

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 17, 2022

Colleen M. Ruiz, P.E.
Stantec
3133 West Frye Road Suite 300
Chandler, AZ 85226-5155

**RE: NMCC Proton Therapy Expansion Project
Grading and Drainage Plans
Engineer's Stamp Date: 06/17/22
Hydrology File: D17D003V1**

Dear Ms. Ruiz:

Based upon the information provided in your submittal received 07/22/2022, the Grading & Drainage Plan is approved for Building Permit and for action by the DRB on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol.
3. Please pay the Payment-in-Lieu of **\$ 592.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

NMCC Proton Therapy

Project Title: Expansion Project **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: TR 1-A-2-B-1 PLAT OF TRACT **City Address OR Parcel** 4901 Lang Avenue NE
1A-2-B-1 JOURNAL CENTER

Applicant/Agent: Stantec **Contact:** Colleen Ruiz

Address: 6100 Seagull Street NE Suite 102B **Phone:** 602-315-1432

Email: colleen.ruiz@stantec.com

Applicant/Owner: New Mexico Cancer Center **Contact:** Bob McElearney

Address: 4901 Lang Avenue NE **Phone:** 505-842-8171

Email: Bob.McElerney@yahoo.com

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE ☒ DRB SITE ADMIN SITE: _____

RE-SUBMITTAL: ☒ YES _____ NO

DEPARTMENT: _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☒ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☒ OTHER (SPECIFY) DRB Site Plan Amendment

DATE SUBMITTED: 6/23/22

**for Building Expansion -
Form P signatures**

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: New Mexico Cancer Center DATE: 6/17/22
DEVELOPMENT: New Mexico Cancer Center Expansion
LOCATION: 4901 Lang Avenue

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 1,162 cubic feet

The provided volume is 1,089 cubic feet

The deficient volume is 74 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: All of the proposed landscape islands
will be graded to drain and treat on-site storm water for quality.

The cost to re-grade and irrigate existing landscape islands is a
financial burden to the owner. The site parking requirements
do not provide any additional space for water quality. The original
site was designed to drain directly to an existing storm drain.

Ruiz, Colleen  Digitally signed by
Ruiz, Colleen
Date: 2022.06.17
16:49:34-07'00'
Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 592.00

