

PASEO DEL NORTE

GENERAL NOTES

- PARKING AREA SHALL BE DESIGNED & BUILT TO CURRENT DPM STANDARDS
- REFER TO SHEET L001 FOR LANDSCAPE DESIGN AND INFORMATION
- REFER TO SHEETS C101 FOR GRADING AND DRAINAGE DESIGN AND INFORMATION
- REFER TO SHEET A301 & A302 FOR ADDITIONAL BUILDING LIGHTING INFORMATION

KEYED NOTES

- SIDEWALK, CONCRETE
- PAVING, ASPHALT
- BICYCLE RACK PLANT, (5) BICYCLES, RE: B3/A091
- CURB, 6" HIGH, CONCRETE
- CURB W/ GUTTER, 6" HIGH, CONCRETE (NOT USED)
- TRANSFORMER
- SCREEN WALL, 18'-4" HIGH, 2-COAT STUCCO SYSTEM OVER 12" CMU, COLOR TO MATCH BUILDING
- SCREEN WALL, 6'-0" HIGH, 2-COAT STUCCO SYSTEM OVER 8" CMU, COLOR TO MATCH BUILDING, RE: A1/A091
- MONUMENT SIGN, RE: A2/A091
- LANDSCAPE AREA, RE: L001
- INTEGRALLY COLORED CONCRETE, PEDESTRIAN PATH
- SCREEN WALL, 4'-0" HIGH W/ 8" CAP BLOCK, STONE VENEER OVER 8" CMU, RADIUS = 56'-11"
- HC RAMP, RE: A4/A091
- STEEL TRELLIS, COLOR TO MATCH GALVALUM FINISH
- SCREEN WALL, 1'-4" HIGH W/ 8" CAP BLOCK, STONE VENEER OVER 8" CMU, RADIUS = 21'-0"
- STEEL PARKING CANOPY W/ ALUMINUM PANEL, GALVALUM FINISH, DECK RE: B2/A091
- RETAINING WALL, RE: C1/A091, C101 FOR ELEVATION.

SITE INFORMATION

LEGAL DESCRIPTION:
TRACT 1A-2-A-2 IN JOURNAL CENTER, ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

ZONE: IP INDUSTRIAL PARK

GROSS BUILDING SQUARE FOOTAGE: 41,478 SF

TOTAL SITE AREA: 130,680 SF / 3.0 ACRES

F.A.R.: 0.311

PARKING INFORMATION

OFFICES: NET LEASABLE SF/ 200 (1ST FL) AND 300 (2ND FL)

