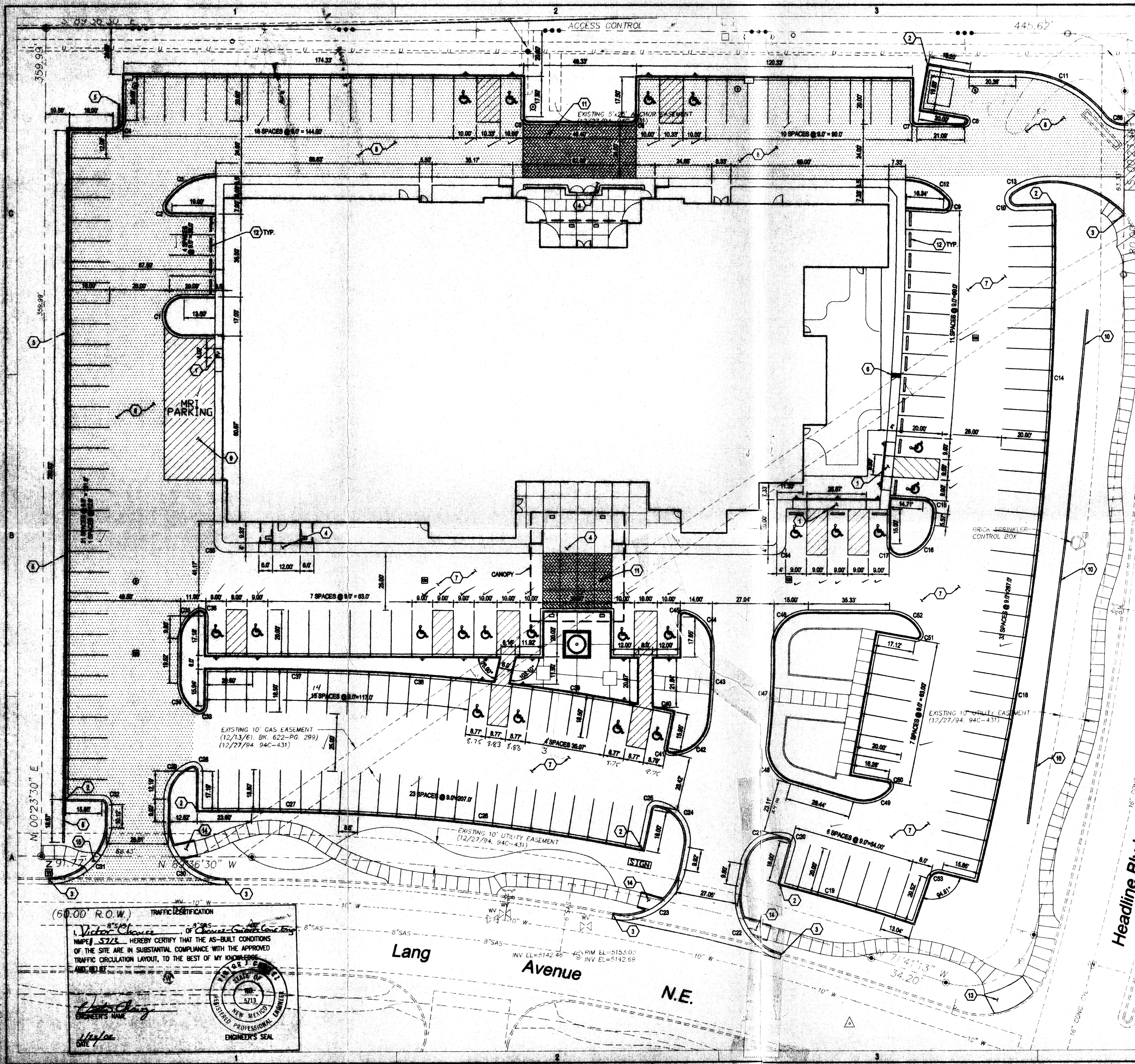


PROJECT: M70-100-00 NAME: M70100C501.DWG SCALE: 1"=20' START DATE: 02/06/01  
DESIGNER: J. KELLEY DATE: 03/29/01  
CHECKER: B. ORTEGA DATE: 03/29/01  
REVISION: 03/29/01  
REV. BY: BO

