



**Planning Department
Transportation Development Services**

November 24, 2014

Knight Seavey, R.A.
Insiteworks
PO Box 90728
Albuquerque, NM 87113

**Re: 5110 Masthead NE Offices
Certificate of Occupancy – Transportation Development**
Plan dated 04-11-14, Exhibit Update 11/14/14 (D17-D003P1)
Certification dated 11-13-14

Dear Mr. Seavey,

Based upon the information provided in your submittal received 11-18-14 and the photographs given to me on 11-24-14, the Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Attachments

- [1] Site Plan - Permit set
- [2] EPC Site Devp Plan/Amended (2012)
- [3] Traffic Certification

Project Title: 5110 Masthead NE Offices (Conejos Common) Building Permit #: T2014 9 0994 City Drainage #: D17-D003P1
 DRB#: _____ EPC#: App 08AA-10103 Proj # 1001119 Amend file June 2012 12AA10066
 Legal Description: Tract 4AA-5A-2A-2 Journal Center (2003C-168)
 City Address: 5110 Masthead NE ABQ 87109

Engineering Firm: Design Group Contact: David Aube
 Address: 120 Vassar SE Albuquerque, NM 87106
 Phone#: (505) 998-6430 Fax#: _____ E-mail: daube@designgroupnm.com

Owner: Conejos I LLC Contact: Knight Seavey
 Address: PO Box 90728, ABQ NM 87199
 Phone#: 505-975-0500 Fax#: _____ E-mail: knight@insiteworks.com

Architect: Insiteworks Contact: Knight Seavey
 Address: PO Box 90728, ABQ NM 87199
 Phone#: 505-975-0500 Fax#: _____ E-mail: knight@insiteworks.com

Surveyor: Precision Survey Contact: Larry Medrano
 Address: 8500-A Jefferson NE Albuquerque, NM 87113
 Phone#: (505) 856-5700 Fax#: _____ E-mail: larry@presurv.com

Contractor: Hart Construction Contact: Lance Anderson
 Address: 2919 2nd street NW Suite B Albuquerque, NM 87107
 Phone#: (505) 980-3610 Fax#: _____ E-mail: landerson@hartconstruction.net

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No Copy Provided KBS
 DATE SUBMITTED: 11/17/2014 By: Knight Seavey, AIA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

TRAFFIC CERTIFICATION

I, **KNIGHT SEAVEY NMRA #1470** OF THE FIRM **INSITEWORKS, PC** HEREBY STATE THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **4/11/14**. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **LANCE ANDERSON** OF THE FIRM HART CONSTRUCTION. I FURTHER STATE THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON THIS DAY, NOVEMBER 13, 2014 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THESE OBSERVATIONS ARE SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY AT **5110 MASTHEAD NE** (PERMIT T2014 9 0994).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Knight Seavey, AIA LEED AP