THIS SECTION IS FOR CITY USE ONLY

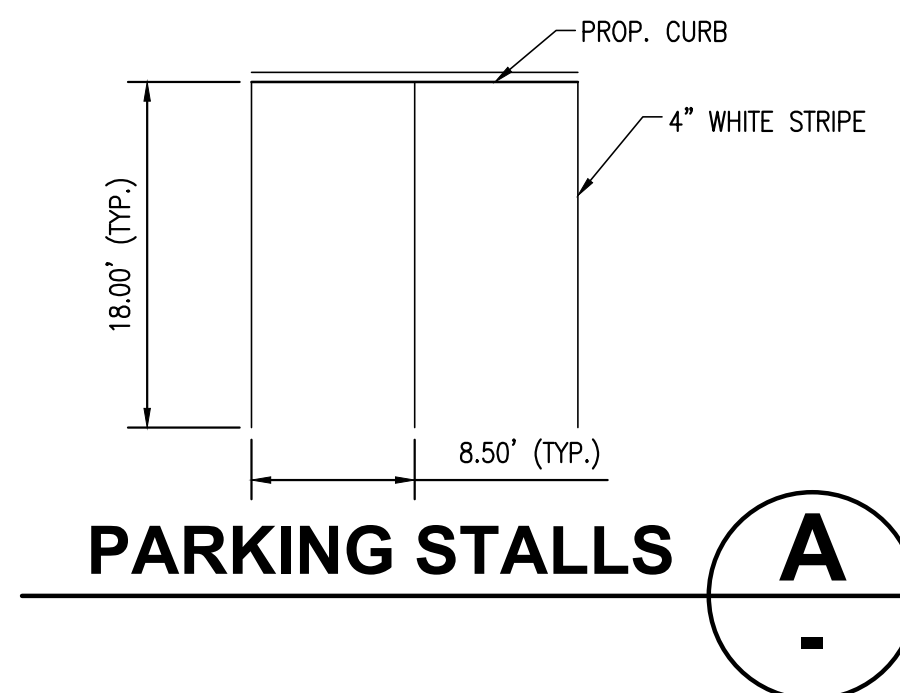
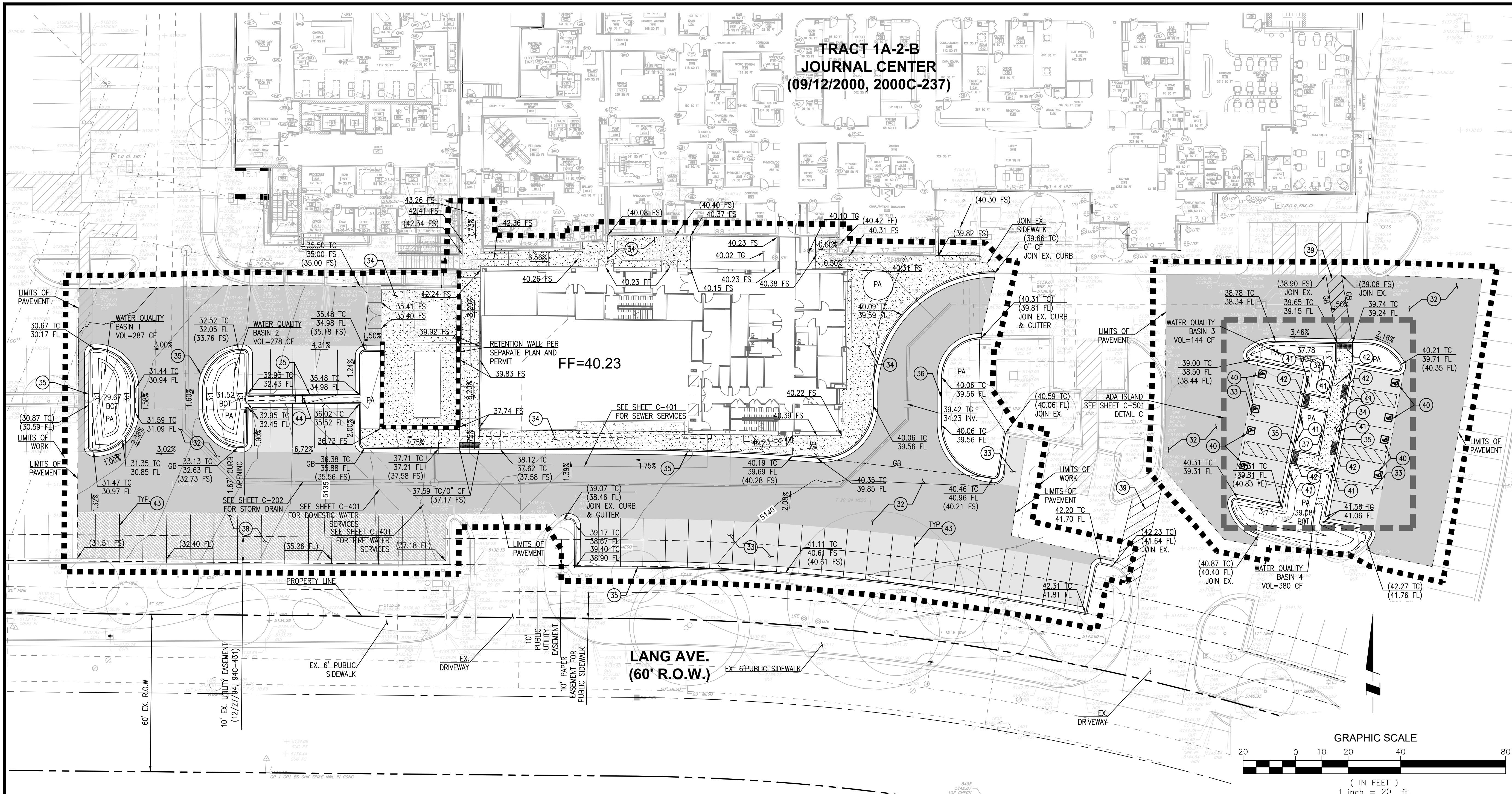
☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.

