

Biazar, Shahab

D-17 D017

From: Biazar, Shahab
Sent: Friday, November 08, 2013 8:48 AM
To: 'Trula Howe'
Subject: RE: Confirm

Hi,

You do not need a grading and drainage approval for the proposed improvement shown on the attached plan.

I will file the plan you have sent us for information only and not seeking approval.

Thank and have a nice day.

Shahab Biazar, P.E.
Senior Engineer
Planning Department
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3864

From: Trula Howe [mailto:tru@cginm.com]
Sent: Friday, November 08, 2013 8:29 AM
To: Biazar, Shahab
Subject: Confirm

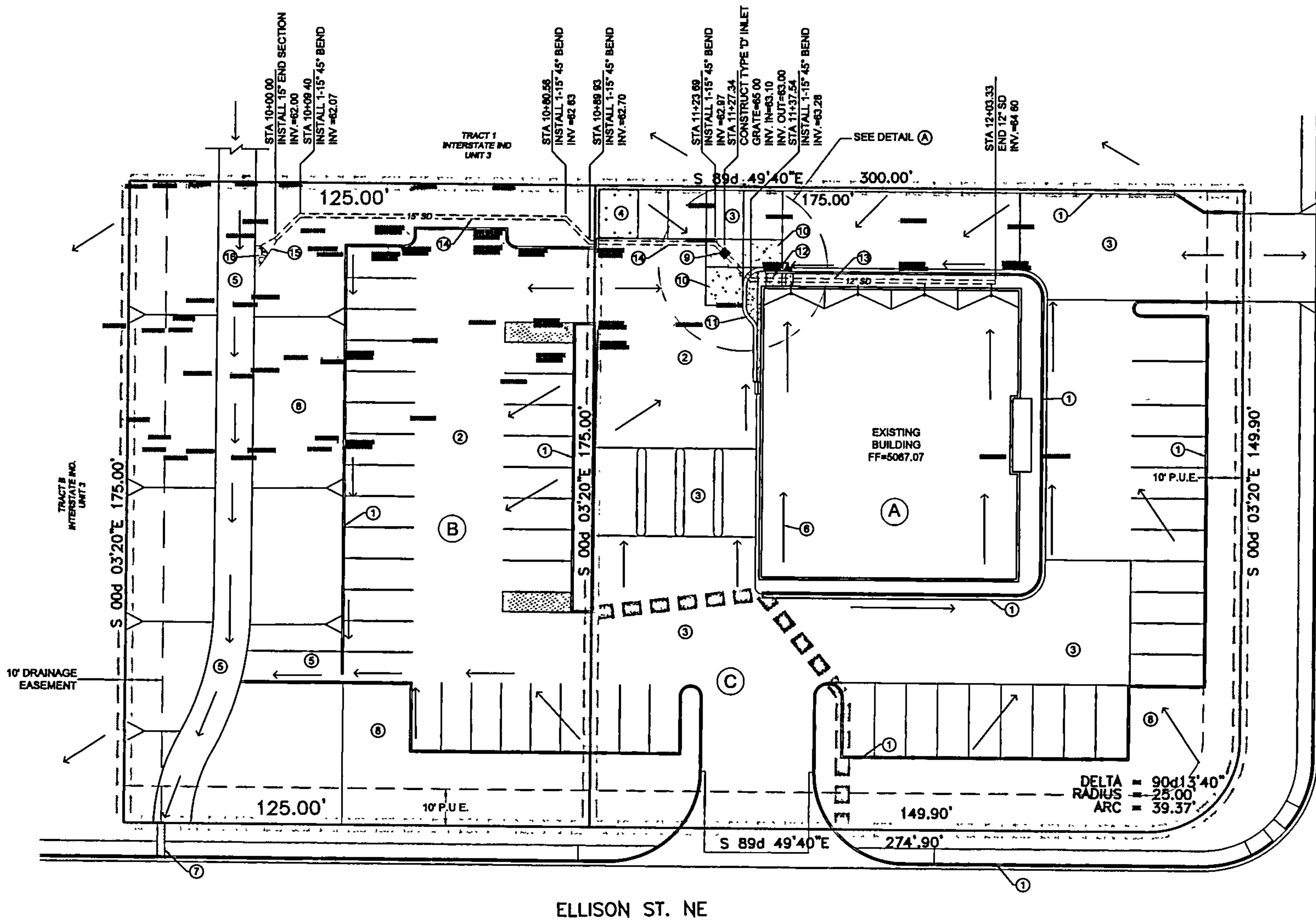
Can you please respond to my email, letting me know that you don't see any reason for permit, based on what I've told you?

Tru (Trula) Howe

Custom Grading, Inc.
PH: 505-897-4225 *133
Cel: 505-321-2722
FX: 505-792-2399

Rec 08 Nov 2013
TS

Please Create
a File - For
Info. Only
Review by Shahab



- DRAINAGE PLAN NOTES**
- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
 - This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
 - Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structures could cause settlement.
 - This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
 - Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
 - BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
 - The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
 - All spot elevations are finished grade or top of pavement, unless noted otherwise.

