

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 29, 2025

David Green, R.A
Architects
4508 Downey NE
Albuquerque, NM 87109

Re: Alvarado Roofing, Inc
4015 Hawkins St. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 05-01-24 (D17-D008)
Certification dated 07-14-2025

Dear Mr. Johnson,

Based upon the information provided in your submittal received 07-23-25, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Per city requirements and approved site plan the minimum ADA parking space width should be 8.5 ft.
2. Per city requirements and approved site plan, a truncated domes must be installed at the corner ramp of Hawkins St. and Washington St NE.

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services



4508 Downey NE
Albuquerque, NM 87109
Off: (505) 830-3125
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architractors@aol.com

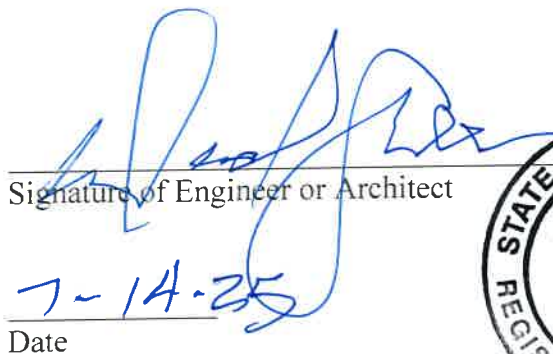
Architects + General Contractors

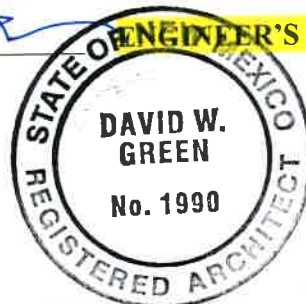
TRAFFIC CERTIFICATION

I, DAVID GREEN, NMPE OR NMRA NUMBER 1990, OF THE FIRM ARCHITRACTORS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED July ,25,2024. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAVID GREEN OF THE FIRM ARCHITRACTORS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON July 2,2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TCL.

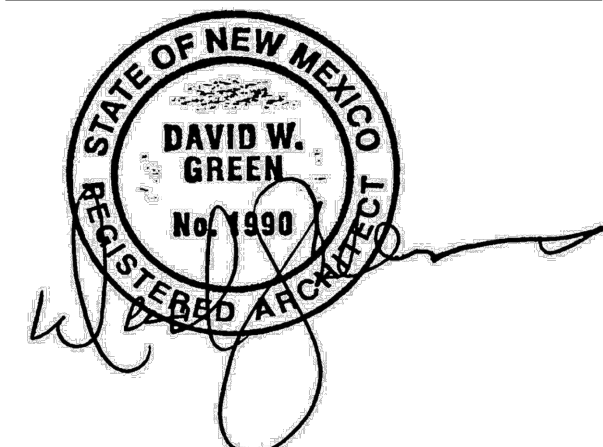
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect
7-14-25
Date



THIS CERTIFICATION MUST BE SUBMITTED ON COMPANY LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE OR ON THE APPROVED SITE PLAN, TCL, OR AA.



Stamp: David Gr  en

NOTICE:
The design and intent of all information attached to the plan is property of the architect. The use or copying of these drawings is not permitted without the written permission of the architect:

ALVARADO ROOFING, INC.
4015 HAWKINS ST., N.E.
ALBUQUERQUE, N.M. 87109

TOTAL PARKING = 37 REGULAR
SPACES AND 2 HANDICAP SPACES
(39 TOTAL)

BUILDING AREA: TOTAL BUILDING 18,000 SQ. FT.
OFFICE = 3,000 SQ. FT.; WAREHOUSE 'A' = 5,000 SQ. FT.;
WAREHOUSE 'B' = 5,000 SQ. FT.; WAREHOUSE 'C' = 5,000 SQ. FT.

SITE AREA: 88,489 SQ. FT. (2.0314 ACRES)
LANDSCAPE AREA: 8,110 SQ. FT.