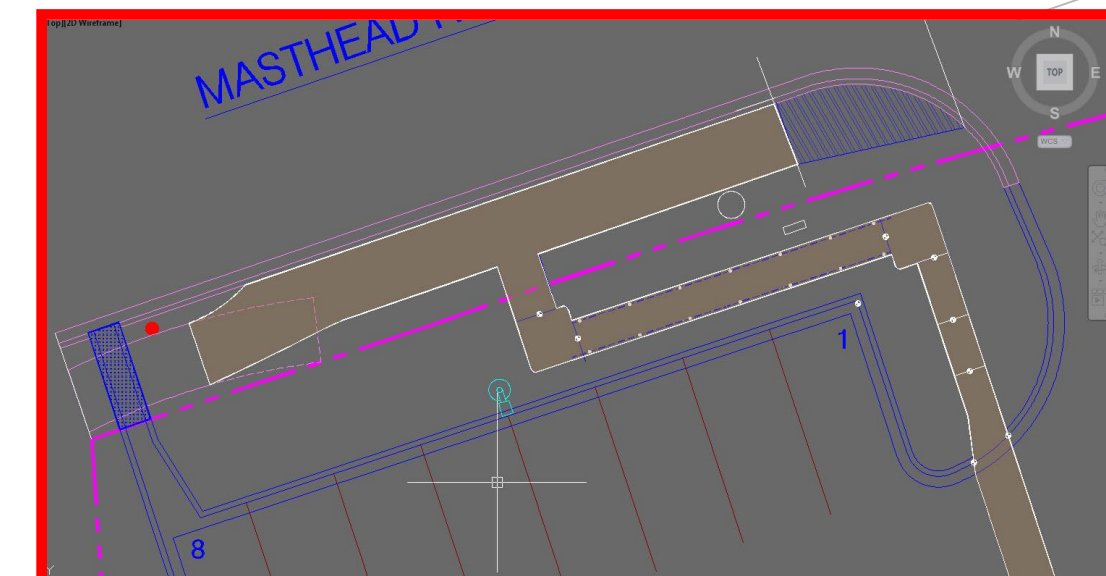
11/13/14

Date



CITY OF ALBUQUERQUE
 APPLICATION 04450-00000-0053
 APPL # 08AA-1003 Project # 10119 (2008)
 ADMINISTRATIVE AMENDMENT FILE # 10119 (2011)
 OWNER: CONEJOS I, LLC
 57 ROCK POINT PLACE NE
 ABO, NM 87122
 LEGAL
 TRACT 4AA-5A-2A-2 JOURNAL CENTER
 2003C-168
 PROJECT SUMMARY
 THESE PLANS HAVE BEEN REVIEWED FOR CODE COMPLIANCE AND ARE THE APPROVAL OF THESE PLANS SHALL NOT BE CONSIDERED TO BE A PERMIT FOR ANY VIOLATIONS OF ANY CODE OR ORDINANCE OF THIS CITY.
 PERMIT # T201490994
 DATE: 05/21/14
 A printed copy of these plans shall be on the job site for all approved improvements.

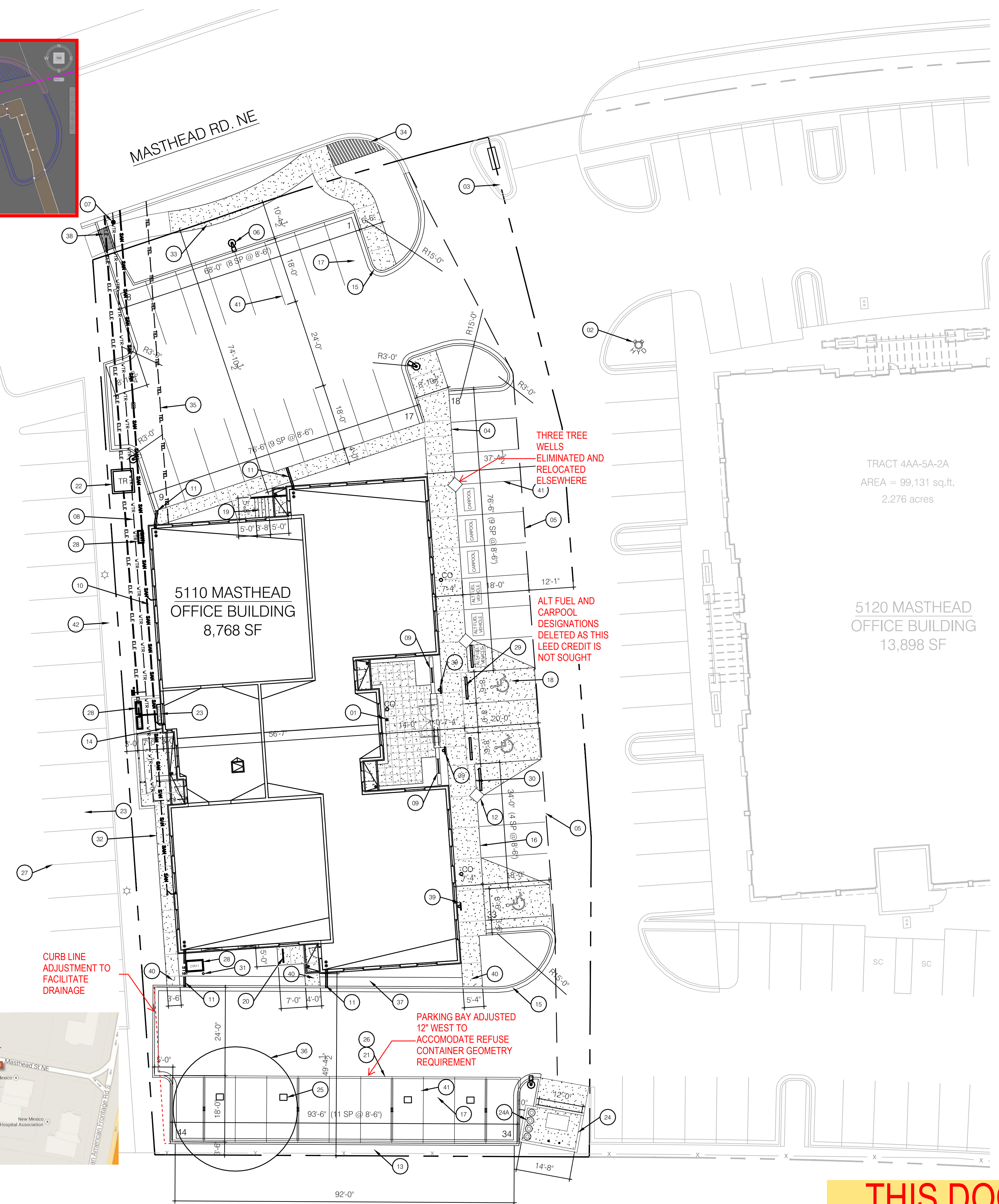
SPECIAL SITE PLAN NOTE:
 THIS SITE PLAN REFLECTS THE NECESSARY CONSTRUCTION DOCUMENTATION FOR THE MINOR DESIGN EDITS TO ACCOMMODATE THE FINAL DESIGN FOR THIS PROJECT ALONG WITH THE SUSTAINABLE IMPROVEMENTS IN PLAN INSPIRED BY THE USGBC LEED PLATINUM DESIGNATION SOUGHT IN THIS EFFORT.
 THE CABQ DRB APPROVAL SET WITH ORIGINAL SITE PLAN APPROVAL SIGNATURES IS ATTACHED AT THE BACK OF THIS FULL CONSTRUCTION PERMIT DRAWING SET.
 TRANSPORTATION COMMENTS FOR CORRECTION (AND NOW REVISED) FOLLOW THE DRB SET