FIRST FLOOR: 20,070 SF/ 200 = 101

SECOND FLOOR: 19,078 SF/ 300 = 64

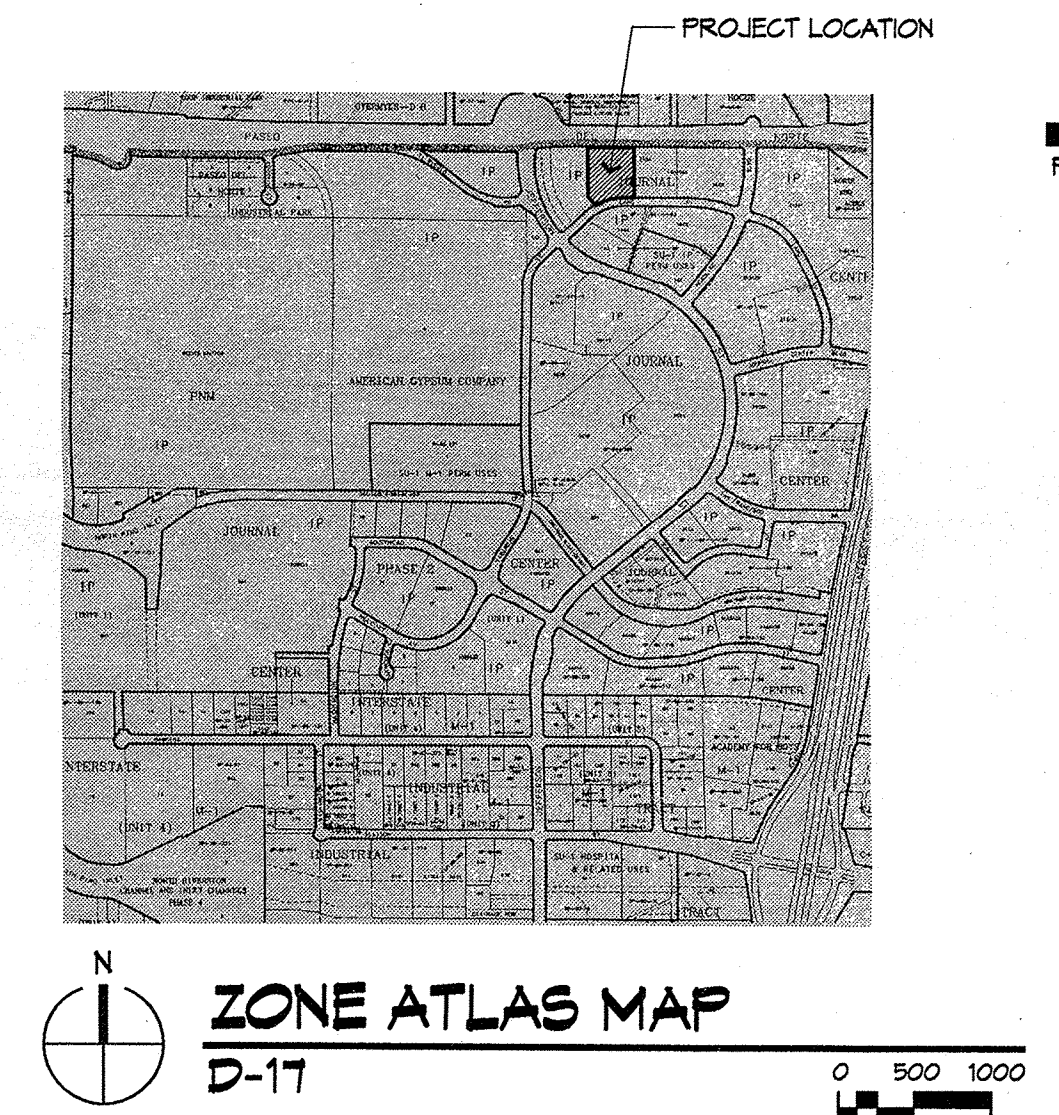
TOTAL SPACES REQUIRED: 165
(INCLUDING 8 ACCESSIBLE SPACES
WITH 4 VAN ACCESSIBLE)

TOTAL SPACES PROVIDED: 178
(INCLUDING 8 ACCESSIBLE SPACES
WITH 4 VAN ACCESSIBLE)

COMPACT SPACES: NONE PROVIDED
BICYCLE REQUIREMENTS: 165/20 = 8
BICYCLE SPACES PROVIDED = 10

LEGEND

- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT, RE: C101
- PARKING SPACE COUNT
- LIGHT POLE - DOUBLE HEAD, RE: D2/A091
- LIGHT POLE - SINGLE HEAD, RE: D2/A091
- SURFACE MOUNTED LIGHT FIXTURE, RE: D1/A091
- FLOOD LIGHT, RE: D1/A091
- UP LIGHT, RE: D1/A091
- TRAFFIC ARROW, PAINT WHITE
- PAINT CURB, RED, & PAINT TEXT "FIRE LANE NO PARKING"



PROJECT NUMBER: 1003184

APPLICATION NUMBER: 04-00656

This plan is consistent with the specific Site Development plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of decision are satisfied.

Is an Infrastructure List required? ☒ Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 5/5/04
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