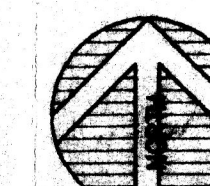


### GENERAL NOTES

- ALL CURB AND GUTTER SHALL BE 6" MEDIAN CURB AND GUTTER PER COA STD DWG 2415 EXCEPT WHERE DESIGNATED OTHERWISE.
- PARKING SPACES REQUIRED**  
5 SPACES PER DOCTOR X 6 DOCTORS = 30 SPACES  
1 SPACE PER 200 SF = 172.5 SPACES
- PARKING SPACES PROVIDED**  
TOTAL NUMBER OF PARKING SPACES = 188  
TOTAL NUMBER OF HANDICAP PARKING SPACES = 21  
SEE LANDSCAPE PLAN FOR WINDING SIDEWALKS IN R.O.W.
- CUL-DESAC WILL BE CONSTRUCTED UNDER SEPARATE CONTRACT AS DESIGNED BY BOHANNAN-HOUSTON INC.
- ALL STRIPING TO BE 4" WIDE WHITE STRIPES. SEE DETAIL 6C1101 FOR STRIPING AND SIGNING IN HANDICAP AREAS.

### KEYED NOTES

- CONSTRUCT HANDICAP RAMP PER DETAIL 3C1101.
- BEGIN CONSTRUCTION OF 6" STANDARD CURB AND GUTTER PER COA STD DWG 2415.
- END CONSTRUCTION OF 6" STANDARD CURB AND GUTTER PER COA STD DWG 2415.
- CONSTRUCT HANDICAP RAMP PER DETAIL 3C1101.
- CONSTRUCT RETAINING WALL PER DETAIL 1C1101.
- CONSTRUCT 1' SIDEWALK CULVERT PER COA STD DWG 2238.
- CONSTRUCT ASPHALT PAVEMENT PER DETAIL 4C1101.
- CONSTRUCT ASPHALT PAVEMENT PER DETAIL 4C1101.
- MRI PARKING SHALL HAVE 8" CONCRETE SLAB REINFORCED WITH REBAR @ 10" O.C. E.W. PLACE REBAR @ 3" FROM BOTTOM OF SLAB.
- CONSTRUCT KEYSTONE RETAINING WALL PER LANDSCAPE PLAN.
- PATTERNED CONCRETE PER ARCHITECTURAL PLANS.
- INSTALL CONCRETE WHEEL STOP PER DETAIL 7C1101.
- CONSTRUCT HANDICAP RAMP PER COA STD DWG 2441.
- CONSTRUCT HANDICAP RAMP PER DETAIL 9C1101.
- CONSTRUCT ROLL TYPE MOUNTABLE CURB PER COA STD DWG 2415.



ALL CURVE DATA IS TO BACK OF CURB.

### CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA ANGLE
C1	6.00	25.14	16.00	500°24'00"W	180°21'19"	
C2	2.50	5.30	4.47	528°51'02"E	121°30'50"	
C3	24.50	26.25	13.88	24.15	86°12'00"W	59°32'27"
C4	4.00	6.28	4.00	5.08	N45°23'30"E	80°00'00"
C5	2.00	3.14	2.00	2.83	S44°38'30"E	89°59'59"
C6	2.00	3.14	2.00	2.83	N45°27'51"E	89°38'14"
C7	1.50	2.36	1.50	2.12	S44°38'30"E	90°00'00"
C8	1.50	4.46	17.94	2.98	N35°10'12"W	170°28'28"
C9	2.50	5.87	5.96	4.81	N38°28'19"E	134°33'20"
C10	2.50	6.24	7.49	4.74	S19°28'20"E	143°35'57"
C11	80.00	44.91	24.10	43.42	S65°52'50"E	51°27'49"
C12	24.50	20.86	11.11	20.24	S65°12'30"E	46°47'47"
C13	24.50	18.17	8.36	15.88	N71°29'12"E	37°48'35"
C14	1174.00	140.09	70.13	140.00	N32°44'50"E	8°48'55"
C15	4.50	7.36	4.80	6.57	N39°21'15"W	93°43'36"
C16	14.50	19.32	11.40	17.82	N45°31'08"E	76°20'23"
C17	4.50	7.60	5.08	6.73	N47°57'35"W	86°42'10"
C18	1171.45	157.95	70.00	157.83	N10°01'33"E	7°43'31"
C19	1320.75	48.83	24.32	48.82	N73°57'42"W	2°03'34"
C20	1.50	2.36	1.51	2.12	N69°18'38"W	90°11'36"
C21	14.50	24.18	15.98	21.47	S67°49'30"E	96°36'36"
C22	24.50	36.82	22.98	33.82	S32°10'30"E	89°28'27"
C23	24.50	36.36	24.37	34.85	N68°33'10"E	89°41'07"
C24	14.50	23.13	14.88	25.78	N63°59'44"W	91°24'46"
C25	1.50	2.31	1.48	2.03	S69°01'17"W	89°28'28"
C26	801.05	142.48	71.43	142.29	N63°59'44"W	10°11'28"
C27	985.49	26.89	14.83	26.88	N63°59'44"W	1°58'49"
C28	1.50	2.36	2.15	2.48	N64°40'00"W	110°18'00"
C29	14.50	17.63	10.90	18.57	S33°14'00"W	89°48'00"
C30	24.50	36.40	24.50	34.95	S44°38'30"E	89°00'00"
C31	24.50	35.81	21.95	32.71	N48°31'00"E	87°44'01"
C32	1.50	2.36	1.48	2.12	N44°30'30"W	90°00'00"
C33	2.00	4.24	3.86	3.49	N41°03'20"E	121°19'00"
C34	14.50	14.85	8.16	14.21	N63°59'44"W	38°45'35"
C35	14.50	14.85	8.16	14.21	N29°43'32"E	58°40'49"
C36	2.00	4.25	3.86	3.41	N29°43'32"E	117°29'29"
C37	982.00	31.57	15.78	31.57	N68°40'00"W	1°52'48"
C38	796.57	73.93	36.99	73.91	N68°40'00"W	5°19'59"
C39	796.57	96.25	26.14	96.24	N68°40'00"W	4°24'45"
C40	796.57	9.87	4.83	9.87	N77°55'00"W	0°41'43"
C41	1.50	2.33	1.47	2.10	S33°05'30"E	89°03'35"
C42	15.30	23.01	14.32	20.90	N69°51'19"E	86°14'43"
C43	274.92	33.01	16.52	32.99	N30°01'45"E	6°52'44"
C44	14.50	19.40	11.48	17.90	N37°58'14"W	76°39'28"
C45	1.50	2.71	1.90	2.35	S62°05'40"W	103°20'32"
C46	14.50	21.80	13.45	19.72	S47°40'12"W	85°42'27"
C47	388.00	45.03	22.55	45.00	N30°08'00"E	7°12'28"
C48	15.29	18.96	10.62	17.44	S34°32'50"E	89°33'13"
C49	14.50	18.77	9.47	15.85	N73°29'21"E	89°18'18"
C50	1.50	3.14	2.00	2.80	N19°40'00"W	119°58'59"
C51	1.50	3.27	2.08	2.88	S37°47'31"W	128°51'13"
C52	14.50	18.41	9.21	15.55	N67°10'45"W	84°51'25"
C53	4.00	5.95	3.86	5.41	N61°44'21"E	89°11'35"
C54	5.00	7.85	5.00	7.07	S46°23'30"W	90°00'00"
C55	5.00	7.85	5.00	7.07	S44°38'30"E	90°00'00"
C56	10.87	9.81	5.18	9.28	S63°08'04"E	51°39'28"

TRAFFIC IDENTIFICATION  
Victor Chavez  
I, Victor Chavez, of the State of New Mexico, hereby certify that the AS-BUILT CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED TRAFFIC CIRCULATION LAYOUT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
DATE: 03/29/01  
ENGINEER'S SEAL  
NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
5713

**CHAVEZ-GRIEVS**  
CONSULTING ENGINEERS, INC.  
5630 JEFFERSON STREET NE  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 344-4080  
FAX (505) 345-8788

