

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 25, 2023

Sara Rain, R.A
Studio 151, LLC
P O Box 923
Corrales, NM 87048

Re: Dermatology and Skin Cancer Center/ 5120 Masthead St. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 10-24-2022 (D17-D003P1)
Certification dated 05-22-23

Dear Mrs. Rain,

Based upon the information provided in your submittal received 05-02-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

May 22, 2023

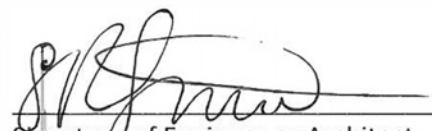
RE: Traffic Certification

I, Sara Rain Stewart, NMRA number 4868, of the firm Studio 151, LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated October 24, 2022. The record information edited onto the original design document has been obtained by Joe Aguirre of Klinger Constructors. I further certify that I have personally visited the project site on May 22, 2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

Work included:

- A new HC sidewalk ramp
- Restriping and signage for two additional HC parking spaces
- Restriping and signage for four new motorcycle parking spaces

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Signature of Engineer or Architect

05.22.2023
Date





GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION.
- VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT.
- DIMENSIONS ARE TO GRID LINE AND FACE OF STUD UNLESS NOTED OTHERWISE.
- 'FF' INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED TO THE FINISHED FACE OF PARTITIONS.
- SEE SHEET A121 FOR ROOM FINISH SCHEDULE.
- REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN THOSE AREAS.
- SEE SHEET A102 & A103 FOR PARTITION / WALL TYPES.
- SEE REFLECTED CEILING PLANS FOR CEILING HEIGHTS.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL RESTROOMS AND CUSTODIAL ROOMS.
- PROVIDE FOR INDEPENDENT COOLING AT IT CLOSET (ROOM 155) ROOMS AND SLIDE STORAGE (ROOM 177).
- COORDINATE ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION WITH NEW CONSTRUCTION. REFER TO NEW MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EXTENT OF DEMOLITION REQUIREMENTS.
- USE PRE-FABRICATED BOOTS AT ALL LOCATIONS UNLESS CONFIGURATION OF PENETRATION DOES NOT ALLOW. ALL FIELD FABRICATED BOOTS SHALL HAVE MINIMUM 2" WELDS AT ALL SEAMS.
- CONTRACTOR TO COORDINATE ALL WALL BLOCKING REQUIREMENTS PRIOR TO CONSTRUCTION.

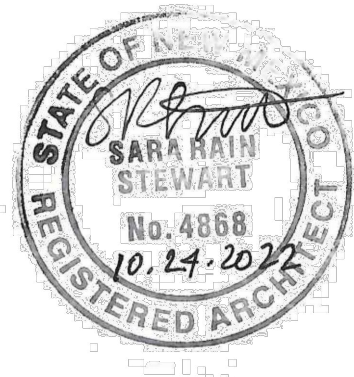
SYMBOLS LEGEND

- EXISTING EXTERIOR COLUMN / WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- INTERIOR ELEVATION
- DOOR NUMBER
- ENTRY
- ROOM NAME
- ROOM NUMBER
- KEYNOTE
- EXTERIOR ELEVATION
- SECTION OR DETAIL CALL-OUT
- BUILDING SECTION
- WALL OR DETAIL SECTION
- FRAME OR WINDOW TYPE
- PARTITION / WALL TYPE
- CONTROL OR DATA ELEVATION
- TOILET ROOM ACCESSORY
- EQUIPMENT TAG
- CPT_VCT
- EDGE OF FLOOR FINISH
- STUCCO COLOR, SEE SPECS.
- 2-A FIRE EXTINGUISHER
- 80-B FIRE EXTINGUISHER
- EXIT SIGN
- COMBINATION EXIT/EMERGENCY LIGHT
- EMERGENCY LIGHT
- LIGHT WITH BATTERY BACKUP TO SERVE AS EMERGENCY LIGHT
- 1 HR. RATED WALL ASSEMBLY

A6 FLOOR PLAN
A101 1/8"=1'-0"

