

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 16, 2025

Philip Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

RE: 4015 Hawkins St. NE
Temporary Certificate of Occupancy
Engineer's Certification Date: 7/15/25
Engineer's Stamp Date: 4/24/24
Hydrology File: D17D008
Case # HYDR-2025-00254

Dear Mr. Clark:

Based on the Engineer's Grading and Drainage Certification received 7/14/2025 and site visit on 7/16/2025, this letter serves as a conditional approval from the Hydrology Section for a 30-day Temporary Certificate of Occupancy for 4015 Hawkins St. NE to be issued by the Building and Safety Division. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

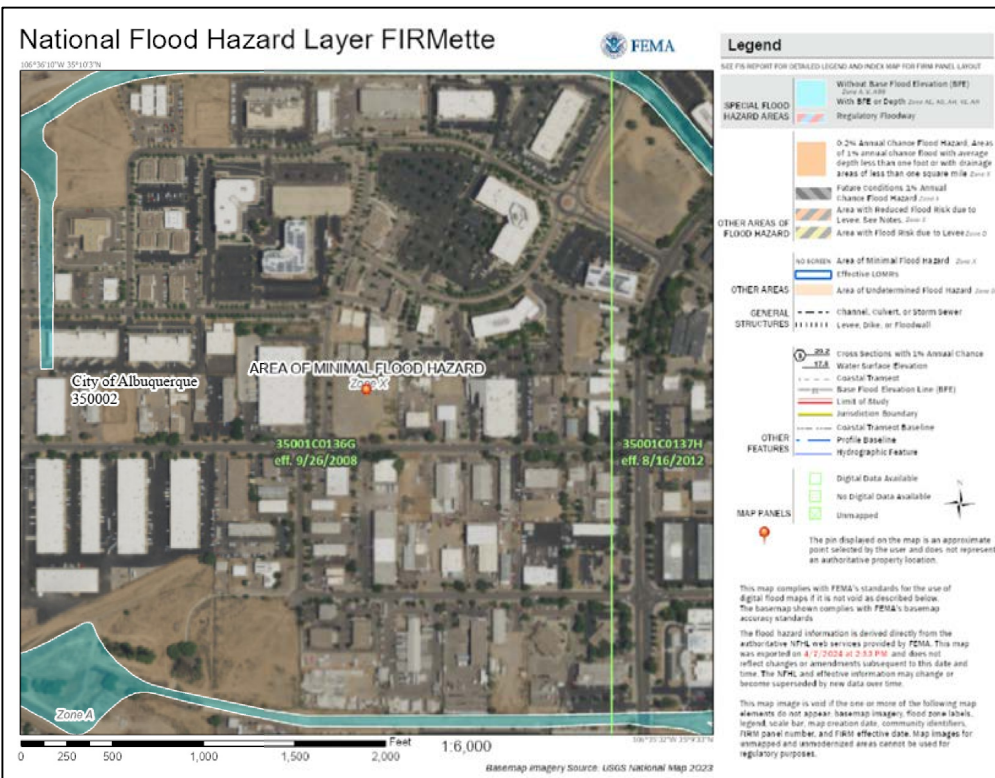
1. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the **\$ 25.00** recording fee check made payable to Bernalillo County to Hydrology. Apply for a Covenant in the ABQ-PLAN system. Upload the Drainage Covenant and Exhibit A as attachments.

Please resubmit for a request for permanent release of Certificate of Occupancy once the above item is complete.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



FIRM MAP PANEL # 136 G

SUBJECT PROPERTY IS NOT ADJACENT TO A FLOOD HAZARD ZONE.
NOTICE TO CONTRACTORS - "SO-19 PERMIT"

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

NOTICE TO CONTRACTOR

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
2. CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT **NEW MEXICO ONE CALL, DIAL "811"** (OR (505) 260-1990) FOR THE LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
9. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
10. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