RECEIVED  
JAN 22 2002  
NEW MEXICO DEPARTMENT OF REVENUE

## ALBUQUERQUE CANCER TREATMENT CENTER

ALBUQUERQUE NEW MEXICO

### REVISIONS

NO.	DATE	REVISION
1	02/06/01	CHANGES TO SITE PLAN
2	03/12/01	ADDED RETAINING WALL
3	04/02/01	OVERALL SITE MODIFICATIONS

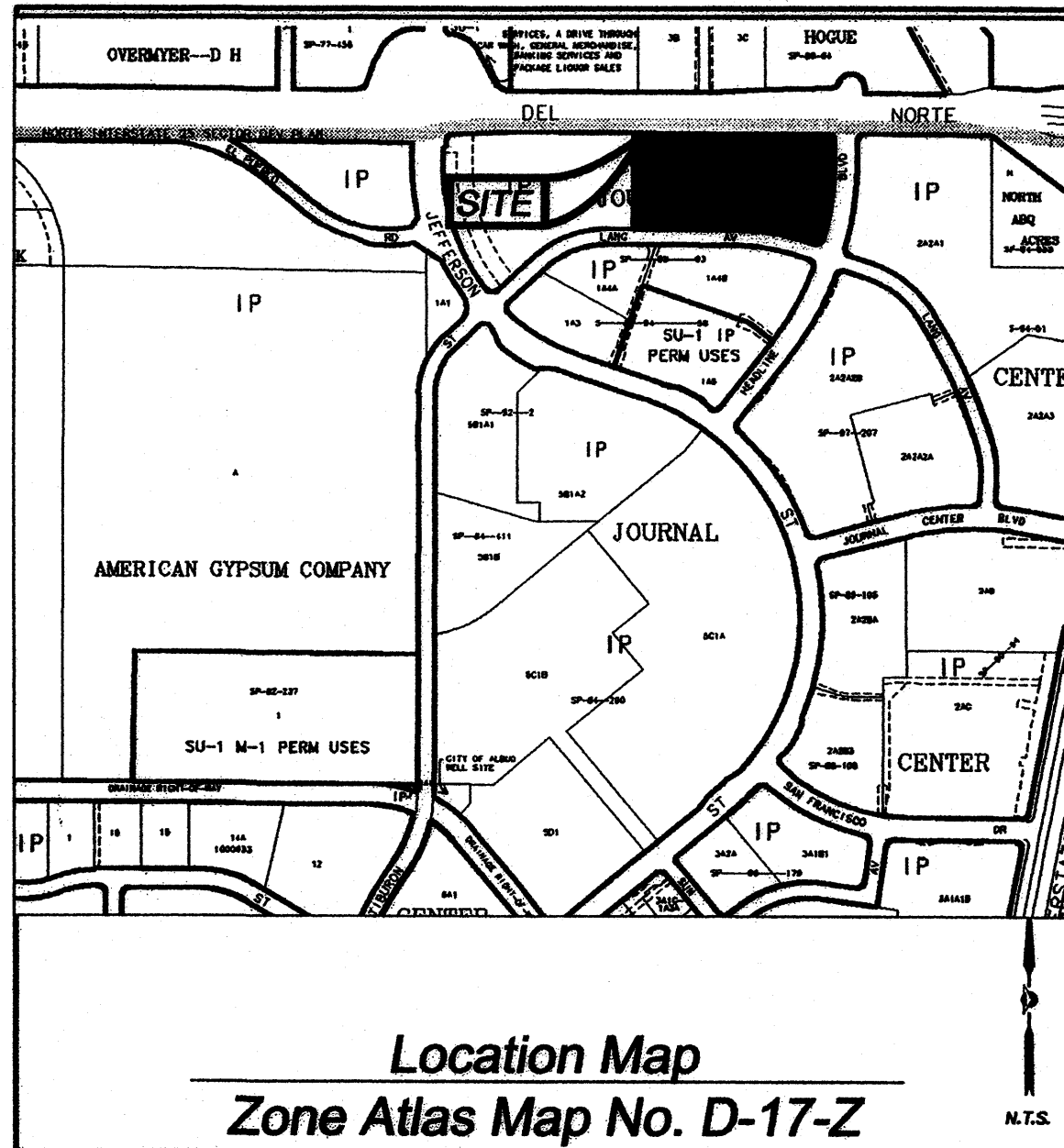
### DIMENSIONED SITE PLAN/ TRAFFIC CIRCULATION LAYOUT

DESIGNED BY: J. KELLEY  
DRAWN BY: B. ORTEGA  
FILE NAME: M70100C501.DWG  
SCALE: 1"=20'  
JOB NUMBER: M70-100-00  
DATE: 10/02/00

# C501

2 of 5

File 07 0109  
MSC



### Subdivision Data:

GROSS SUBDIVISION ACREAGE: 6.0000 ACRES±  
ZONE ATLAS INDEX NO: D-17-Z  
NO. OF TRACTS CREATED: 1  
NO. OF LOTS CREATED: 0  
MILES OF FULL-WIDTH STREETS CREATED: 0  
DATE OF SURVEY: MAY 2000, FIELD VERIFIED MARCH 2005

### Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO ONE NEW TRACT.

### Notes:

1. MISC. DATA: ZONING IP
2. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
3. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
5. PLAT SHOWS ALL EASEMENTS OF RECORD.
6. SP NO. 2005133473.

### Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

### Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACT NUMBERED 1A-2-B OF JOURNAL CENTER AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 12, 2000 IN VOLUME 2000C, FOLIO 237, TOGETHER WITH TRACT 1A-2-A-3 OF JOURNAL CENTER AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 03, 2004 IN VOLUME 2004C FOLIO 133 CONTAINING 6.0000 ACRES (261,360 SQ. FT.) MORE OR LESS. NOW COMPRISING TRACT, 1A-2-B-1, JOURNAL CENTER.

### Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

*Barbara McAneny, M.D.* 3/25/05  
BARBARA McANENY, M.D.  
CEO  
NEW MEXICO CANCER CENTER & NEW MEXICO ONCOLOGY HEMATOLOGY CONSULTANTS

### Acknowledgment

STATE OF NEW MEXICO ) SS  
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25<sup>TH</sup> DAY OF MARCH, 2005 BY BARBARA McANENY, M.D., CEO, NEW MEXICO CANCER CENTER & NEW MEXICO ONCOLOGY HEMATOLOGY CONSULTANTS

BY *Vicki L. Hilliard* MY COMMISSION EXPIRES: JULY 18, 2005  
NOTARY PUBLIC

OFFICIAL SEAL  
VICKI L. HILLIARD  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires: 7-18-05

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Page: 1 of 2  
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RECORDING STAMP

Plat of  
Tract 1A-2-B-1  
**Journal Center**  
Albuquerque, Bernalillo County, New Mexico  
March 2005

Project No. 1000560

Application No. 05DRB- 00527

### Utility Approvals

<i>Lead D. Muts</i>	3-29-05
PNM ELECTRIC SERVICES	DATE
<i>Lead D. Muts</i>	3-29-05
PNM GAS SERVICES	DATE
<i>Robert P. Plunz</i>	04/14/05
QWEST TELECOMMUNICATIONS	DATE
<i>Kristen Palmer</i>	3-29-05
COMCAST	DATE

### City Approvals

<i>W. B. Hall</i>	3-29-05
CITY SURVEYOR	DATE
<i>John A. ...</i>	4-13-05
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>John A. ...</i>	4-13-05
UTILITY DEVELOPMENT	DATE
<i>Christina Sandoval</i>	4/13/05
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley L. Bingham</i>	4/13/05
AMAFCA	DATE
<i>Bradley L. Bingham</i>	4/13/05
CITY ENGINEER	DATE
<i>Sharon Nelson</i>	4/13/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
PAID ON UPC # 1017063375240602  
PROPERTY OWNER OF RECORD:  
NM CANCER CENTER / Journal  
BERNALILLO COUNTY TREASURER'S OFFICE

*Sharon Nelson* 5/24/05

### Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 3/25/05  
LARRY W. MEDRANO  
N.M.P.S. No. 11993  
DATE

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

# Legend

- N 90°00'00" E FIELD MEASUREMENTS MATCH RECORD BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
  - REBAR WITH YELLOW PLASTIC CAP "PS 11983" SET THIS SURVEY (UNLESS OTHERWISE NOTED)
  - △ ALUMINUM CENTERLINE MONUMENT FOUND AND USED AS DESIGNATED
  - ▲ ALBUQUERQUE CONTROL SURVEY MONUMENT USED AS DESIGNATED
  - FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11983"

## Curve Table

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD
C1	25.00'	39.27'	90°00'01"	25.00'	S 44°36'30" E	35.36'
C2	1126.05'	290.54'	14°47'00"	146.08'	S 07°47'00" W	289.73'
C3	30.00'	48.77'	93°08'38"	31.69'	S 61°44'49" W	43.57'
C4	880.00'	275.26'	17°55'19"	138.76'	N 80°38'52" W	274.14'

## Line Table

LINE	BEARING	DISTANCE
L1	S 00°26'56" W	15.00'