STUDIO 151, LLC

P.O. BOX 923
CORRALES, NEW MEXICO
870048
505.220.0595
505.242.7627



DERMATOLOGY AND SKIN CANCER
CENTER OF NEW MEXICO
5120 MASTHEAD STREET
ALBUQUERQUE, NM 87114

REVISIONS	DATE	ADDENDUM #1	ADDENDUM #2	DESCRIPTION
1	09.14.2022			
2	10.27.2022			

PROJECT NO: 2019-DSCCNM
DATE: 10.24.2022
SET NO: PERMIT DRAWINGS
DRAWN BY: TP
CHECKED BY:

FLOOR PLAN

PROJECT DATA

PROJECT DESCRIPTION	Tenant Improvement - Current use: Education, Proposed Use: Business (Clinic, Outpatient)
PROJECT	Dermatology & Skin Cancer Center of New Mexico, Masthead
PROJECT ADDRESS	5120 Masthead Street NE Albuquerque, New Mexico 87190
LEGAL DESCRIPTION	UPS: 101706346815740236 Tract: 4AA-5A-2A-1 Plat of Tracts 4AA-5A-2A-1 & 4AA-5A-2A-2 Journal Center A Replat of Tract 4AA-5A-2A
ZONING	NR-BP (Non-Residential, Business Park)

EXISTING BUILDING DATA

PROPERTY AREA	1.5463 ACRES
EXISTING BUILDING GROSS AREA	13,693 Square Feet
PARKING	110 Spaces parking remains unchanged

SCOPE OF WORK

Existing building with a change of occupancy to be B Business (Clinic, Outpatient) from E Education. Scope of work consists of new interior partitions to provide patient rooms, doctor's offices, laboratory space and related amenities. Exterior work includes a 151 SF addition at the North entry, replacement of existing exterior doors with window units, and new skylights. Electrical work will entail new circuits etc. as necessary to support the new functions. Mechanical work will entail new units, new duct work, etc. HVAC units will be placed on the roof. Plumbing work will entail new restroom locations, kitchenette in staff lounge, drinking fountains, remote hand wash sinks, equipment/facilities associated with lab, and any work associated with other trades. Roofing work will be limited to flashing of new curbs for HVAC units and skylights, and roofing of the entry addition.

CODE ANALYSIS

APPLICABLE CODES

International Building Code (IBC) 2015 (NMCBC 2015)
Uniform Mechanical Code (UMC) 2105 (NMUC 2015)
National Electrical Code (NEC) 2017 (NMEC 2017)
International Energy Conservation Code (IECC) 2018 (NMECC 2018)
International Existing Building Code (IEBC) 2015 (NMEBC 2015)

BUILDING AREA
EXISTING GROSS AREA: 13,693 SQ. FT.
ADDITION: 151 SQ. FT.
TOTAL BUILDING AREA: 13,844 SQ. FT.

OCCUPANCY GROUP
IBC SECTION 303.3:
Existing: E - Education
New: B - Business (Clinic, Outpatient)

CONSTRUCTION TYPE & ALLOWABLE AREA

Existing Building: Type II-B, Un-sprinklered

Allowable Stories (IBC Table 504.4): 3 Stories above grade. Actual: 1 story.

Allowable Area (IBC Table 506.2): 23,000 SQ. FT. Actual: 13,844 SQ. FT.

OCCUPANT LOAD

IBC Table 1004.1.2Q, FT. Gross

Business B			
Waiting Area (Assembly A-2)	995 SQ. FT./15 NSF	=66.3 occupants	
Breakroom 170 (Assembly A-2)	257 SQ. FT./15 NSF	=17.1 occupants	
Clinic (Business)	10,443 SQ. FT./100 GSF	=104.4 occupants	
Excluded Net Floor Areas: Assembly Corridor/Circulation, Fan Tank, Hall 151 Women 152, & Men 153	2,189 SQ. FT.		
Total		=195 occupants	

ALTERATION LEVEL

IEBC 2015 503: Alteration Level 3: work area exceeds 50% of building area. Work area includes 100% of building area.

EGRESS

Exit Width (IBC 1005.3.2):
Occupants x 0.2 = 28 inches
Provided Width: 32 inches minimum in exits per space.