GRADING AND DRAINAGE PLAN

PURPOSE

The purpose of this Plan is to present a limited drainage study identifying the drainage character of the site for the purpose of mitigating the ponding of excess runoff adjacent to the existing building located at 7101 Jefferson Street NE. Excess storm runoff presently ponds at the northwest building corner, resulting in settlement of the paving materials and cracking of the building exterior. This Plan recommends the construction of an area drain and private storm drain to collect excess storm runoff and convey drainage flows to the existing paved drainage swale located along the west boundary of the site.

EXISTING CONDITIONS

The project site is presently fully developed. The property is owned and operated by Santa Fe Federal Credit Union. Site improvements consist of an existing 5,800 square foot building, and associated site improvements. The site is bounded on the east by Jefferson Street NE, and on the south by Ellison Street NE and north and west by developed light manufacturing properties. Site topography slopes from east to west approximately one-percent (1%).

The site is divided into 3 on-site drainage basins. Basin 'A' represents the area including the building, which presently ponds at the northwest building corner, resulting in settlement of the paving materials and cracking of the building exterior. Basin 'B' is the western portion of the property which largely consists of a parking lot. Flows from Basin 'B' drain west to the paved swale located along the west boundary of the site. The paved swale drains south into Ellison Street. Basin 'C' is a small basin at the south entry that drains directly into Ellison Street. Off-site flows enter the site from the developed properties to the north. A drainage easement is in place for legal conveyance of the off-site flows. All off-site flows drain within the paved swale to Ellison.

PROPOSED IMPROVEMENTS

As shown by the Plan, the project consists of the construction of an area drain and private storm drain to collect excess storm runoff and convey drainage flows to the existing paved drainage swale located along the west boundary of the site. The storm drain will collect runoff from the existing building by connecting the roof drains directly to a new storm drain. An area drain will be constructed at the northwest corner of the building to collect excess runoff that presently ponds at that location. The storm drain will outlet at the existing paved drainage swale located along the west boundary of the site. All runoff from the site and contributing off-site areas drains to Ellison Street.