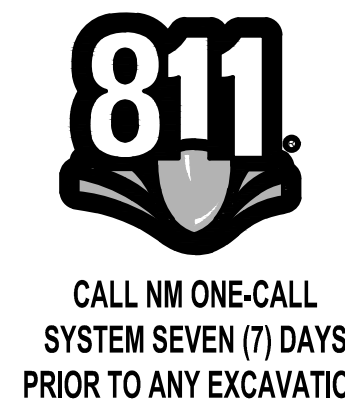
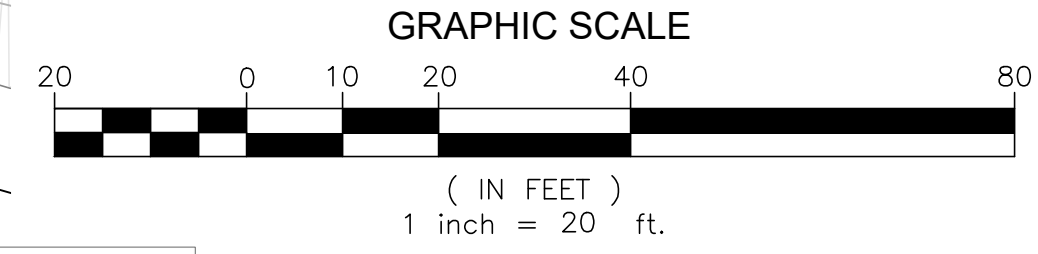
Renée C. Brissette

City of Albuquerque
Hydrology Section

U:\17792075\Drawing\Sheet\Plan\20035C-100A1.dwg
2022/06/17 2:44 PM By: J. Hernandez, LVS



- CONSTRUCTION NOTES**
- (31) CONSTRUCT 7" CONCRETE OVER 6" A.B. SEE DETAIL 2 ON SHEET 501.
 - (32) CONSTRUCT 4" A.C. OVER 6" A.B. SEE DETAIL A ON SHEET 501.
 - (33) CONSTRUCT 3" A.C. SEE DETAIL B ON SHEET 501.
 - (34) CONSTRUCT 4" CONCRETE PER C.O.A. STD. DWG. 2430.
 - (35) CONSTRUCT 6" STANDARD CURB & GUTTER PER C.O.A. STD. DWG. 2415A.
 - (36) CONSTRUCT 6" DEPRESSED CURB & GUTTER PER C.O.A. STD. DWG. 2415A.
 - (37) CONSTRUCT 6" HEADER CURB PER C.O.A. STD. DWG. 2415C.
 - (38) COLD PLANE AND OVERLAY.
 - (39) PAINT 12" CROSS WALK, 4" DIAGONAL HATCH PATTERN AT 36" O.C. MAX SPACING.
 - (40) PAINT ACCESSIBLE STALL PER DETAIL D SHEET C-501.
 - (41) INSTALL ACCESSIBLE SIGN PER DETAIL E SHEET C-501.
 - (42) INSTALL DETECTABLE WARNING PER C.O.A. STD. DWG. 2446 AND DETAIL G SHEET C-501.
 - (43) PAINT PARKING PER DETAIL A SHEET C-201.
 - (44) REINSTALL SALVAGED LIGHT POLE PER SEPARATE PLAN. FOUNDATION PER DETAIL H SHEET C5.0.



		CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION	
		GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. D-17-Z	
		CITY PROJECT NO. XXXXXX	
		SHEET NO. C-201	

3133 West Frye Road, Suite 300
Chandler, AZ 85226
www.stantec.com

DESIGNED BY: AV	NO. 1	DATE	BY
DRAWN BY: AV	AS-BUILT INFORMATION	CONTRACTOR	
CHECKED BY:	WORK STAKED BY:	DATE:	
DATE: 6/17/2022	INSPECTOR'S ACCEPTANCE BY:	DATE:	
	FIELD VERIFICATION BY:	DATE:	
	DRAWINGS CORRECTED BY:	DATE:	

PLOT SET - 6/17/2022