GRADING & DRAINAGE PLAN

THE COMMERCIAL/CONTRACTOR'S YARD PROJECT IS LOCATED IN THE INTERSTATE INDUSTRIAL PARK OF ALBUQUERQUE APPROXIMATELY 5 MILES NORTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY FLOOD HAZARD ORDINANCE, 2009, AND THE LATEST REVISED CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS: INCLUDING TWO RESIDENCES AND EXISTING FLATWORK
2. PROPOSED IMPROVEMENTS: 300 SF OFFICE, PARKING, 15000 SF OF STORAGE BLDGS, ASPHALT DRIVE, GRAVEL SURFACING, NEW GRADE ELEVATIONS, WALLS, FLATWORK AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF ON-SITE RUNOFF COMPUTATIONS INCLUDING UPSTREAM (IF ANY CONTRIBUTE) TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION. PRESENTLY, THE SITE IS BOUNDED ON THE EAST AND NORTH BY DEVELOPED COMMERCIAL, HAWKINS STREET, NE, IS A MAJOR STREET PER THE LRW/RSP AND IS PAVED WITH CURB, GUTTER WITHOUT SIDEWALK, AND IS MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY HAS SLOPES AT APPROX. 2%.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. SINCE HAWKINS ST. IS IMPROVED ONLY MINIMAL GRADING (ACCESS RECONSTRUCTION) IS PROPOSED WITHIN THE CITY R.O.W. FREE DISCHARGE OF DEVELOPED FLOW IS ACCEPTABLE. THIS PLAN ROUTES DEVELOPED RUNOFF THROUGH/TO THE PROPOSED LANDSCAPE AREAS. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) CHAPTER 6, JUNE 2020 EDITION FOR CITY OF ALBUQUERQUE
DISCHARGE RATE: $Q = OPEAK \times AREA$. Peak Discharge Rates For Small Watersheds
VOLUMETRIC DISCHARGE: $VOLUME = EWeighted \times AREA$
 $P100 = 2.29$ Inches, Zone 2 Time of Concentration, $TC = 12$ Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS - FORMER DEVELOPED PROPERTY

TOTAL AREA = 2.0 ACRES, WHERE EXCESS PRECIP. 'W' = 1.03 in. [0.5]
PEAK DISCHARGE, $Q100 = 6$ CFS [3.2] WHERE UNIT PEAK DISCHARGE 'Q' = 3 CFS/AC. [1.6]
THEREFORE: VOLUME 100 = 7478 CF [XXX]

DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

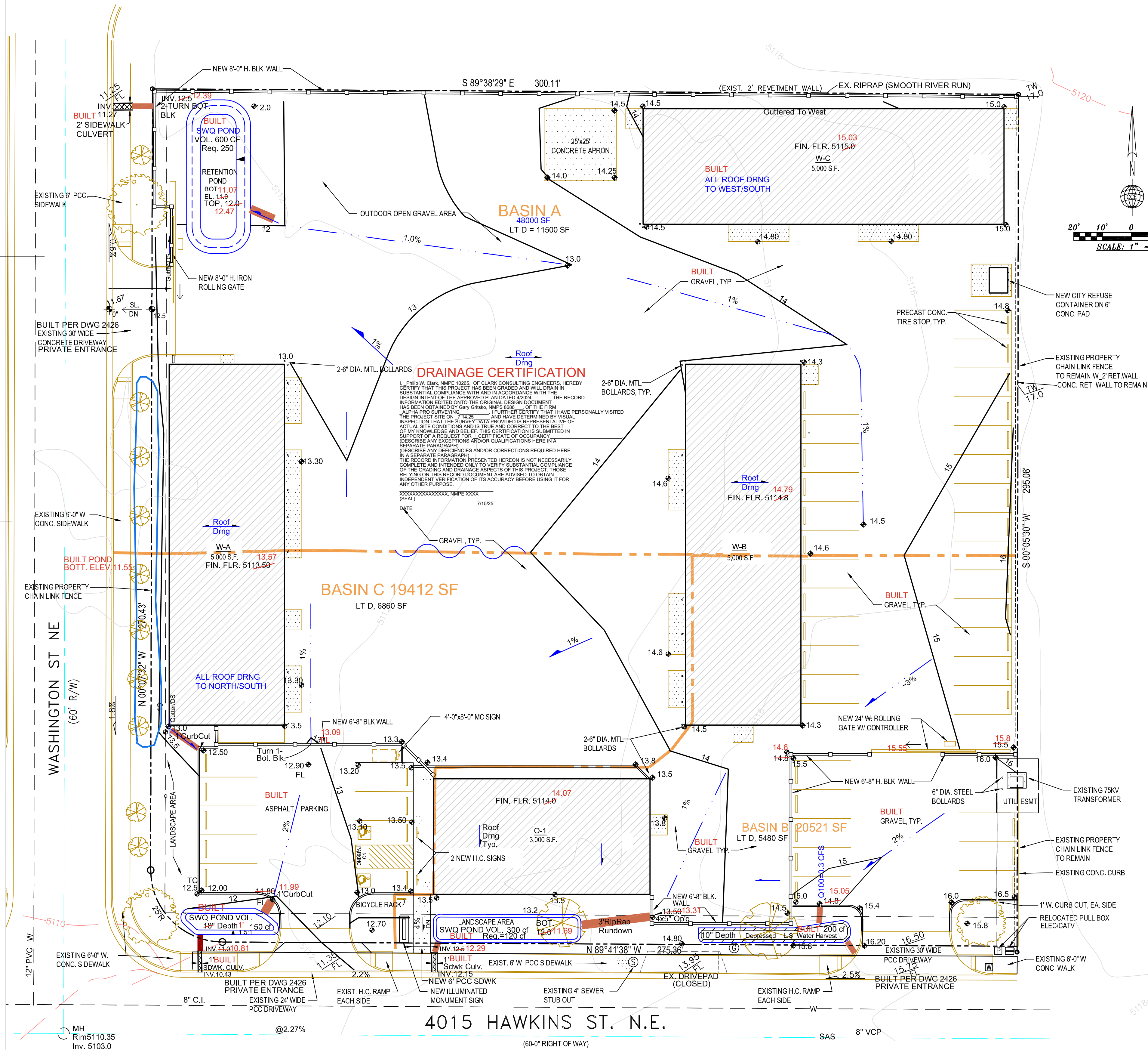
	AREA	LAND TREATMENT	Q_{Peak}	E	
UNDEVELOPED	---	Ac.	A	1.71[0.41]	0.62[0.15]
LANDSCAPING/POND	0.26	Ac.(13%)	B	2.36[0.95]	0.80[0.30]
GRAVEL & COMPACTED SOIL	1.19	Ac.(60%)	C	3.05[1.59]	1.03[0.48]
ROOF - PAVEMENT	0.55	Ac.(27%)	D	4.34[2.71]	2.33[1.51]
	2	Ac.			

