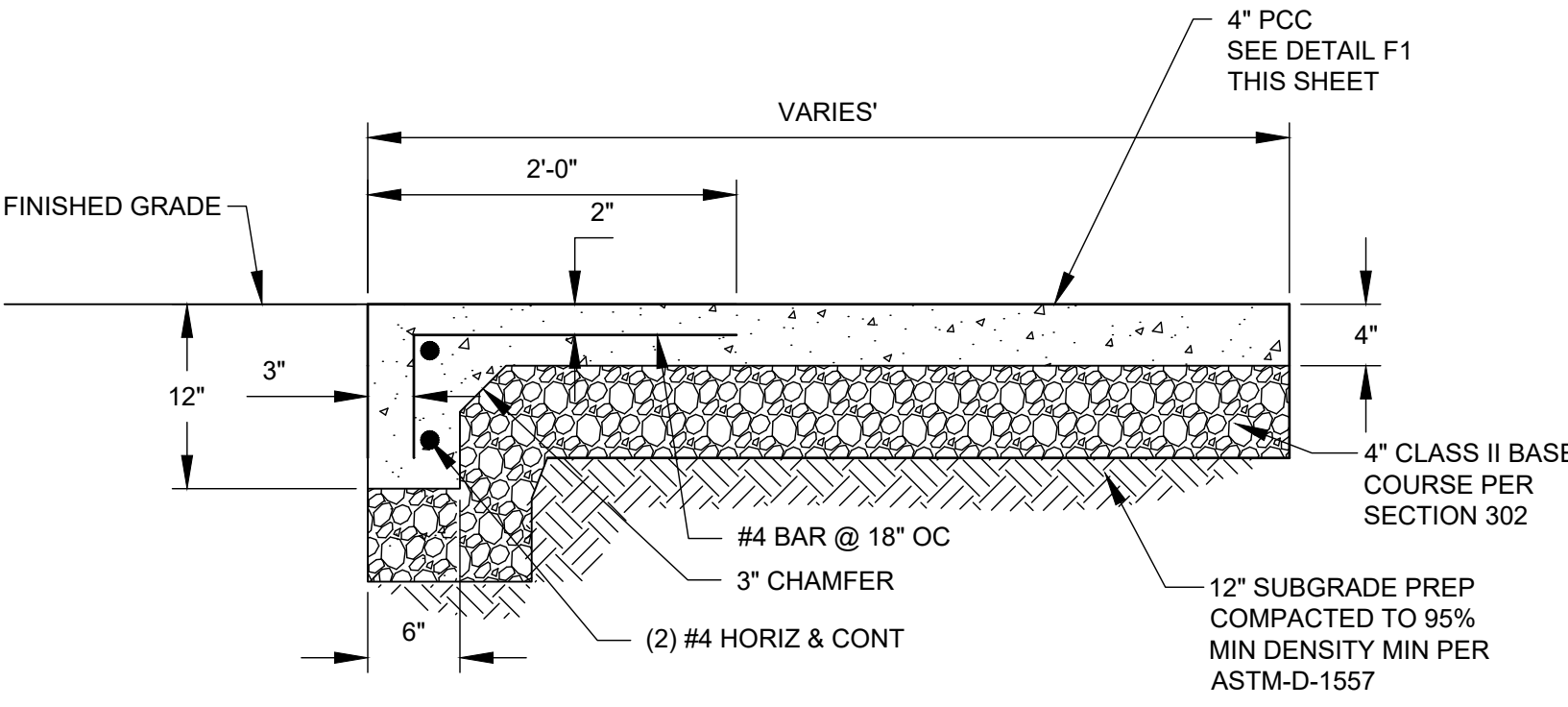
1. CONSTRUCT MEDIAN CURB & GUTTER PER COA STD DWG # 2415B.
2. CONSTRUCT NEW 4" PCC SIDEWALK PER DETAIL D8.
3. CONSTRUCT ADA RAMP PER DETAIL
4. STAIRS.
5. HAND RAILS.
6. REMOVE & DISPOSE EXISTING CURB & GUTTER.
7. TURN DOWN CURB PER DETAIL A8.



CONSTRUCTION NOTES

1. WHEN ABUTTING TO VERTICAL WALLS, BENCHES OR BUILDINGS, INSTALL 1/2" BITUMINOUS EXPANSION JOINT. RECESS 1/4" VERTICALLY. INSTALL SIKA-FLEX POLYMER SEALANT OR APPROVED EQUAL PER SECTION 107 (TYP)
2. INSTALL CONTRACTION JOINTS AT 6'-0" OC
3. LIGHT BROOM FINISHED CONCRETE SURFACE REQUIRED.

D8 4" PORTLAND CEMENT CONCRETE DETAIL
N.T.S.



CONSTRUCTION NOTE:

1. THICKENED EDGE ON ALL SIDES

A8 4" PCC TURNDOWN DETAIL
N.T.S.

A1 GRADING AND DRAINAGE PLAN
SCALE: 1" = 5'

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4401 MASTHEAD ST. NE, SUITE 150
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RENOVATION/ADDITION
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PROJECT NO: 23-600-138-00
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