SIDEWALK TO PUBLIC RIGHTWAY WAS ADJUSTED TO ACCOMMODATE EXISTING TELECOM FACILITIES, BOTH VAULT AND PEDESTAL, ALSO TO RETAIN A MATURE SYCAMORE THAT WAS IN THE SIDEWALK AS ORIGINALLY DESIGNED.



FIRE HYDRANT PROXIMITY MAP nts



- KEYED NOTES**
- (01) LANDSCAPE PLANTER/BENCH/WATER FEATURE PROVIDED BY OWNER. PLUMBING CONTRACTOR TO PROVIDE BRASS COVER WATER HOOKUP BOX AT CONCRETE SLAB OFFSET 12" AT CENTERPOINT OF COURTYARD, ADJACENT TO EAST WALL
 - (02) EXISTING FIRE HYDRANT
 - (03) EXISTING ENTRY, ASPHALT; SIGNAGE ISLAND (ILLUMINATED), SHARED SIGNAGE FOR 5110/5210 MASTHEAD
 - (04) COLORED CONCRETE SIDEWALK
 - (05) JUNCTURE AT ASPHALT SEAM SHALL BE SAW-CUT FOR CLEAN TRANSITION
 - (06) NEW LED 1/4" POLE FIXTURE; TIED TO LIGHTING CONTROLLER. CONCRETE BASE, TYP 4
 - (07) 1" WATER METER FOR 3/4" SERVICE LINE
 - (08) 3/4" WATER SERVICE TO NEW CONSTRUCTION, DEPTH OF BURY AT 36" BFG
 - (09) GREENSCREEN FENCE ASSEMBLY WITH 48" GATE AT EACH END
 - (10) 4" SCHED 40 PVC WASTELINE W/ CLEANOUTS AS NOTED. TRANSITION TO 6" PVC PER PLUMBING PLAN
 - (11) PVC PIPE OUTFALL AT FACE OF CURB FOR ROOF DRAINAGE AND OVERFLOW
 - (12) NEEHAH FOUNDRY CAST IRON TREE GRATE
 - (13) LANDSCAPE BUFFER, SEE LANDSCAPE PLAN
 - (14) IRRIGATION TIME CLOCK
 - (15) CONCRETE CURB AND GUTTER
 - (16) CONCRETE SIDEWALK WITH 6" CURB TRANSITION TO ASPHALT PARKING SURFACE
 - (17) ASPHALT PARKING AREA
 - (18) CONCRETE ACCESS AISLE AT HANDICAP PARKING
 - (19) CONCRETE STAIR AND STEEL TUBE HANDRAIL
 - (20) BIKE STORAGE AREA
 - (21) 20 KW PHOTOVOLTAIC 245W SOLAR ARRAY
 - (22) PAD MOUNT TRANSFORMER PER PNM STANDARD SPECIFICATION
 - (23) ELECTRICAL SERVICE GEAR, WALL MOUNTED
 - (24) REFUSE ENCLOSURE PER CABQ SOLID WASTE REQUIREMENTS
 - (24A) RECYCLING CONTAINERS PER USGBC LEED REQUIREMENTS
 - (25) UNDER CANOPY LED LIGHTING, TIED TO LIGHTING CONTROLLER
 - (26) PARKING CANOPY STRUCTURE
 - (27) EXISTING PARKING AT ITT
 - (28) VRF HEAT RECOVERY/COMPRESSOR/COIL UNITS ON ISOLATION STAND
 - (29) HIGH DENSITY RECYCLED POLYCARBONATE PARKING BUMPER - YELLOW
 - (30) H-CAP PARKING AISLE TRANSITIONS TO SIDEWALK ELEVATION AT A SLOPE NOT TO EXCEED 1:50 IN LIEU OF RAMP. ALL ADA/ANSI CRITERIA SHALL BE OBSERVED. TRANSITION AT ASPHALT TO STANDARD PARKING SPACE WITH 6" ASPHALT/CURB TRANSITION
 - (31) CONCRETE FILLED 5" DIA. STEEL PIPE BOLLARD, TOP @ 42" ABOVE FIN. GRADE
 - (32) PRIVATE SIDEWALK FOR BUILDING MAINTENANCE
 - (33) CONCRETE SIDEWALK SEGMENT TO COMPLETE MASTHEAD SIDEWALK, MATCH EXISTING
 - (34) RAMP WITH DETECTABLE WARNING STRIP PER CABQ STD DETAIL 2426. VALLEY GUTTER WITH FILLET TO MEET THIS RADIUS PER CABQ STD DETAIL 2420
 - (35) TELEPHONE AND BROADBAND ROUTE AND ENTRY TO BUILDING. EXTEND IN WALL CAVITY TO INTERSTITIAL CEILING CAVITY AND EXTEND TO ELEC/MEC ROOM
 - (36) DEAD COTTONWOOD TO BE REMOVED
 - (37) CRUSHER FINE SIDEWALK, PROVIDE CONTINUITY TO CONCRETE SIDEWALK BEYOND DRAINAGE COVER
 - (38) STAMPED STEEL PLATE SCREWED TO CONCRETE EMBEDDED ANGLE STEEL FOR NORTH SITE DRAINAGE COVER
 - (39) HANDICAP PARKING POLE AND SIGN see sign image below
 - (40) SLOPE SIDEWALK TO ASPHALT AT NON ADA. BUILDING ACCESS FOR SERVICE CART USAGE
 - (41) YELLOW PARKING LOT STRIPING, BLUE AT HANDICAP, RED AT CURB AS REQUIREMENT BY CABQFD
 - (42) EXISTING ENCRoACHING PONDEROSA PINE LIMBS/TRUNKS SHALL BE REMOVED AS REQUIRED PER ARCHITECT'S ON-SITE DIRECTION, BASED ON LAYOUT SURVEY DATA POINTS