THEREFORE: E Weighted = 1.35 in. & VOLUME 100 = 9809 CF
 $Q100 = 6.6$ CFS >> INCREASE OF 0.6 CFS

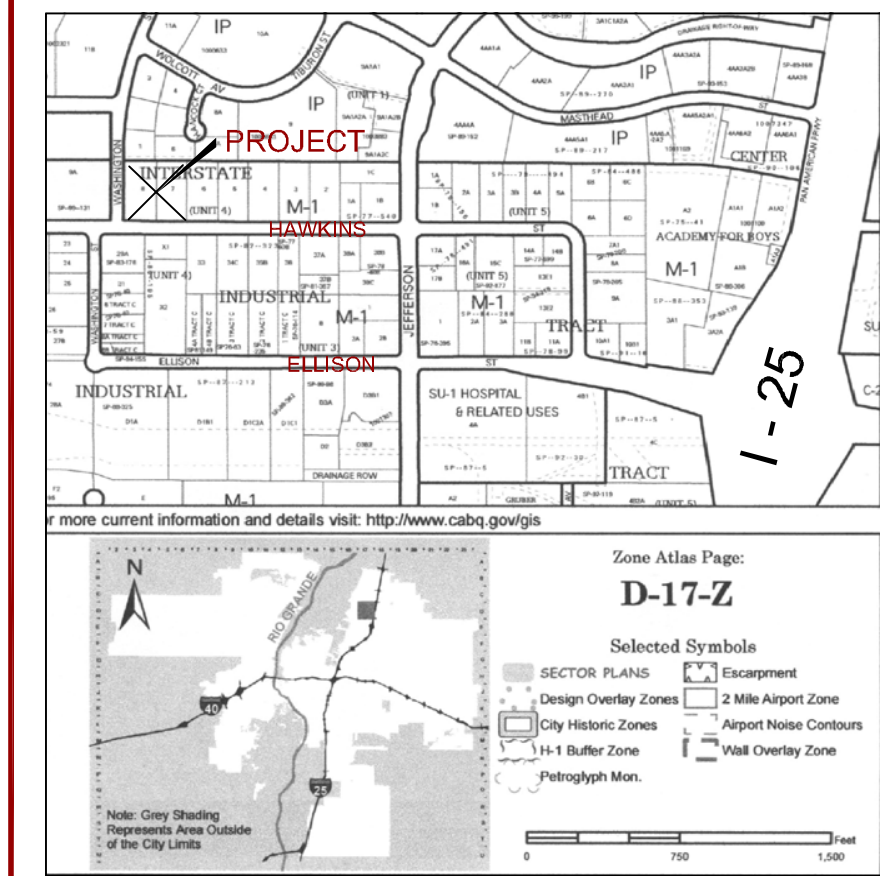
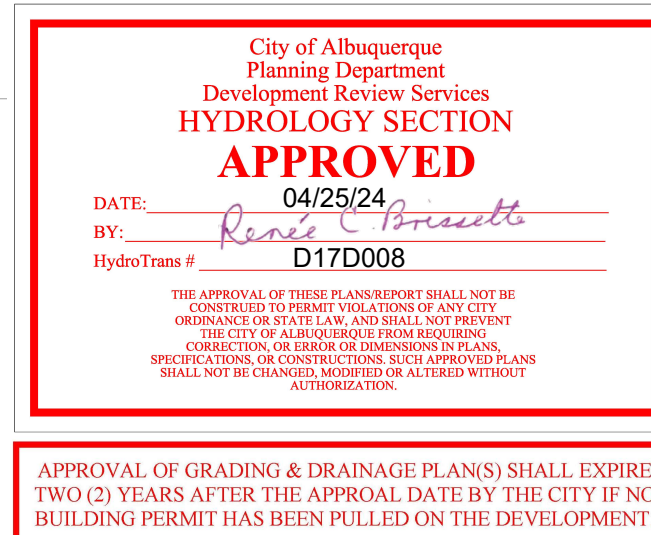
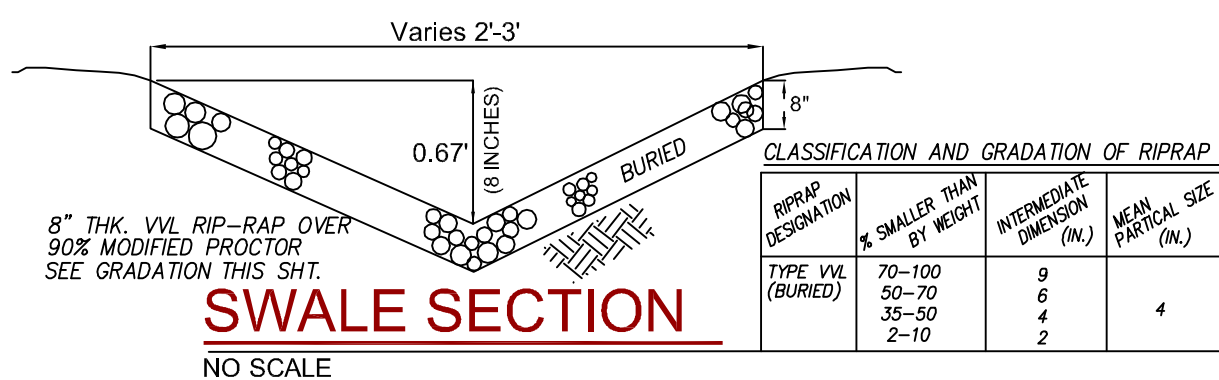
RECOMMEND: ROUTE DEVELOPED RUNOFF THROUGH UPGRADED SOFT LANDSCAPING CHECK EPA, MS4 PERMITTING "FIRST FLUSH", REDEVELOPED 0.26/12 X 24000 = ...USE 520 CF TOTAL FOR SITE
THEREFORE: SEE BASINS A, B2, AND C FOR BREAKOUT OF SWQ PONDS / LT DS