Number of Exits (IBC Table 1006.3.1)
Occupant Load per Story: 1-500 = 2 exits Required
Provided Number of Exits: 3

EXIT ACCESS TRAVEL DISTANCE:
Allowed (IBC Table 1017.2) for Occupancy B, without sprinkler system: 200 FT
Provided: 129 FT

FIRE

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
All Elements: 0 Hours (IBC Table 601)

FIRE ALARM SYSTEM

IBC Section 907.2
Occupancy B: No manual fire alarm system is required as total occupant load is less than 500, building is not greater than 1 story, and does not contain an ambulatory care facility.

FIRE EXTINGUISHING SYSTEM

CLINIC
IBC Section 906.1
Fire Extinguishers: 2-A 10B. Max travel distance 75 feet.

Provided: (1) 2-A

MOHS LABORATORY

Class B (Flammable or combustible liquids)
NFPA 10, 5.4.1.3 - Extra Hazard - quantities greater than 5 gallons
NFPA 10, Table 6.3.1.1 requires:
FE rated 40-B, max travel 30 FT or
FE rated 80-B, max travel 50 FT

PLUMBING FIXTURES

PLUMBING FIXTURE REQUIREMENTS:

IBC Table 2902.1
Occupant Load for Fixture Count
195 (98 Female + 98 Male)

Required:
water closets - *1 per 25 for first 50, 1 per 50 above initial 50 = 6 (3 Female + 3 Male)
lavatories - *1 per 40 for first 80, 1 per 80 above initial 80 = 6 (3 Female + 3 Male)
drinking fountain - *1 per 100 = 2

Provided:
water closets - *8 (4 Female+2 Male+2 Unisex) Because of historic male and female staffing ratios one male restroom was converted to unisex.
lavatories - *8
drinking fountain - *2

ENERGY EFFICIENCY

IECC 2018:
Section C503: *Unaltered portions of existing buildings are not required to comply with Commercial Energy Efficiency requirements.*

Table C402.1.3
Climate Zone 4
Building Envelope requirements – opaque assemblies
Roof – Insulation above the roof deck: R-30
Walls – Mass: R-9.5ci

Table C402.4
Building Envelope requirements – fenestration
U factor: Fixed: 0.38
Operable: 0.45
Entrance Doors: 0.77
SHGC: PF < 0.2; N – 0.48, SEW – 0.36
Skylights: U factor: 0.50, SHGC: 0.40

C401.2.1: *Where existing fenestration is replaced with new fenestration, the replacement unit shall meet the applicable requirements for U-factor and SHGC in Table C402.4.*

PARKING REQUIREMENTS

CoA NEW IDO Code of Ordinances § 14-16-5-5
Table 5-5-1:
Medical Clinic: 5 spaces per 1000 GSF
Required: 70 spaces

Provided Off-Street Parking:
101 spaces plus 6 Accessible Spaces

EXISTING PARKING TO REMAIN UNCHANGED.

MOTORCYCLE:
Table 5-5-4: **Motorcycle Parking: 3 spaces** where required off-street parking is 51-100 spaces. Provided?

BICYCLE PARKING:
Table 5-5-5: 3 spaces or 10% or required off-street parking, whichever is greater.
Required off street parking = 70; required bicycle parking – 7. Provided?