FIRE MARSHALL REVIEW COMPLETED 7/11/2008 - 1 HYDRANT REQUIRED IS EXISTING, SEE KEYNOTE 2

AREA & PARKING CALCULATIONS

GROS SITE AREA	31,783	
1ST FLR (NET LEASABLE)	8,768 (8,392)	
PARKING		
EXISTING PHASE ONE	111	
PROPOSED PHASE TWO PARKING		
REQUIRED	40	
PROVIDED	44	
SUMMARY		
ASPHALT	45.38%	(14,423 SF)
CONCRETE	12.02%	(3,819 SF)
LANDSCAPE	15.18%	(4,825 SF)
BUILDING	27.42%	(8,716 SF)
	100.00%	(31,783 SF)

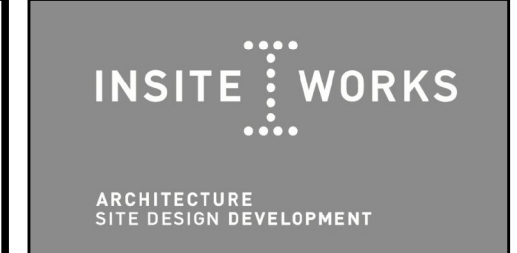
CONDITIONAL CROSS-PARKING AGREEMENT

WHEREBY BOTH PHASES OF THIS SITE DEVELOPMENT PLAN SHARE A COMMON ACCESS AGREEMENT BY PLAT; THIS SITE PLAN AMENDMENT SHALL MAKE FURTHER PROVISION THAT THE PHASE TWO OWNER MAY ENTER INTO A CROSS-PARKING AGREEMENT WITH THE OWNER OF THE PHASE ONE PROPERTY FOR THE PURPOSE OF FACILITATING A SINGLE TENANT THAT LEASES AND OCCUPIES BOTH PHASE ONE AND PHASE TWO BUILDINGS SIMULTANEOUSLY. IN ADDITION TO DRAFTING OR AMENDING THE RESPECTIVE LEASES TO REFLECT THIS UNDERSTANDING, SUCH AN AGREEMENT FOR CROSS-PARKING WILL BE RECORDED AT BERNCO, AND THE JOINT PARKING CALCULATIONS, SATISFYING ALL CABQ PARKING REQUIREMENTS, WILL BE SUMMARIZED AND PRESENTED ON ANY SUCH FUTURE TENANT DEVELOPMENT PLANS, AND SHALL REFERENCE THIS SITE DEVELOPMENT PLAN AMENDMENT. WHEN SUCH TENANCY ARRANGEMENT CEASES TO EXIST EACH PHASE MUST SUPPORT ITS UNIQUE PARKING REQUIREMENT.

 Disabled Parking signage, where indicated on this plan shall be 12"x18", blue/white painted aluminum, pole mounted with bottom at 60" above adjacent asphalt/concrete parking space

THIS DOCUMENT IS INCLUDED IN THE APRIL 2014 BUILDING PERMIT SET (T201490994) AND THE BASIS FOR CONSTRUCTION.

