

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

October 4, 2017

Mike Walla, P.E.
Walla Engineering
6501 Americas Pwky NE, Suite 301
Albuquerque, NM, 87110

**RE: Avila Retail
Grading and Drainage Plan
Stamp Date: 9/21/17
Hydrology File: D17D010**

Dear Mr. Walla:

PO Box 1293

Based upon the information provided in your submittal received 9/21/17, the Grading and Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Please provide the flood plain note with effective date.
2. Please provide the benchmark information for the survey contour information provided.
3. The storm water quality volume for this site, the 90th Percentile storm event is 0.44 inches as you have indicated. However for Land Treatment D the initial abstraction is 0.1", therefore the first flush volume should be based on $0.44'' - 0.1'' = 0.34''$.

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gpv.

Sincerely,

Reneé C. Brissette

Reneé C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

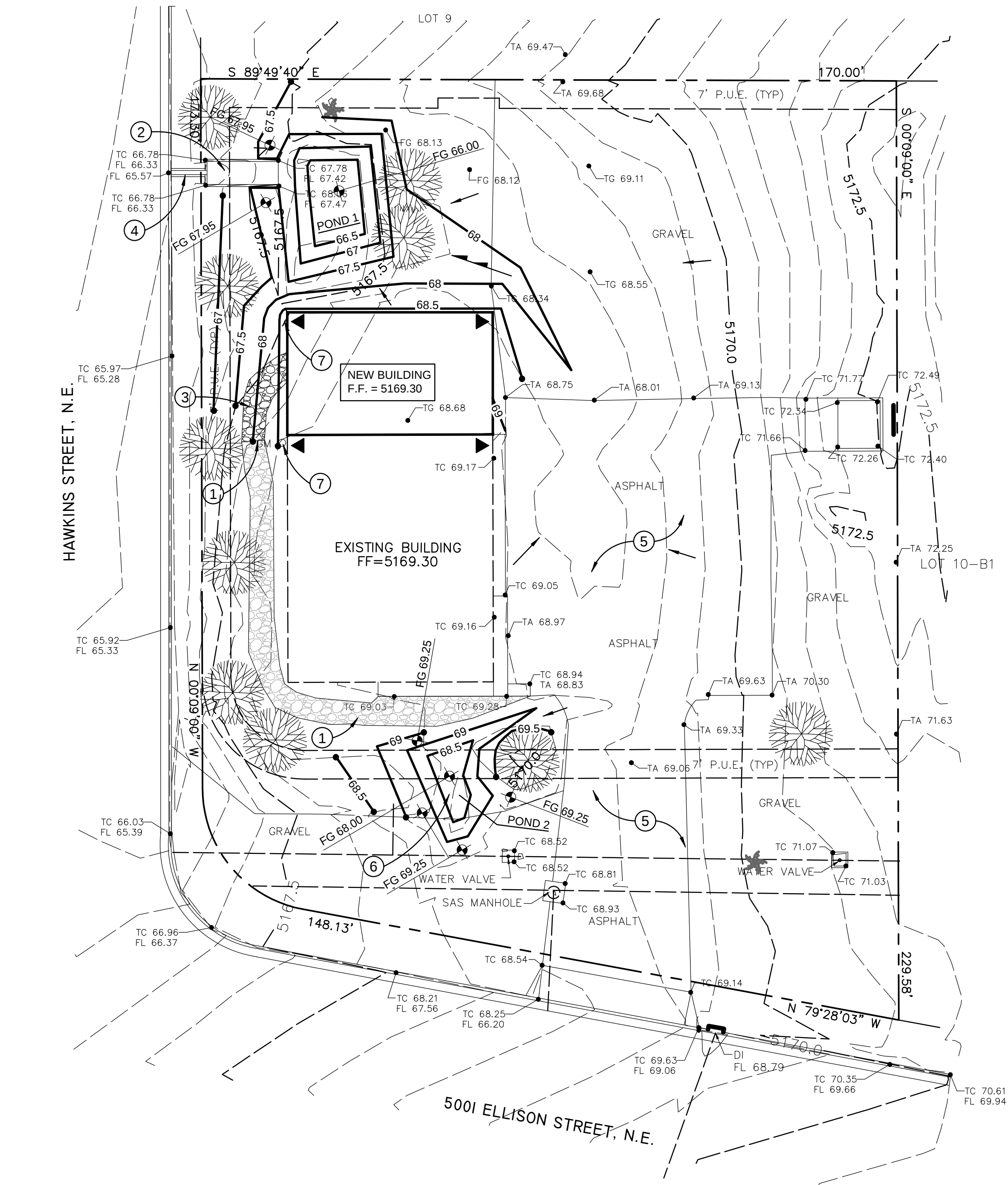
FEE PAID: _____

D

C

B

A



11 GRADING and DRAINAGE PLAN

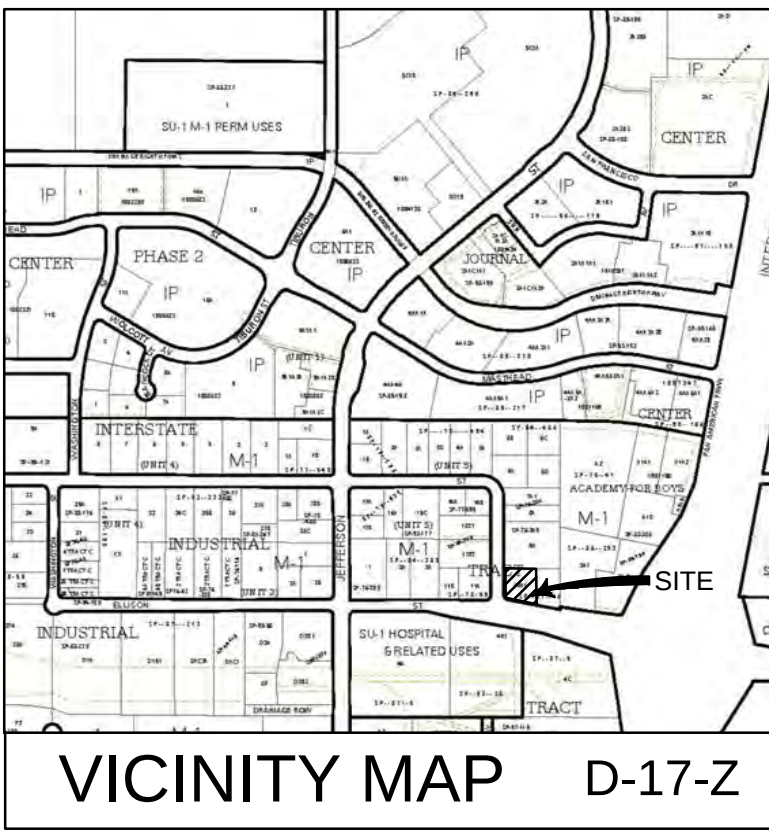
1"=20'

SHEET KEYNOTES

- 1 EXISTING GRAVEL PATH TO REMAIN
- 2 EXISTING CONCRETE RUNDOWN TO REMAIN
- 3 MODIFY GRAVEL PATH TO ACCOMMODATE NEW GRADES
- 4 EXISTING CONCRETE CULVERT TO REMAI
- 5 EXISTING ASPHALT DRIVE AND PARKING TO REMAIN
- 6 MODIFY LANDSCAPE MATERIALS AT NEW POND AS REQUIRED TO ACCOMMODATE REVISED GRADING
- 7 INSTALL PIPING TO DIRECT ROOF DRAIN OUTLET TO ONSITE POND

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- BUILDING OUTLINE AT MAIN LEVEL
- TG TOP OF GRAVEL
- FL FLOW LINE
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- FF FINISHED FLOOR
- FG FINISHED GRADE
- DI DROP INLET
- MH MANHOLE
- ROOF DRAIN
- FLOW DIRECTION
- SWALE
- EXISTING GRAVEL PATH
- EXISTING TREE



