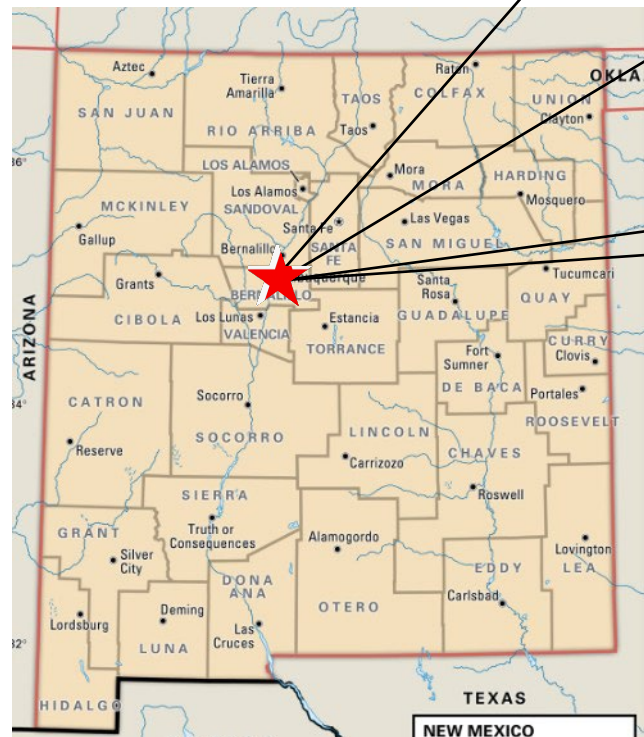


Alvarado Roofing Headquarters

4015 Hawkins Street NE

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PAGE INDEX	
1	TITLE PAGE
2	SWPPP INFO & NOTES
3	DETAILS
4-5	TEMPORARY EROSION CONTROL PLAN
6	SCHEDULE & SWPPP TEAM



GPS COORDINATES:

Latitude: 35.163250
Longitude: -106.597468



<p>CPESC Stamp</p>	Alvarado Roofing Headquarters	
	PROJECT TITLE	
	ALBUQUERQUE, NM, BERNALILLO COUNTY	
	CITY, COUNTY, STATE	
05/20/2024	DATE	
B. Henriksen / J. Tolman	DRAWN BY	

STORMWATER POLLUTION PREVENTION PLAN INFORMATION

PERMIT NUMBER: NMR	
NMR100000 STATE OF NEW MEXICO, EXCEPT INDIAN COUNTRY NMR101000 INDIAN COUNTRY WITHIN THE STATE OF NEW MEXICO, EXCEPT NAVAJO RESERVATION LANDS THAT ARE COVERED UNDER ARIZONA PERMIT AZR101000 AND UTE MOUNTAIN RESERVATION LANDS THAT ARE COVERED UNDER COLORADO PERMIT COR101000.	
OPERATOR NAME:	Alvarado Roofing, Inc
OPERATOR POINT OF CONTACT:	Craig Kemper craig@alvaradoroofing.com 505-842-7663
NOI PREPARED BY:	Inspections Plus
PROJECT/SITE NAME:	Alvarado Roofing Headquarters
PROJECT/SITE ADDRESS:	4015 Hawkins Street NE, Albuquerque, NM 87109
LATITUDE	Latitude: 35.163250
LONGITUDE	Longitude: -106.597468
ESTIMATED PROJECT START DATE	05/20/2024
ESTIMATED PROJECT COMPLETION DATE	05/20/2025
ESTIMATED AREA TO BE DISTURBED	2 acres
TYPE OF CONSTRUCTION	Commercial
DEMOLITION OF ANY STRUCTURES, 10,000 SQ FT OF GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	No
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	NO
COMMENCED EARTH DISTURBING ACTIVITIES?	NO
DISCHARGE TO MS4? MS4 NAME? City of Albuquerque	Yes
SURFACE WATERS WITHIN 50FT?	NO
RECEIVING WATER? Rio Grande	No
IS RECEIVING WATER IMPAIRED? TIER DESIGNATION	Yes, Category 3
WHAT ARE THE IMPAIRMENTS, IF ANY?	E. coli
SWPPP CONTACT INFORMATION: Craig Kemper craig@alvaradoroofing.com 505-842-7663	
ENDANGERED SPECIES CRITERIA:	CRITERION "A"; NO CRITICAL HABITATS
HISTORIC PRESERVATION CRITERIA:	CRITERION "A" PREEXISTING DEVELOPMENT