Site Plan
1/16"=1'-0"



ADDRESS PO BOX 90728
 ALBUQUERQUE, NM 87199
 TELEPHONE (505) 991-5000
 FAX (888) 885-8556
 WEBSITE www.insiteworks.com
 KS email knight@insiteworks.com

5110 Masthead Professional Offices
 Journal Center
 Albuquerque, NM

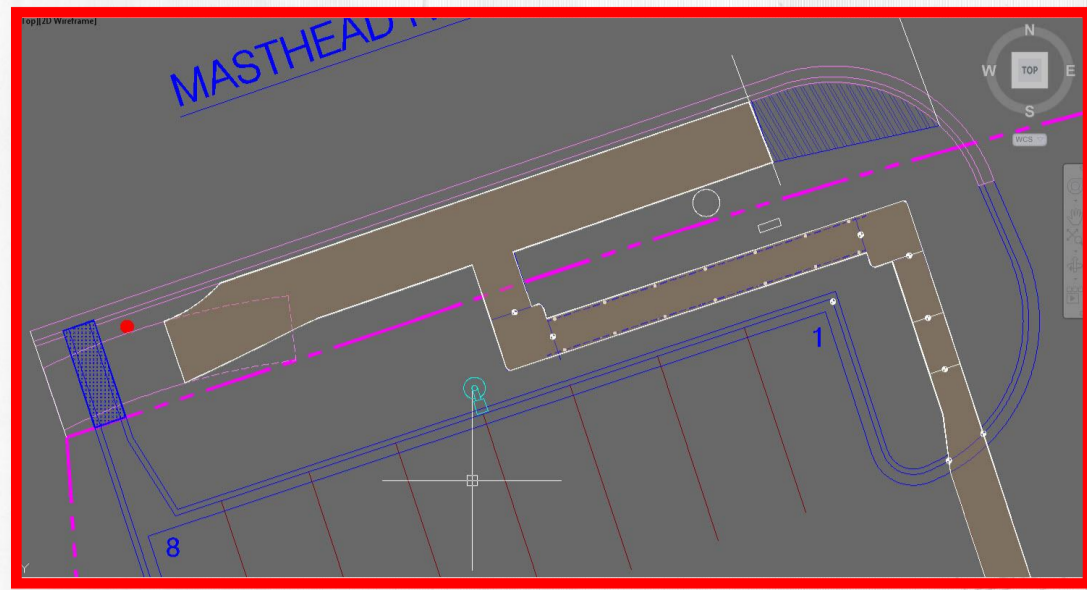
Building Permit Submittal



DATE ISSUED 4.11.14
 EDITION BUILDING PERMIT
 PROJECT ID 5110 MASTHEAD

Site Plan
SITE101
C-101

C-101



THIS DOCUMENT IS THE ORIGINAL SITE PLAN ADMIN. AMENDMENT AND NOT THE BASIS FOR CONSTRUCTION.