[Signature] 5/5/04
UTILITIES DEVELOPMENT DATE

[Signature] 5/5/04
PARKS AND RECREATION DEPARTMENT DATE

[Signature] 6/8/04
CITY ENGINEER DATE

NA
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

[Signature] 5-4-04
SOLID WASTE MANAGEMENT DATE

[Signature] 5/5/04
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

REVISIONS

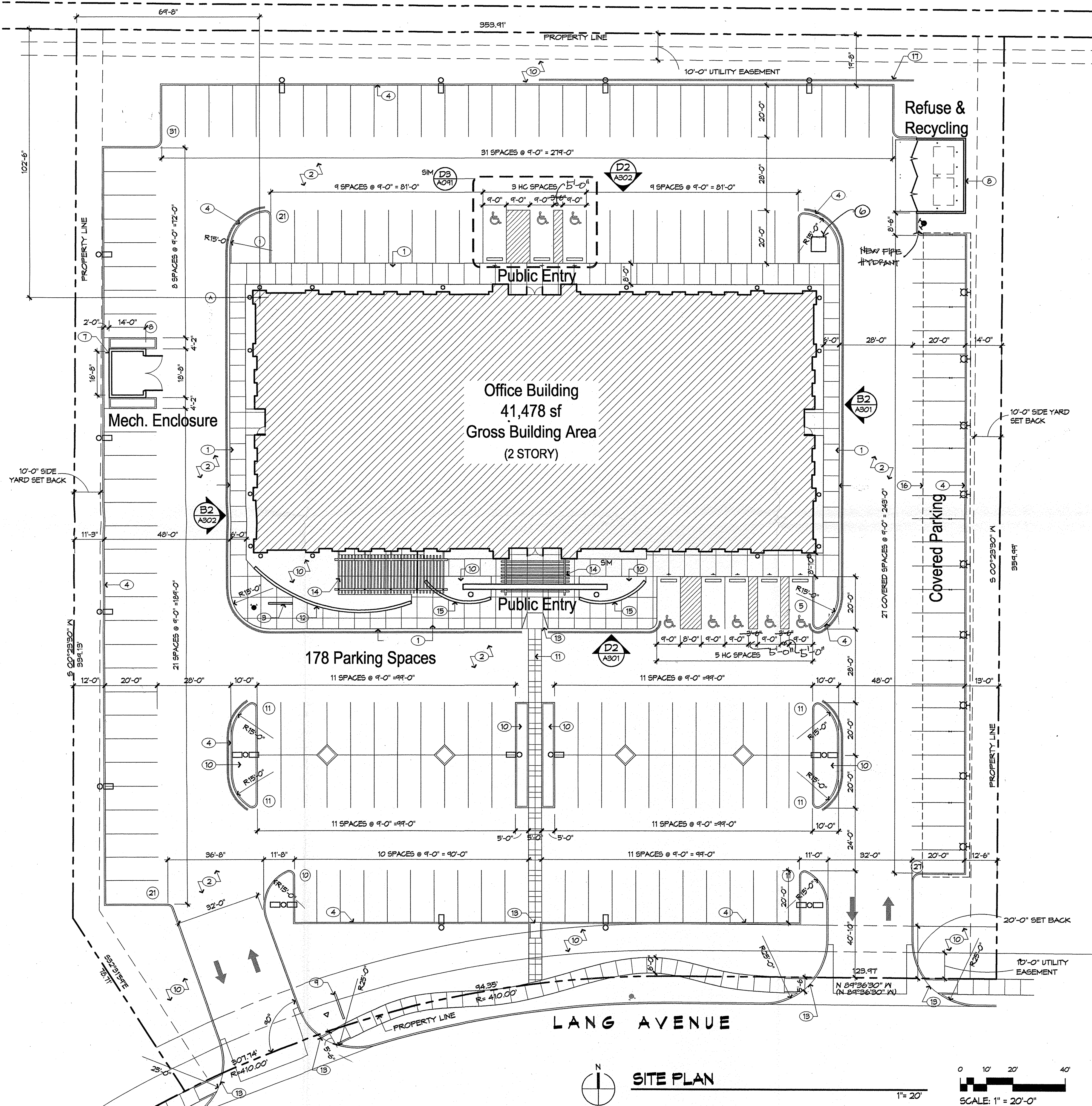
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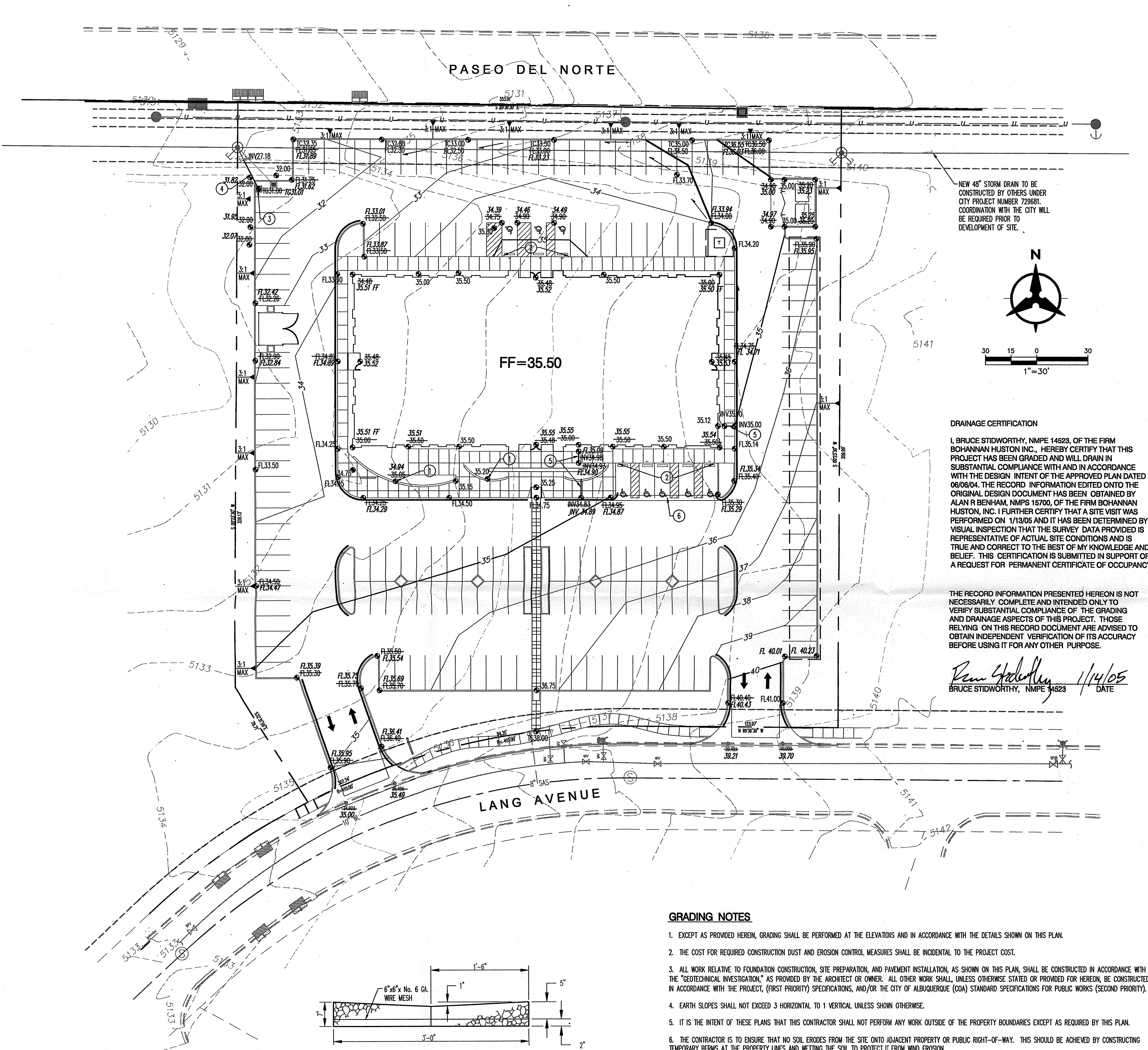
DRAWN BY: CP
REVIEWED BY: AMC
DATE: 04/21/04
PROJECT NO.: 04040
DRAWING NAME:

Site Development Plan
for Building Permit

SHEET NO.

A001
1 OF 7





TYPICAL VALLEY GUTTER SECTION
CONCRETE FOR ALL VALLEY GUTTERS WILL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI IN 24 HOURS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING SONSTRUCTION.

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- PROPOSED SPOT ELEVATION
TO-TOP OF CURB, FL=FLOW LINE
TW=TOP OF WALL, BW=BOTTOM OF WALL
- EXISTING SPOT ELEVATION
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- PROPOSED LIGHTING
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE

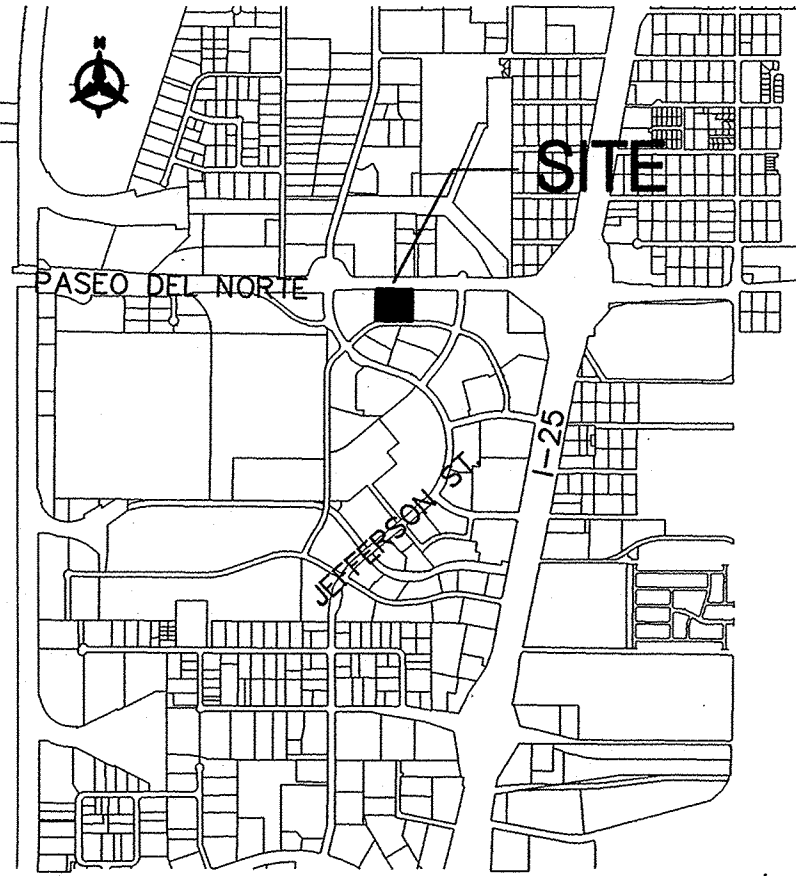
GRADING KEYED NOTES

- PROVIDE OPENING IN WALL FOR DRAINAGE.
- SIDEWALK TO BE FLUSH WITH ASPHALT.
- INSTALL TYPE 'D' INLET PER COA STD. DWG. 2205
- THE 18" TYPE III RCP STORM DRAIN TO EXISTING 18" STUB OUT. PROVIDE 19.03'F AT 1.0% SLOPE TO NEW TYPE 'D' INLET.
- INSTALL 4" PVC AT 0.5% SLOPE UNDER SIDEWALK
- INSTALL CONCRETE VALLEY GUTTER PER DETAIL THIS SHEET

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

Bohannon & Huston
Courtney I 7600 Jefferson St. NE Albuquerque, NM 87109-4396
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



VICINITY MAP
ZONE ATLAS No.
D-17

LEGAL DESCRIPTION

PLAT OF TRACTS 1A-2-A-1, 1A-2-A-2 AND 1A-2-A-3
JOURNAL CENTER TRACT 1A-2-A-2

BENCHMARK

ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM, 14-C17, EPOXYED TO TOP OF CONCRETE BASE OF TRAFFIC LIGHT STANCHION, N.E. QUADRANT OF PASEO DEL NORTE & JEFFERSON ST. N.E., ON THE N.E. CORNER OF SAID CONCRETE BASE.

**architecture
interiors
planning
engineering**

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsabq.com

ARCHITECT

ENGINEER



PROJECT

**JOURNAL CENTER
OFFICE BUILDING**
Lang Ave. NE, Albuquerque, NM
DRB Submittal Set

REVISIONS

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- △
- △
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DRAWN BY	RPS
REVIEWED BY	BJS
DATE	06/01/04
PROJECT NO.	0403TB
DRAWING NAME	

**GRADING AND
DRAINAGE
PLAN**

SHEET NO.

C101
OF