Project Classifications: Office, Storage
Occupancy Types: B & S-2
Construction Type: V-B (Non-sprinkled)

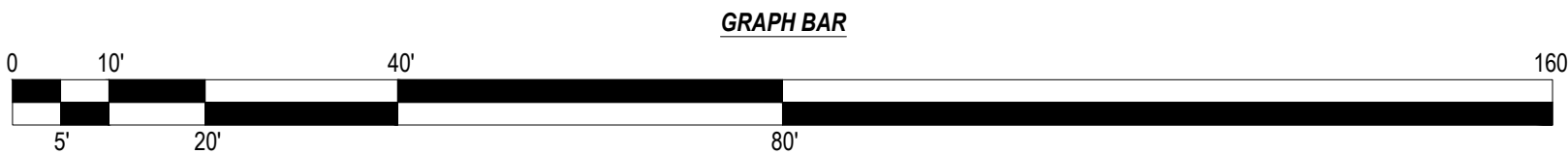
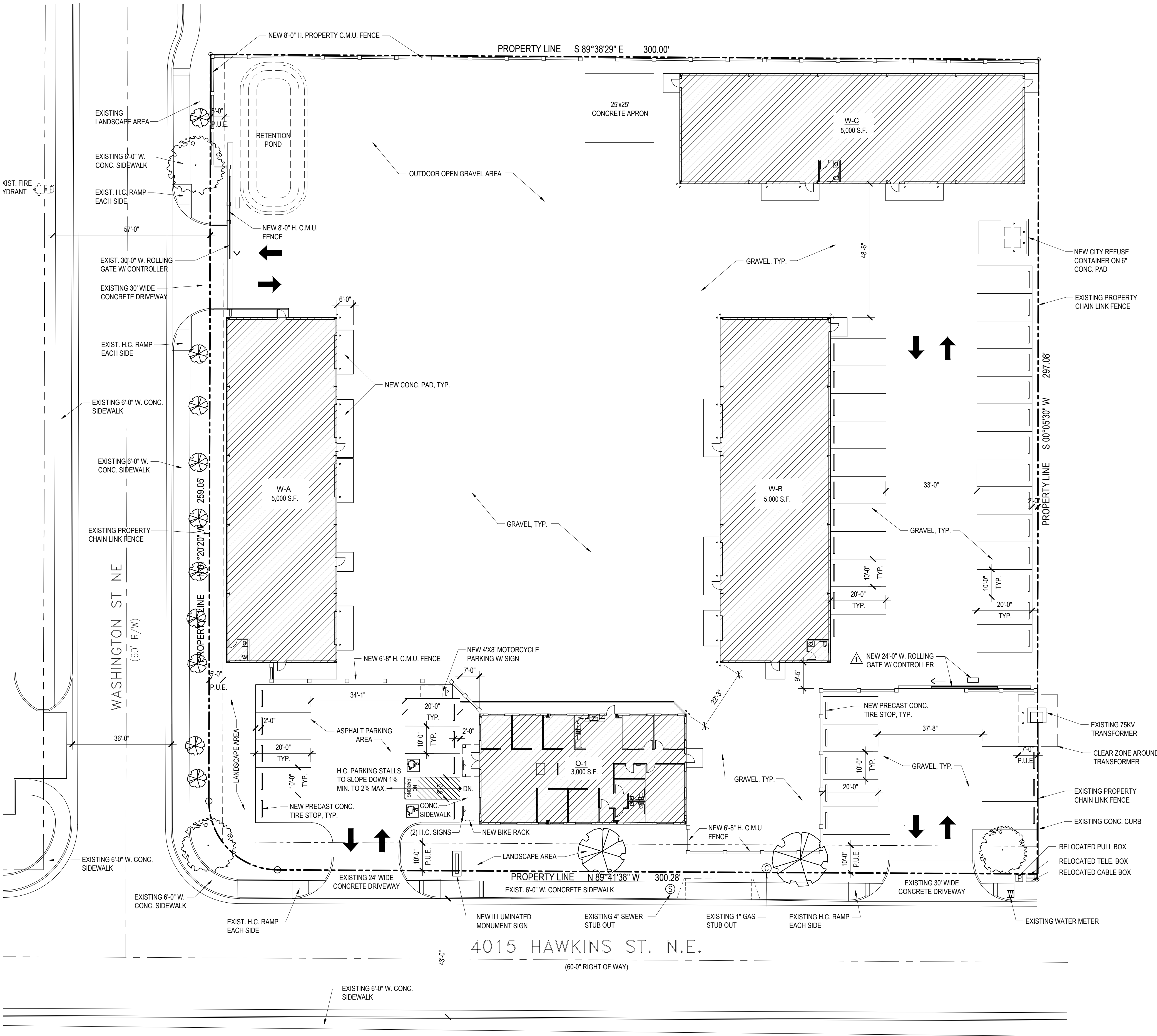
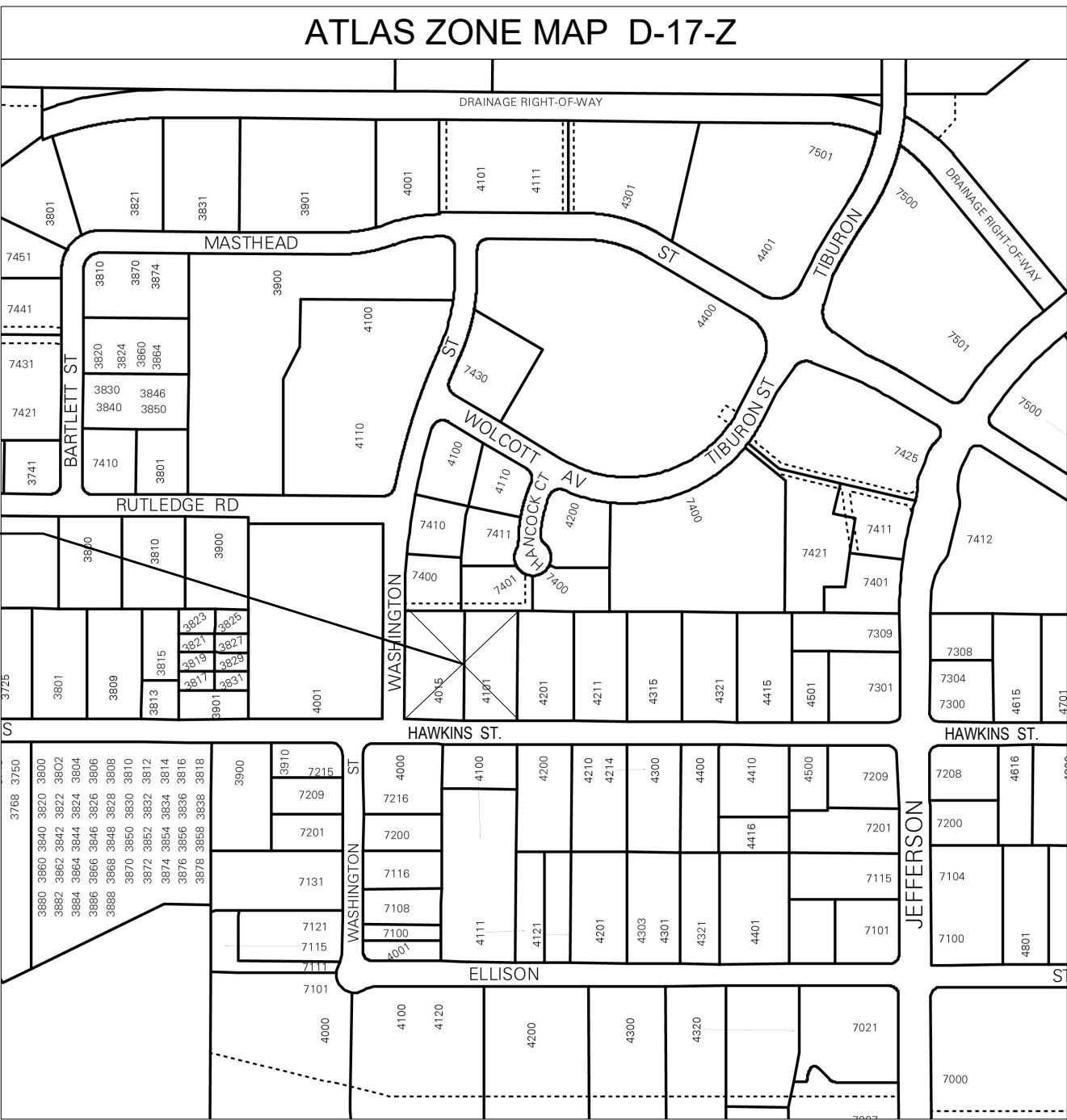
Project Scope

Construction of (4) Metal Framed Building Structures; (1) Office Building and (3) Warehouse Buildings on Improved Lot, all wth Monolithic Concrete Footings. All Warehouses are Pre-Engineered Steel Buildings.

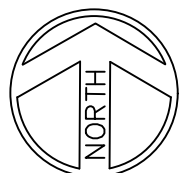
Legal Description:

4015 Hawkins St., N.E.
Albuquerque, N.M. 87109

Lot 7-A, Block 0
Interstate Industrial Tract, Unit 4
Zoning: NR-LM



A TRAFFIC SITE PLAN
SCALE: 1" = 20'-0"



Project:

Revision: Date:

1
2
3
4

Date: 04-16-24

Sheet Title:
TRAFFIC SITE PLAN

Sheet Number:

TCL