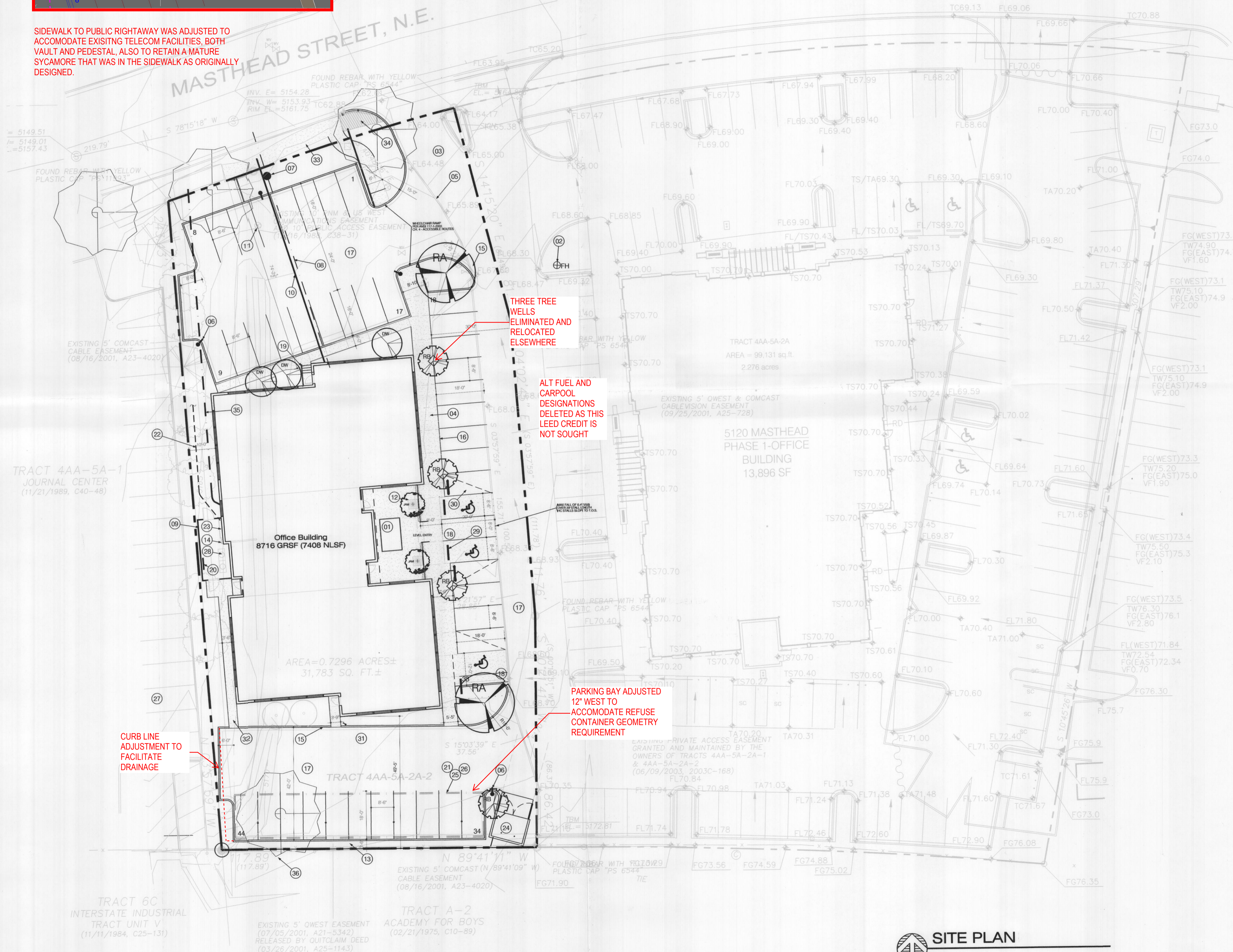
SIDEWALK TO PUBLIC RIGHTWAY WAS ADJUSTED TO ACCOMMODATE EXISTING TELECOM FACILITIES, BOTH VAULT AND PEDESTAL, ALSO TO RETAIN A MATURE SYCAMORE THAT WAS IN THE SIDEWALK AS ORIGINALLY DESIGNED.

THREE TREE WELLS ELIMINATED AND RELOCATED ELSEWHERE

ALT FUEL AND CARPOOL DESIGNATIONS DELETED AS THIS LEED CREDIT IS NOT SOUGHT

PARKING BAY ADJUSTED 12" WEST TO ACCOMMODATE REFUSE CONTAINER GEOMETRY REQUIREMENT

CURB LINE ADJUSTMENT TO FACILITATE DRAINAGE



APPLICATION 01450-00000-00459
 APPL # 08AA-10103 Project # 1001119 (2008)
 OWNER: SEAVEY FAMILY LIMITED PARTNERSHIP; K SEAVEY-MGR
 57 ROCK POINT PLACE NE
 ABQ, NM 87122
 LEGAL
 TRACT 4AA-5A-2A-2 JOURNAL CENTER (6/9/2003)
 2003C-168
 PROJECT SUMMARY

THIS PROJECT FOLLOWS THE INITIAL 2001 DEVELOPMENT PHASE AT THIS SITE ON MASTHEAD IN JOURNAL CENTER, COMPLETING THE BUILD-OUT FOR THIS PARCEL. A 8716 SF SINGLE LEVEL BUILDING THAT WILL BE CANDIDATE FOR LEED-GOLD CERTIFICATION BY USGBC. THE CONSTRUCTION WILL UTILIZE A NUMBER OF ENERGY EFFICIENCY MEASURES SUCH AS VRF HEAT RECOVERY UNITS AND PHOTOVOLTAIC PANELS TO WORK IN CONJUNCTION WITH PNM'S REC NET-METERING PROGRAM. DESIGN ELEMENTS AND COLOR PALETTE SELECTIONS RESPECT THE HIGH QUALITY CONSTRUCTION OF BUILDINGS THAT ARE IN CLOSE PROXIMITY TO THE SITE AT JOURNAL CENTER.