FIRE SYSTEM NOTES

A. FIRE ALARM CONTRACTOR SHALL SUBMIT ANY REQUIRED SHOP DRAWINGS FOR REVIEW AND APPROVAL.

INDEX TO DRAWINGS

general

1 G100 COVER SHEET
PROJECT AND CODE DATA
EXISTING SITE PLAN

existing approved drawings

2 C10 SITE PLAN
3 C20 LANDSCAPE PLAN
4 C30 GRADING PLAN
5 A40 GENERAL CIVIL NOTES

fire

6 F2 FIRE DEPARTMENT FLOOR PLAN

demolition

7 D101 DEMOLITION PLAN

structural

8 S101 STRUCTURAL DETAILS
8 S101 STRUCTURAL DETAILS

architectural

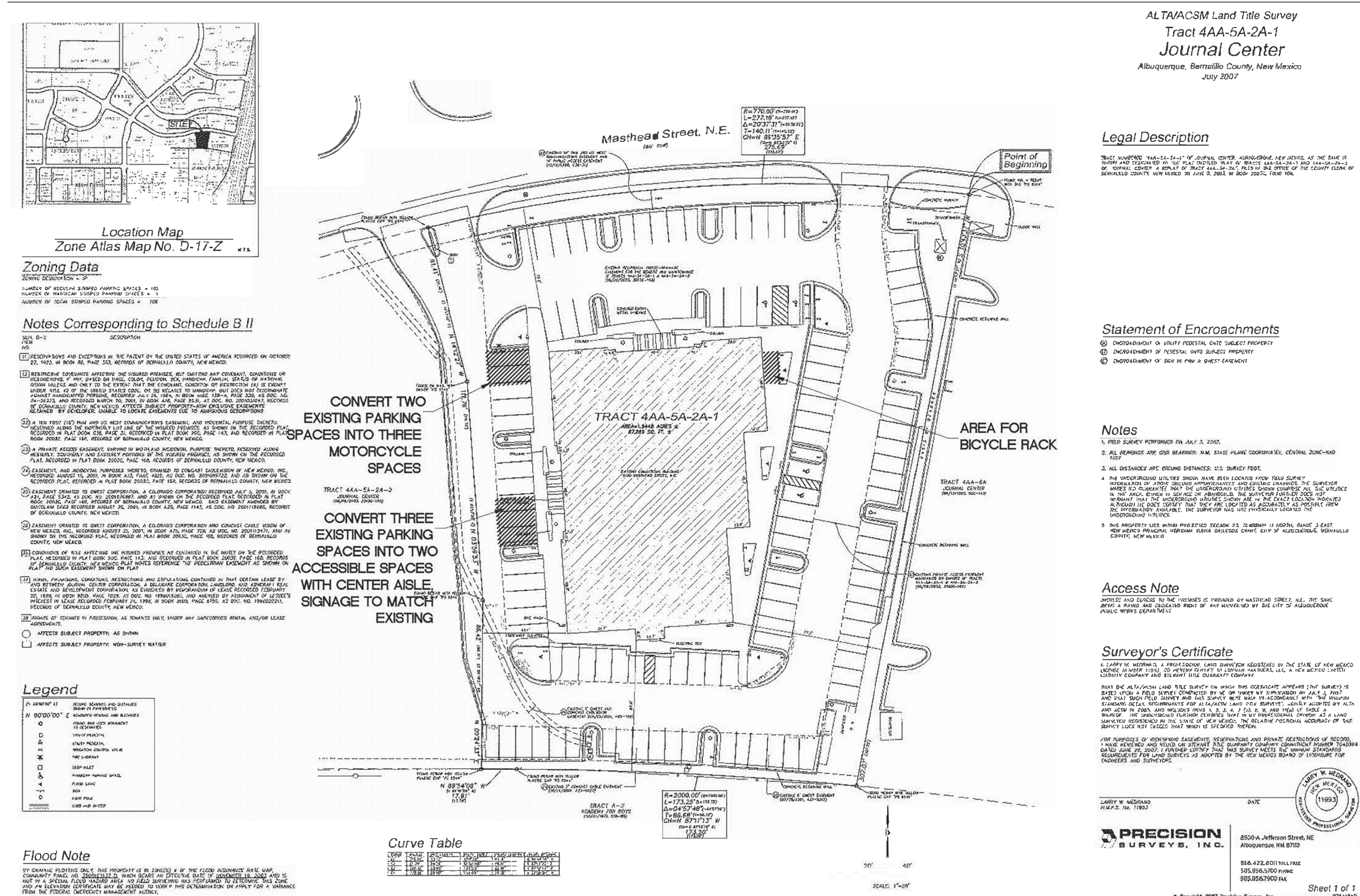
9 A001 ROOF PLAN / DETAILS
10 A101 FLOOR PLAN
12 A102 ENLARGED FLOOR PLAN
13 A103 ENLARGED FLOOR PLAN
14 A112 ENLARGED EQUIPMENT PLAN / EQUIPMENT SCHEDULE
15 A113 ENLARGED EQUIPMENT PLAN / EQUIPMENT SCHEDULE
16 A121 ROOM FINISH PLAN / ROOM FINISH SCHEDULE
17 A124 DOOR SCHEDULE / WINDOW SCHEDULE
18 A131 REFLECTED CEILING PLAN / DETAILS
19 A132 ENLARGED REFLECTED CEILING PLAN
20 A133 ENLARGED REFLECTED CEILING PLAN
21 A301 BUILDING ELEVATIONS / BUILDING SECTIONS / WALL SECTIONS / DETAILS
22 A302 BUILDING SECTIONS / INTERIOR ELEVATIONS
23 A401 BUILDING ELEVATIONS / BUILDING SECTIONS / WALL SECTIONS / DETAILS
24 A402 INTERIOR ELEVATIONS
25 A403 INTERIOR ELEVATIONS
26 A404 INTERIOR ELEVATIONS
27 A501 ENLARGED PLANS / INTERIOR ELEVATIONS / DETAILS