EROSION CONTROL NOTES ESC Plan Standard Notes (2023-06-16)

1. All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
 - a. The City Ordinance § 14-5-2-11, the ESC Ordinance,
 - b. The EPA's 2022 Construction General Permit (CGP), and
 - c. The City Of Albuquerque Construction BMP Manual.
2. All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
3. Self-inspections - In accordance with City Ordinance § 14-5-2-11(C)(1), "at a minimum a routine self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
5. Final Stabilization and Notice of Termination (NOT) - In accordance with City Ordinance § 14-5-2-11(C)(1), self-inspections must continue until the site is "determined as stabilized by the city." The property owner/operator is responsible for determining when the "Conditions for Terminating CGP Coverage" per CGP Part 8.2 are satisfied and then for filing their Notice of Termination (NOT) with the EPA. Each operator may terminate CGP coverage only if one or more of the conditions in Part 8.2.1, 8.2.2, or 8.2.3 has occurred. After filing the NOT with the EPA, the property owner is responsible for requesting a Determination of Stabilization from the City.
6. When doing work in the City right-of-way (e.g. sidewalk, drive pads, utilities, etc.) prevent dirt from getting into the street. If dirt is present in the street, the street should be swept daily or prior to a rain event or contractor induced water event (e.g. curb cut or water test).
7. When installing utilities behind the curb, the excavated dirt should not be placed in the street.
8. When cutting the street for utilities the dirt shall be placed on the uphill side of the street cut and the area swept after the work is complete. A wattle or mulch sock may be placed at the toe of the excavated dirt pile if site constraints do not allow placing the excavated dirt on the uphill side of the street cut.
9. ESC Plans must show longitudinal street slope and street names. On streets where the longitudinal slope is steeper than 2.5%, wattles/mulch socks or j-hood silt fence shall be shown in the front yard swale or on the side of the street.

 CPESC Stamp	Alvarado Roofing Headquarters	
	PROJECT TITLE	
	ALBUQUERQUE, NM, BERNALILLO COUNTY	
	CITY, COUNTY, STATE	
05/20/2024	DATE	 INSPECTIONS PLUS
B. Henriksen / J. Tolman		
DRAWN BY		

SEDIMENT TRACK OUT CONTROL



BMP Objectives

- Sediment Control

BERMS AND SWALES



BMP Objectives

- Runoff Control
- Run-on Diversion

SILT FENCE



BMP Objectives

- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

MULCH SOCK/STRAW WATTLE



BMP Objectives



- Sediment Control
- Reduce Runoff Velocity
- Inlet Protection

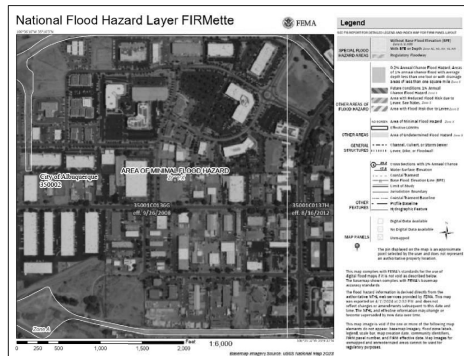
INLET PROTECTION



BMP Objectives

- Sediment Control
- Sheet Flow Runoff Control
- Wind Erosion Control

 CPESC Stamp	Alvarado Roofing Headquarters		PROJECT TITLE	
	ALBUQUERQUE, NM, BERNALILLO COUNTY			CITY, COUNTY, STATE
	05/20/2024	DATE	 INSPECTIONS PLUS	
	B. Henriksen / J. Tolman	DRAWN BY		



FIRM MAP PANEL # 136 G

SUBJECT PROPERTY IS NOT ADJACENT TO A FLOOD HAZARD ZONE.
NOTICE TO CONTRACTORS - "SO-19 PERMIT"

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

- NOTICE TO CONTRACTOR**
(SPECIAL ORDER 19 ~ "SO-19")
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
 - CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
 - AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT **NEW MEXICO ONE CALL, DIAL "811"** (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 - CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