KEYED NOTES

- [1] LANDSCAPE PLANTER/BENCH/WATER FEATURE. SEE LANDSCAPE PLAN
- [2] EXISTING FIRE HYDRANT
- [3] EXISTING ENTRY; ASPHALT; SIGNAGE ISLAND (ILLUMINATED)
- [4] COLORED CONCRETE SIDEWALK
- [5] JUNCTURE AT ASPHALT SEAM SHALL BE SAW-CUT FOR CLEAN TRANSITION
- [6] NEW LED 14" POLE FIXTURE, TIED TO LIGHTING CONTROLLER. LIGHT CUTOFF SHALL PREVENT LIGHT BLEED BEYOND PROPERTY PERIMETER
- [7] 1" WATER METER FOR 3/4" SERVICE LINE
- [8] 3/4" WATER SERVICE TO NEW CONSTRUCTION, DEPTH OF BURY AT 36" B"6
- [9] 6" TALL GREENSCREEN FENCE ASSEMBLY WITH 48" GATE AT EACH END
- [10] 4" SCHED 40 PVC WAST LINE W/ CLEANOUTS AT 50 FT OC
- [11] EXISTING SEWER CLEANOUT ESTABLISHED AT PHASE ONE FOR NEW CONSTRUCTION CONNECTION
- [12] NEEHAH FOUNDRY CAST IRON TREE GRATE
- [13] LANDSCAPE BUFFER, SEE LANDSCAPE PLAN
- [14] IRRIGATION TIME CLOCK
- [15] CONCRETE CURB AND GUTTER
- [16] CONCRETE SIDEWALK WITH 6" CURB TRANSITION TO ASPHALT PARKING SURFACE
- [17] ASPHALT PARKING AREA
- [18] CONCRETE ACCESS AISLE AT HANDICAP PARKING
- [19] CONCRETE STAIR AND STEEL TUBE HANDRAIL
- [20] VERTICAL HANGING BIKE STORAGE AREA
- [21] 20 KW PHOTOVOLTAIC 245W SOLAR ARRAY
- [22] ELECTRICAL SERVICE CONDUCTORS EXTENDED TO NEW PAD MOUNT TRANSFORMER AT MASTHEAD FRONTAGE
- [23] ELECTRICAL SERVICE GEAR, WALL MOUNTED
- [24] REFUSE ENCLOSURE PER CABQ SOLID WASTE REQUIREMENTS
- [25] UNDER CANOPY LED LIGHTING, TIED TO LIGHTING CONTROLLER
- [26] PARKING CANOPY STRUCTURE
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- [33] CONCRETE SIDEWALK SEGMENT TO COMPLETE MASTHEAD SIDEWALK MATCH EXISTING
- [34] EXISTING WC RAMP WITH DETECTABLE WARNING STRIP PER CABQ STD DETAIL 2426. VALLEY GUTTER WITH FILLET TO MEET THIS RADIUS PER CABQ STD DETAIL 2420
- [35] NEW 4" FIRE LINE FOR FULLY SPRINKLED BUILDING
- [36] DEAD COTTONWOOD TO BE REMOVED

SPRINKLER SYSTEM TO BE PROVIDED AT EACH BUILDING LEVEL
 FIRE MARSHALL REVIEW COMPLETED 7/11/2008 - 1 HYDRANT REQUIRED IS EXITING, SEE KEYNOTE 2

AREA & PARKING CALCULATIONS

EXISTING PHASE ONE AREA	13,896
PROPOSED PHASE TWO AREA	
1ST FLR (NET LEASABLE)	8,716 (7,408)
PARKING	
EXISTING PHASE ONE	111
PROPOSED PHASE TWO PARKING	
REQUIRED	40
PROVIDED	44

SUMMARY		
ASPHALT	45.38%	(14,423 SF)
CONCRETE	12.02%	(3,819 SF)
LANDSCAPE	15.18%	(4,825 SF)
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	100.00%	(31,783 SF)

CONDITIONAL CROSS-PARKING AGREEMENT
 WHEREBY BOTH PHASES OF THIS SITE DEVELOPMENT PLAN SHARE A COMMON ACCESS AGREEMENT BY PLAT; THIS SITE PLAN AMENDMENT SHALL MAKE FURTHER PROVISION THAT THE PHASE TWO OWNER MAY ENTER INTO A CROSS-PARKING AGREEMENT WITH THE OWNER OF THE PHASE ONE PROPERTY FOR THE PURPOSE OF FACILITATING A SINGLE TENANT THAT LEASES AND OCCUPIES BOTH PHASE ONE AND PHASE TWO BUILDINGS SIMULTANEOUSLY. IN ADDITION TO DRAFTING OR AMENDING THE RESPECTIVE LEASES TO REFLECT THIS UNDERSTANDING, SUCH AN AGREEMENT FOR CROSS-PARKING WILL BE RECORDED AT BERNCO, AND THE JOINT PARKING CALCULATIONS, SATISFYING ALL CABQ PARKING REQUIREMENTS, WILL BE SUMMARIZED AND PRESENTED ON ANY SUCH FUTURE TENANT DEVELOPMENT PLANS, AND SHALL REFERENCE THIS SITE DEVELOPMENT PLAN AMENDMENT. WHEN SUCH TENANCY ARRANGEMENT CEASES TO EXIST EACH PHASE MUST SUPPORT ITS UNIQUE PARKING REQUIREMENT.