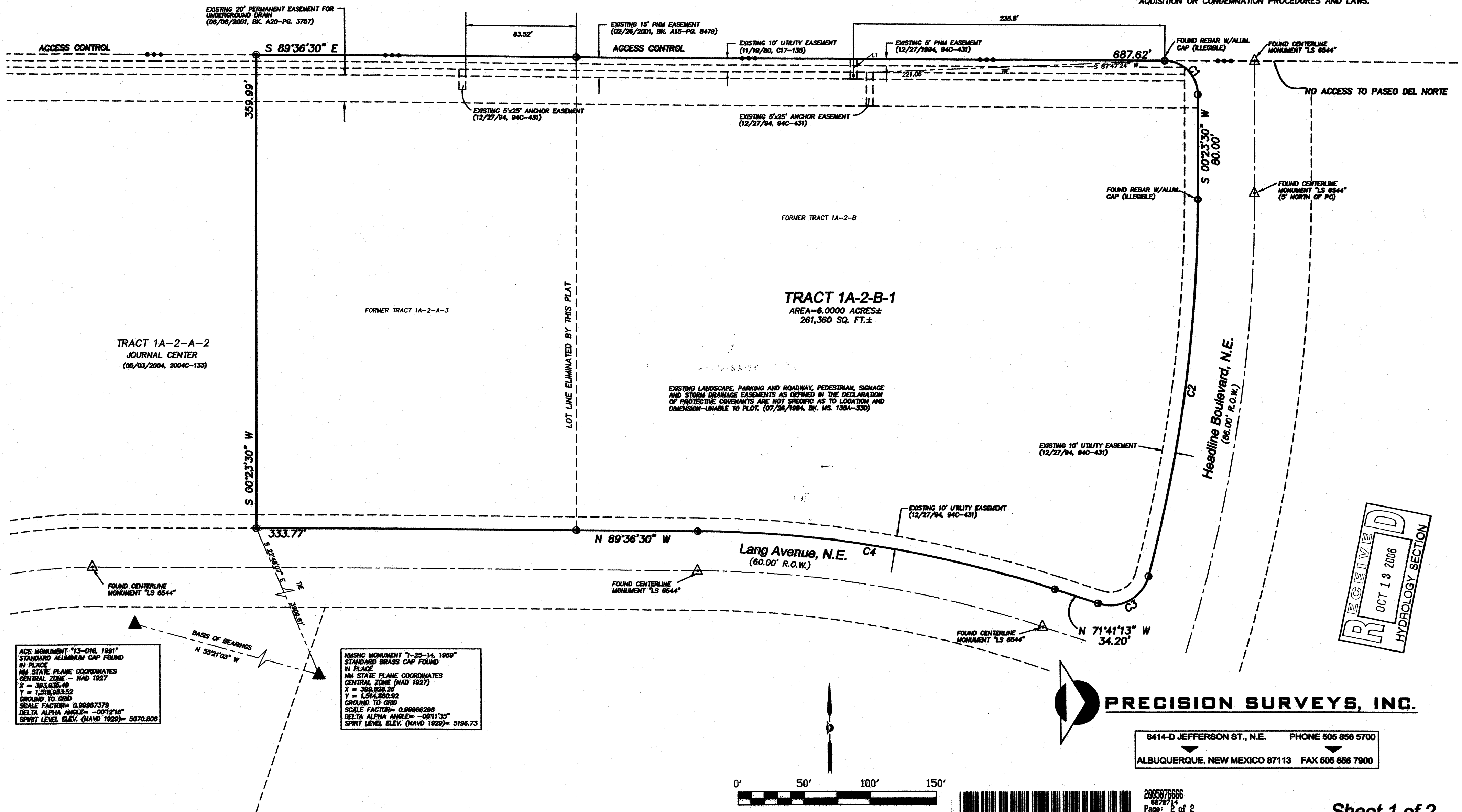
RECORDING STAMP

Plat of  
Tract 1A-2-B-1

**Journal Center**  
Albuquerque, Bernalillo County, New Mexico  
March 2005

Paseo Del Norte, N. E.  
(154.67' R.O.W.)

THE RECORD PLAT (12/27/1994, 94C-431) SHOWS A "POTENTIAL FUTURE CUL-DE-SAC, RIGHT-OF-WAY AT THE NORTHEAST CORNER OF FORMER TRACT 1A-2. THE CUL-DE-SAC IS TO BE CONSTRUCTED ENTIRELY WITHIN THE EXISTING RIGHT-OF-WAY AND WITHOUT ENCROACHMENT ANY FUTURE TAKING WILL BE SUBJECT TO APPLICABLE ACQUISITION OR CONDEMNATION PROCEDURES AND LAWS.