GRADING & DRAINAGE PLAN

THE COMMERCIAL/CONTRACTOR'S YARD PROJECT IS LOCATED IN THE INTERSTATE INDUSTRIAL PARK OF ALBUQUERQUE APPROXIMATELY 5 MILES NORTH OF THE DOWNTOWN CORE OF ALBUQUERQUE. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY FLOOD HAZARD ORDINANCE, 2009, AND THE LATEST REVISED CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS INCLUDING TWO RESIDENCES AND EXISTING FLATWORK.
- PROPOSED IMPROVEMENTS: 300 SF OFFICE PARKING, 15000 SF OF STORAGE BLDGS, ASPHALT DRIVE, GRAVEL SURFACING, NEW GRADE ELEVATIONS, WALLS, FLATWORK AND LANDSCAPING.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION OF ONSITE RUNOFF COMPUTATIONS INCLUDING UPSTREAM (IF ANY CONTRIBUTE) TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION. PRESENTLY, THE SITE IS BOUNDED ON THE EAST AND NORTH BY DEVELOPED COMMERCIAL PROPERTY. HAWKINS STREET, NE, IS A MAJOR STREET PER THE LRM/RSP AND IS PAVED WITH CURB, GUTTER WITHOUT SIDEWALK, AND IS MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY HAS SLOPES AT APPROX. 2%.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. SINCE HAWKINS ST. IS IMPROVED ONLY MINIMAL GRADING (ACCESS RECONSTR-N) IS PROPOSED WITHIN THE CITY R.O.W. FREE DISCHARGE OF DEVELOPED FLOW IS ACCEPTABLE. THIS PLAN ROUTES DEVELOPED RUNOFF THROUGH/TO THE PROPOSED LANDSCAPE AREAS. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) CHAPTER 6, JUNE 2020 EDITION FOR CITY OF ALBUQUERQUE
DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$, "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E \times WEIGHTED \times AREA$
 $P100 = 2.29$ Inches, Zone 2 Time of Concentration, $T_C = 12$ Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS - FORMER DEVELOPED PROPERTY

TOTAL AREA = 2.0 ACRES, WHERE EXCESS PRECIP. "W" = 1.03 in. [0.5]
PEAK DISCHARGE, $Q100 = 6$ CFS [3.2], WHERE UNIT PEAK DISCHARGE "q" = 3 CFS/AC. [1.6]
THEREFORE: $VOLUME 100 = 7478$ CF [XXX]

DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

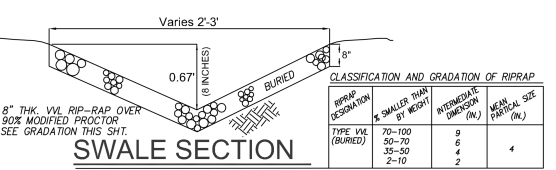
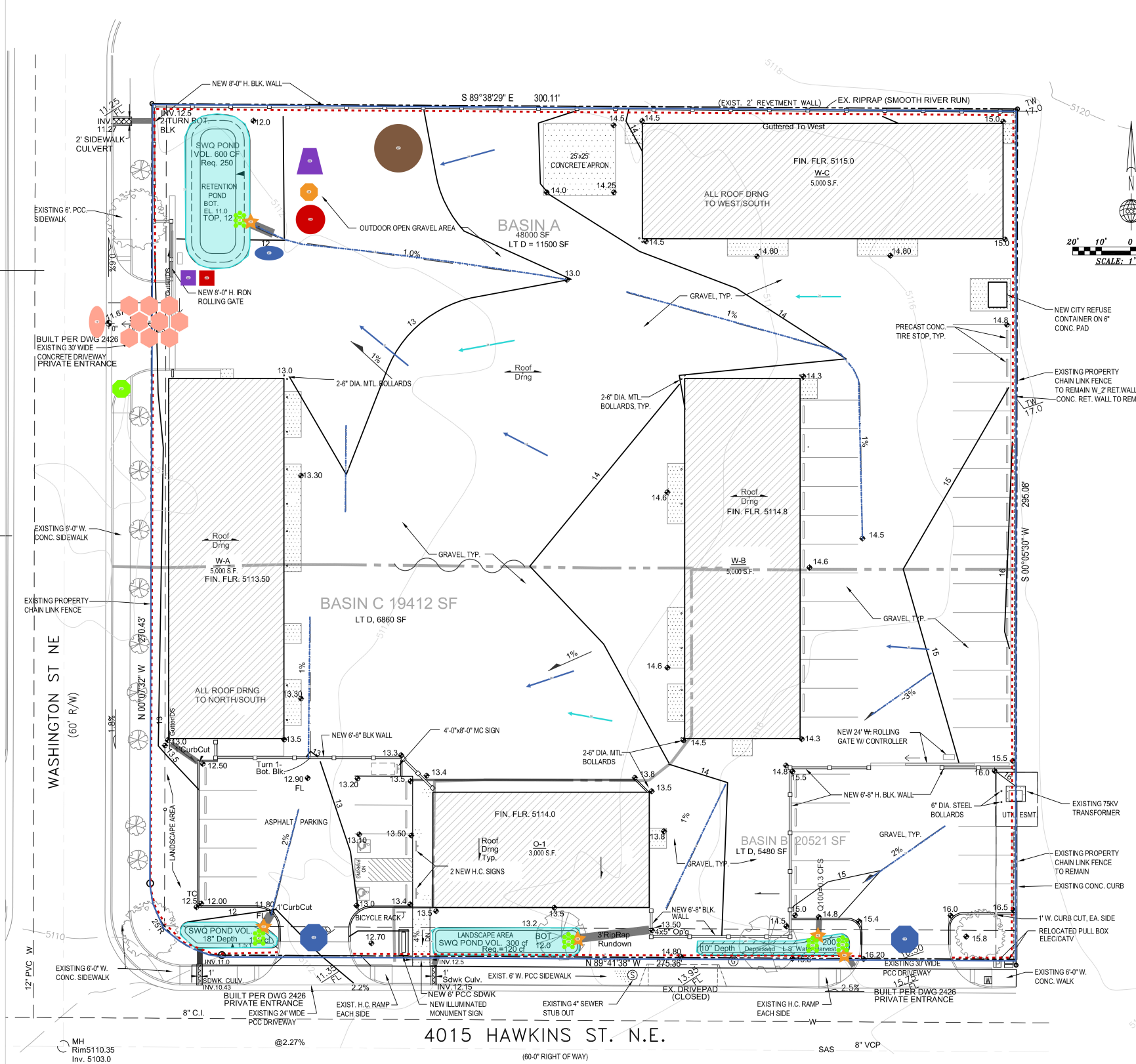
LANDSCAPING/POND	AREA	LAND TREATMENT	α	ρ	Q_{Peak}	E
UNDEVELOPED	Ac.	A	0.26	1.71	[0.41]	0.62 [0.15]
LANDSCAPING/POND	0.26	Ac. (13%)	B	2.36	[0.95]	0.80 [0.30]
GRAVEL & COMPACTED SOIL	1.19	Ac. (60%)	C	3.05	[1.59]	1.03 [0.46]
ROOF - PAVEMENT	0.55	Ac. (27%)	D	4.34	[2.71]	2.33 [1.51]
	2	Ac.				

THEREFORE: $E_{Weighted} = 1.35$ in. & $VOLUME 100 = 9809$ CF
 $Q100 = 6.6$ CFS >>> INCREASE OF 0.6 CFS

RECOMMEND: ROUTE DEVELOPED RUNOFF THROUGH UPGRADED SOFT LANDSCAPING CHECK EPA, M54 PERMITTING "FIRST FLUSH", REDEVELOPED
 $0.26/12 \times 24000 = \dots$ USE 520 CF TOTAL FOR SITE
THEREFORE: SEE BASINS A, B2, AND C FOR BREAKOUT OF SWQ PONDS / LT DS

SIZE EMERGENCY OUTFALL, REF: Brater-King, Handbook of Hydraulics

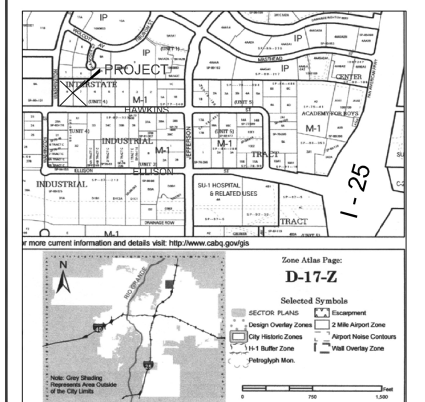
SEE BROAD-CRESTED WEIR
SIZE OUTLET: $Q = C_L H^{3/2} = 2.7 \times 1 \times 0.75^{3/2} = 1.76$ CFS Where: $C = 2.7$, $H = 9$ INCHES
THEREFORE: 2" SDWK CULVERT = 3.5 CFS