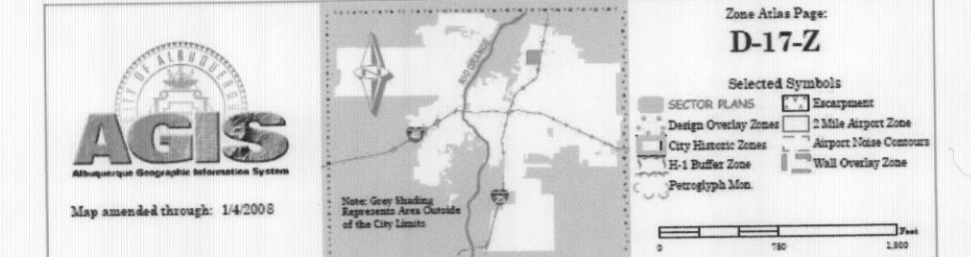
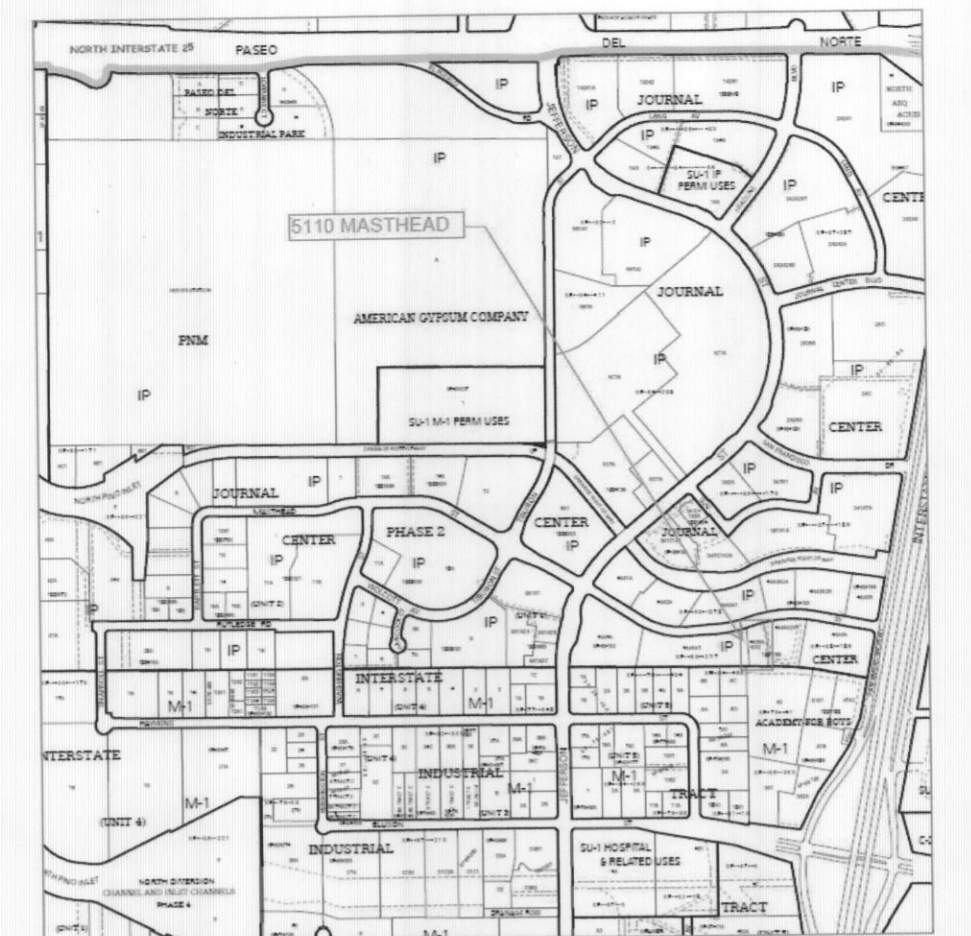


EXHIBIT UPDATE 11/14/14 FOR TRAFFIC CERTIFICATION REVIEW - SEE PLAN FOR ANNOTATIONS

INSITE WORKS
 ARCHITECTURE
 SITE DESIGN DEVELOPMENT
 ADDRESS: 57 ROCK POINT PLACE NE
 ALBUQUERQUE, NM 87122
 TELEPHONE: (505) 975-0500
 FAX: (505) 781-0154
 WEBSITE: www.insiteworks.com
 KS email: kslj@insiteworks.com

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

Site Development Plan
 Amendment
 5110 Masthead - Journal Center
 Albuquerque, NM

Professional
 Offices

CABQ
 Development Review Board
 June, 2012



DATE ISSUED: JULY 13, 2012
 EDITION: SITE DEVELOPMENT PLAN
 PROJECT ID: 5110/5120 MASTHEAD

Site & Utility Plan
 with Phase 1 As-Built Condition

C-101

SITE PLAN
 SCALE: 1" = 20'-0"
 GRAPHIC SCALE

JOURNAL CENTER APPROVAL

NAME/TITLE _____ DATE _____