mechanical / plumbing

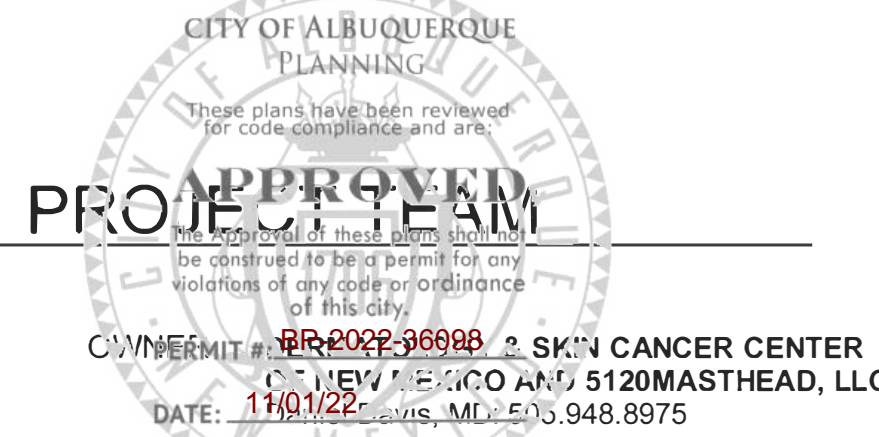
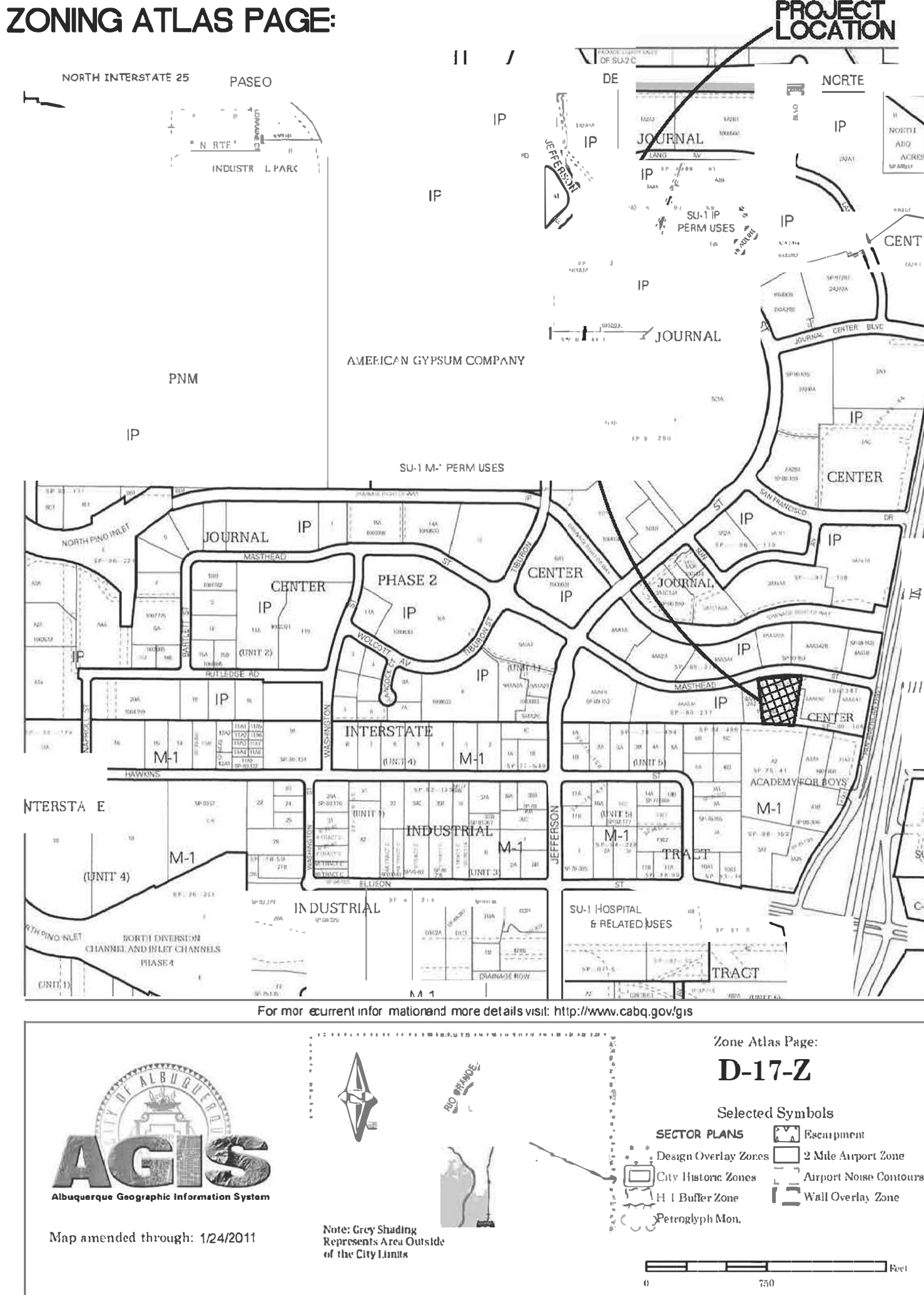
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29 MP002 MECHANICAL/PLUMBING GENERAL NOTES
30 M101 MECHANICAL PLANS
31 M102 MECHANICAL ROOF PLAN
32 P101 PLUMBING PLANS
33 P401 ENLARGED PLUMBING PLANS
34 MP501 MECHANICAL/PLUMBING DIAGRAMS
35 MP601 MECHANICAL/PLUMBING SCHEDULES