ACS MONUMENT "13-D16, 1991"  
STANDARD ALUMINUM CAP FOUND  
IN PLACE  
NM STATE PLANE COORDINATES  
CENTRAL ZONE - NAD 1927  
X = 303,835.49  
Y = 1,206,833.52  
GROUND TO GRID  
SCALE FACTOR= 0.99967379  
DELTA ALPHA ANGLE= -00°12'16"  
SPRINT LEVEL ELEV. (NAVD 1929)= 5070.808

NMSSHC MONUMENT "7-25-14, 1969"  
STANDARD BRASS CAP FOUND  
IN PLACE  
NM STATE PLANE COORDINATES  
CENTRAL ZONE (NAD 1927)  
X = 309,828.26  
Y = 1,214,860.92  
GROUND TO GRID  
SCALE FACTOR= 0.99966298  
DELTA ALPHA ANGLE= -00°11'35"  
SPRINT LEVEL ELEV. (NAVD 1929)= 5196.73

**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

0' 50' 100' 150'  
SCALE: 1"=50'

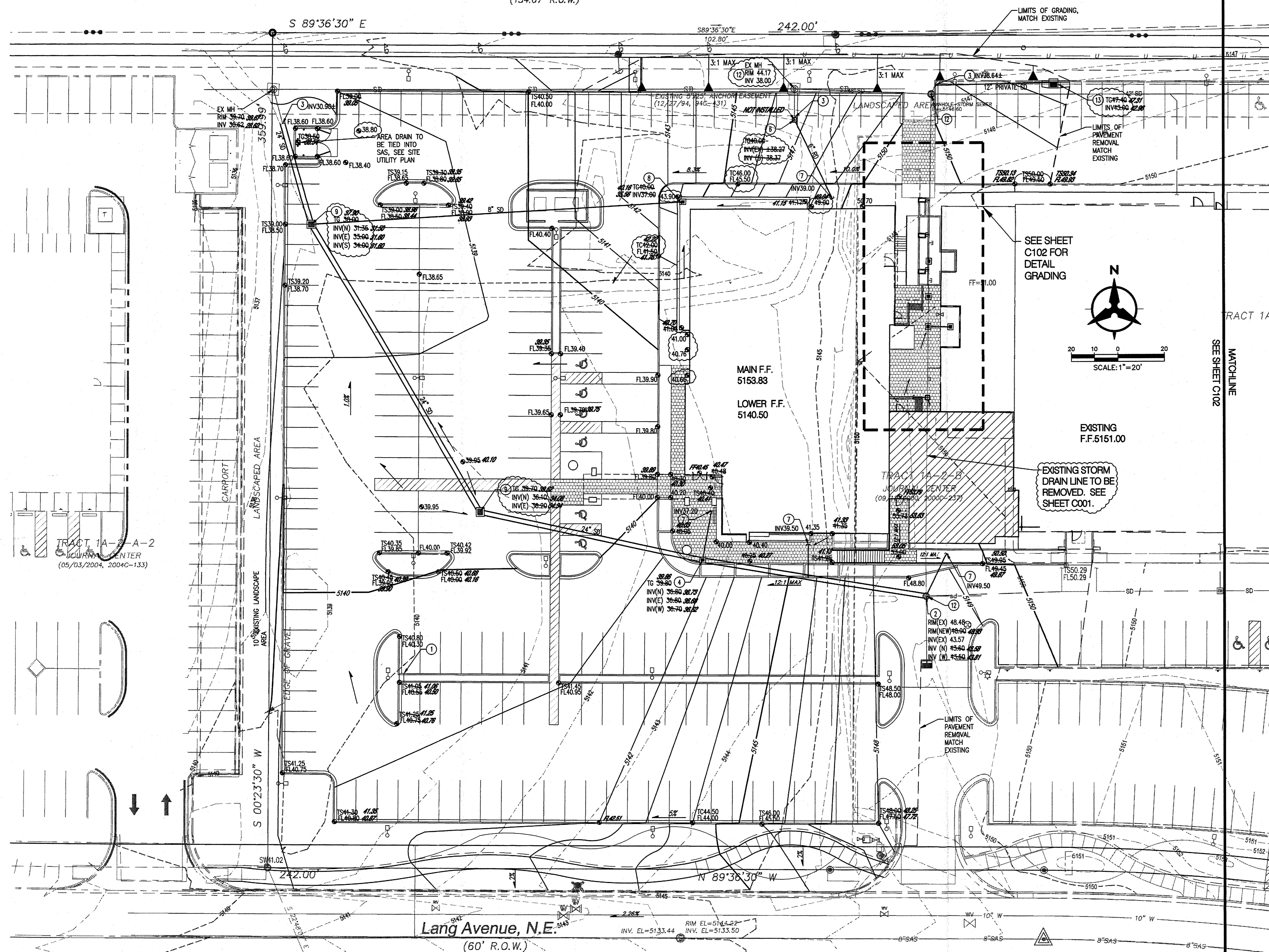
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Sheet 1 of 2

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Paseo Del Norte, N.E.  
(154.67' R.O.W.)



GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS SHOWN ON THESE PLANS AND IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BARRIERS OR SLOPE PROTECTION AT THE PROPERTY LINES AND METING THE SOIL TO PROTECT IT FROM EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul to or from shall be considered incidental to the project and no separate measurement or payment shall be made.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

NOTE:  
1. CONTRACTOR TO VERIFY ALL EXISTING STORM DRAIN INVERT ELEVATIONS AND REPORT DISCREPANCIES TO ENGINEER.  
2. CONTRACTOR TO INSTALL CAST IN PLACE CONCRETE COLLAR WHEN CONNECTING HOPE PIPE TO RCP.  
3. IF THE CONTRACTOR FINDS IT TO BE COST EFFECTIVE, THEY HAVE THE OPTION OF ABANDONING AND FILLING WITH GULLY THE EXISTING STORM DRAIN PIPE THAT RUNS THROUGH THE COURTYARD AND INSTALLING A NEW 12" PIPE AT A SHALLOWER DEPTH.  
IF THIS OPTION IS CHOSEN A NEW CONNECTION AT THE MANHOLE MUST BE MADE AND ALL EXISTING POOL DRAIN CONNECTIONS MUST BE TIED INTO THE NEW PIPE. CONTRACTOR MUST CONTACT ENGINEER FOR REVISED INVERT ELEVATIONS.

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
- PROPOSED DIRECTION OF FLOW
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE

GENERAL NOTES

- ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING KEYED NOTES

- INSTALL 12" CURB OPENING PER DETAIL ON GENERAL CIVIL SHEET.
- CONNECT NEW STORM DRAIN TO EXISTING STORM DRAIN MANHOLE AT ELEVATIONS SHOWN WITH CAST IN PLACE CONCRETE COLLAR. CONTRACTOR MUST VERIFY EXISTING RIM AND INVERT ELEVATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- CONNECT NEW STORM DRAIN TO EXISTING STORM DRAIN STUB AT ELEVATIONS SHOWN. CONTRACTOR MUST VERIFY EXISTING INVERT ELEVATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- INSTALL 24" NYOPLAST STORM DRAIN INLET WITH ADA COMPLIANT GRATE.
- INSTALL 12" NYOPLAST STORM DRAIN INLET WITH ADA COMPLIANT GRATE.
- INSTALL 8" TRAFFIC RATED NYOPLAST DRAIN BASIN WITH SOLID COVER.
- CONNECT 6" ROOF DRAIN LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- INSTALL 12" NYOPLAST STORM DRAIN INLET WITH BEEHIVE STYLE GRATE GRATE.
- INSTALL TYPE "D" STORM DRAIN INLET PER COA STD DWG 2206.
- INSTALL 2" WIDE CONCRETE RIBBON CHANNEL PER DETAIL SHEET C101.
- THE NEW ROOF DRAIN LINE TO EXISTING STORM DRAIN.
- ADJUST EXISTING MANHOLE RIM
- INSTALL TYPE "C" STORM DRAIN INLET PER COA STD DWG 2205.

DRAINAGE CERTIFICATION

I, BRUCE J. STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/08/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PRESTON E. HALL, NMPS 10042, OF THE FIRM HALL SURVEYING CO. ON 11/08/07. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/08/07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Bruce J. Stidworthy*  
BRUCE J. STIDWORTHY, NMPE 14523  
DATE 1/14/08

LEGEND

ASBUILT ELEVATION  
JAN 14 2008  
LAND DEVELOPMENT SECTION

**Bohannon & Huston**  
ENGINEERING & SPATIAL DATA • ADVANCED TECHNOLOGIES

**THE DESIGN GROUP**  
ARCHITECTS • PLANNERS • INTERIOR DESIGN  
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PROJECT NAME:  
Cancer Center Addition and Renovation  
4801 Lang Ave NE  
Albuquerque, New Mexico

REVISIONS

No.	DATE	DESCRIPTION

SHEET TITLE:

GRADING AND DRAINAGE PLAN

DESIGNED	BY	SCALE
		1" = 20'
CHECKED	BY	DATE
		2/18/08
DRAWN	BY	DATE
		01.08.07

**C101**