LEGAL DESCRIPTION

LOT 10A-1, INTERSTATE INDUSTRIAL TRACT #5, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

DESIGN NARRATIVE

THE SUBJECT PROJECT IS A 0.826 ACRE DEVELOPED SITE WITH AN EXISTING BUILDING AND PARKING LOT. THE NEW SCOPE OF WORK INCLUDES THE ADDITION OF A 1500 SF BUILDING AND SOME REGRADING OF THE SITE TO RECONFIGURE AN EXISTING DRAINAGE POND AND CREATE A SMALL NEW POND. POND 1 IS THE RECONFIGURED EXISTING POND AND WILL HANDLE THE MAJORITY OF RUNOFF STORAGE REQUIRED TO MEET THE CITY OF ALBUQUERQUE "FIRST FLUSH" CRITERIA. POND 2 IS BEING CONSTRUCTED TO HANDLE STORAGE OF NUISANCE RUNOFF FROM THE EXISTING PARKING LOT. THIS PROPERTY IS BOUNDED ON THE SOUTH BY ELLISON BLVD, AND ON THE WEST BY HAWKINS ST. THE SITE IS UNAFFECTED BY OFFSITE DRAINAGE FROM ADJACENT PROPERTIES ON THE EAST AND NORTH SIDES OF THE SUBJECT SITE. SIMILARLY, NO RUNOFF FROM THE SUBJECT PROPERTY IS RELEASED TO THE ADJACENT EAST AND NORTH PROPERTIES BUT THE EXCESS DEVELOPED RUNOFF FROM THE SITE DOES OUTLET TO DOWNSTREAM FACILITIES IN HAWKINS ST. AND ELLISON BLVD. THIS FLOW HAS HISTORICALLY RELEASED DOWNSTREAM IN THIS MANNER AND NO SITE IMPROVEMENTS WILL CHANGE THIS SCHEME. ROOF DRAINS FROM THE EXISTING AND NEW BUILDINGS WILL BE REDIRECTED VIA DOWNSPOUTS TO OUTLET INTO THE EXISTING PARKING LOT OR POND 1.

EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

- 1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 2		DESIGN STORM: (IN)					
		1hr	6hr	24hr	4day	10day	
		2.01	2.35	2.75	3.30	3.95	

EXISTING CONDITIONS								
LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)
								V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.399	48%	0.78	2.28	0.91	1,130	1,130	1,130
C	0.179	22%	1.13	3.14	0.56	734	734	734
D	0.248	30%	2.12	4.70	1.17	1,909	2,269	3,349
TOTALS	0.826	100%		2.64	3,772	4,133	4,628	5,231

PROPOSED CONDITIONS								
LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)
								V10DAY (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0
B	0.364	44%	0.78	2.28	0.83	1,031	1,031	1,031
C	0.179	22%	1.13	3.14	0.56	734	734	734
D	0.283	34%	2.12	4.70	1.33	2,178	2,589	3,154
TOTALS	0.826	100%		2.72	3,943	4,354	4,919	5,586

FIRST FLUSH VOLUME REQUIRED: .44"/12 x 0.283 AC x 43560 SF/AC = 452 CF

STORAGE VOLUME PROVIDED:		AREA	VOLUME
POND 1:	ELEV:	875 SF	
	67.50	513 SF	347 CF
	66.50	273 SF	197 CF
POND VOLUME:			544 CF

POND 2:		ELEV.	AREA	VOLUME
		69.00	413 SF	
		68.50	96 SF	128 CF
POND VOLUME:				128 CF

TOTAL VOLUME PROVIDED: 672 CF > 452 CF OK

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regenerating architecture

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Michael Cecchini
500 Ellison NE
Albuquerque, NM 87109



ISSUE:
100% CONSTRUCTION DOCUMENTS

DRAWN BY: LEK
CHECKED BY: MJW
DATE: 2017.09.21

REVISIONS

GRADING and DRAINAGE PLAN

17005
C101

Walla
ENGINEERING LTD
Structural Engineering
Civil Engineering

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Albuquerque, NM 87110
881-3008 • Facsimile 881-4025