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37 E002 ELECTRICAL ONE-LINE DIAGRAM AND SCHEDULES
38 E003 ELECTRICAL ONE-LINE DIAGRAM AND SCHEDULES
39 E101 ELECTRICAL PLANS
40 E102 ELECTRICAL PLANS
41 E501 ELECTRICAL DIAGRAMS



ZONING ATLAS PAGE:



ARCHITECT
STUDIO 151, LLC
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CORRALES NM 87048
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Sara Stewart, Architect: 505.242.7627

STRUCTURAL ENGINEER
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Dave Sullens, PE: 505.269.9428

GENERAL CONTRACTOR
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8701 WASHINGTON NE
ALBUQUERQUE NM 87113
Mark Maestas, Project Manager: 505.401.4163

MECHANICAL/ELECTRICAL/PLUMBING ENGINEER
BG BUILDINGWORKS
7007 WYOMING BLVD NE SUITE F-2
ALBUQUERQUE NM 87109
Office: 505.232.9070

STUDIO 151 LLC

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DERMATOLOGY AND SKIN CANCER
CENTER OF NEW MEXICO
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REVISIONS	DATE	ADDENDUM #1	DESCRIPTION
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PROJECT NO: 2019-DSCCNM
DATE: 08.15.2022
SET NO: PERMIT SET
DRAWN BY: SRS
CHECKED BY:

COVER SHEET
CODE DATA

G100