SIZE EMERGENCY OUTFALL, REF: Brater-King, Handbook of Hydraulics

SEE BROAD-CRESTED WEIR
SIZE OUTLET: $Q = CLH^{3/2} = 2.7 \times 1 \times 0.75^{3/2} = 1.75$ CFS Where: C = 2.7, H = 9 INCHES
THEREFORE: 2' SDWK CULVERT = 3.5 CFS



I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO MAJOR EARTHWORK EXCEPT MINIMAL DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



VICINITY MAP D-17

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPEC. FOR PUBLIC WORKS CONSTRUCTION, 9TH UPDATE W/ AMENDS.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 2 HORIZONTAL TO 1 VERTICAL, 2:1<3' HIGH. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.
8. SEE SPECIAL ORDER 19 NOTES, UPPER LEFT THIS SHT.

LEGEND

EXIST. SPOT ELEVATION	14924.0
EXIST. CONTOUR	10
NEW SPOT ELEVATION (FINISH)	24.0
NEW CONTOUR	12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TC
TOP OF ASPHALT	TA
FLOWLINE	FL
EXISTING POWER POLE	P.P.
NEW RIPRAP	
BASIN BDY	
WATER BLOCK	
SIDEWALK CULVERT PER COA STD DWG 2236	With STL. PLATE

PROJECT DATA

LEGAL DESCRIPTION, UPC # UPC: 101706320612530610

LOTS 7 & 8, INTERSTATE INDUSTRIAL TRACT, UNIT 4 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK

TOP OF EXISTING NORTH RIM OF SANITARY SEWER RING LOCATED IN HAWKINS ST. MSL ELEVATION = 5110.35, AS TIED FROM COA 3-1/4" DIAMETER ALUM DISK, "DOUGLAS", MSL, NAVD 88, 4975.08.

TOPOGRAPHIC DESIGN SURVEY - Includg Cortesien ALTA

PROVIDED BY ALPHA PRO SURVEYING, LLC, DECEMBER 2019 AND FIELD SUPPLEMENTED BY CLARK CONSULTING ENGINEERS.

Clark Consulting Engineers
Edgewood, New Mexico 87015

Tel: (505) 281-2444	CELL: (505) 264-6042
DATE	REVISION
DESIGNED BY: PWC	DRAWN BY: CCE
CHECKED BY: PWC	DATE: DEC 2019
JOB #: Alvarad_Roof	FILE #: G&D
GD-1	