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 04/25/24
BY: *Renee C. Brantley*
HydroTrans # D17D008

4/24/24
PHILIP W. CLARK
NEW MEXICO
10286
REGISTERED PROFESSIONAL ENGINEER

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



VICINITY MAP D-17

NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 9TH UPDATE W/ AMENDS.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 2 HORIZONTAL TO 1 VERTICAL, 2:1<3" HIGH. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
- SEE SPECIAL ORDER 19 NOTES, UPPER LEFT THIS SHIT.

LEGEND

- EXIST. SPOT ELEVATION = 14.25.0
- EXIST. CONTOUR = 10
- NEW SPOT ELEVATION (FINISH) = 24.0
- NEW CONTOUR = 12
- NEW SWALE
- DRAINAGE DIRECTION, EXISTING
- NEW CONCRETE CURB (0.5' HEIGHT)
- NEW P.C.C., CONCRETE
- TOP OF CURB, EXISTING
- TOP OF ASPHALT
- FLOWLINE
- EXISTING POWER POLE
- NEW RIPRAP
- BASIN BDRY
- WATER BLOCK
- SIDEWALK CULVERT PER COA STD DWG 2236

PROJECT DATA

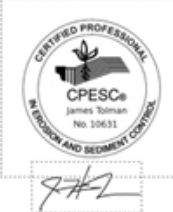

LEGAL DESCRIPTION, UPC # UPC: 101706320612530610
LOTS 7 & 8, INTERSTATE INDUSTRIAL TRACT, UNIT 4 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
PROJECT BENCHMARK
TOP OF EXISTING NORTH RIM OF SANITARY SEWER RING LOCATED IN HAWKINS ST. MSL ELEVATION = 5110.35, AS TIED FROM COA 3-1/4" DIAMETER ALUM DISK, "DOUGLAS", MSL, NAVD 88, 4975.08.
TOPOGRAPHIC DESIGN SURVEY - Includ Cartesion ALTA
PROVIDED BY ALPHA PRO SURVEYING, LLC, DECEMBER 2019 AND FIELD SUPPLEMENTED BY CLARK CONSULTING ENGINEERS.

Clark Consulting Engineers		Edgewood, New Mexico 87015	
DATE	REVISION	LOTS 7 & 8, INTERSTATE INDUSTRIAL TRACT, UNIT 4 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	CELL: (505) 264-6042
		4015 HAWKINS ST, NE	
		GRADING & DRAINAGE PLAN	
DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: Alvarad_Roof	GD-1
CHECKED BY: PWC	START DATE: DEC 2019	FILE #: C&D	



-  Retention Pond (4)
-  Drainage Swale (8)
-  Post-Construction Water Flow (5)
-  Silt Fence (3)
-  Property Boundary/Limit of Disturbance (1)
-  Pre-Construction Water Flow (3)
-  Portable Concrete Washout - In secondary containment (1)
-  Outfall (5)
-  Stabilized Construction Exit (1)
-  Rip Rap (5)
-  Street Sweeping (1)
-  Dumpster (1)
-  Material Storage (1)
-  Blockade (2)
-  Water Truck (1)
-  Stockpiles (1)
-  Spill Kit (1)
-  Portable Toilet (1)
-  SWPPP Sign (1)

Latitude: 35.163250
 Longitude: -106.597468

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	B. Henriksen / J. Tolman <small>DRAWN BY</small>	

Operator:
Alvarado Roofing, Inc
Craig Kemper
President
4805 Jefferson Street NE
Albuquerque, NM 87109
505-842-7663
craig@alvaradoroofing.com

Owner:
Kemper Commercial LLC
Craig Kemper
Property Owner Contact
11500 Carmel Avenue NE
Albuquerque, NM 84122
505-842-7663
craig@alvaradoroofing.com