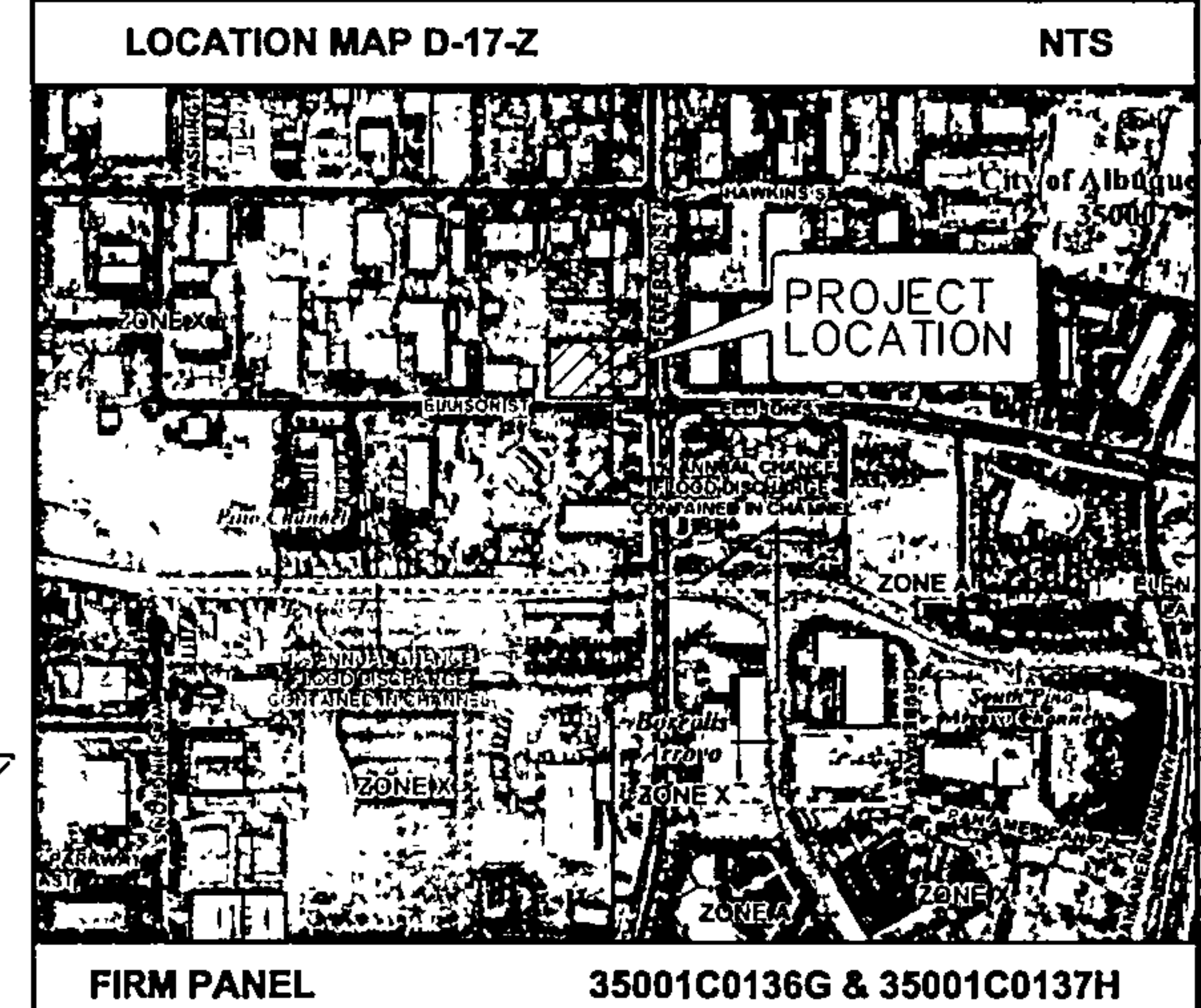
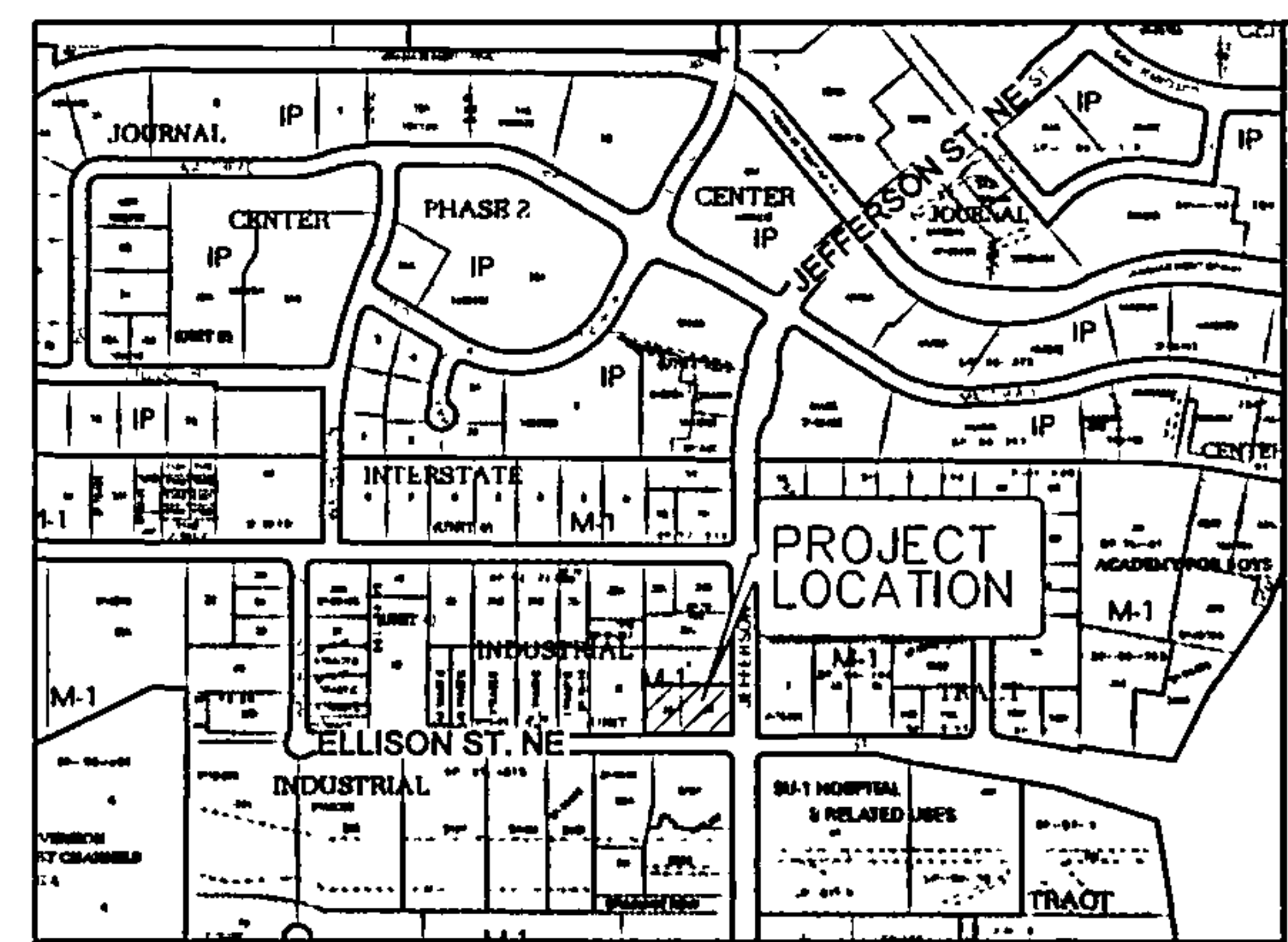
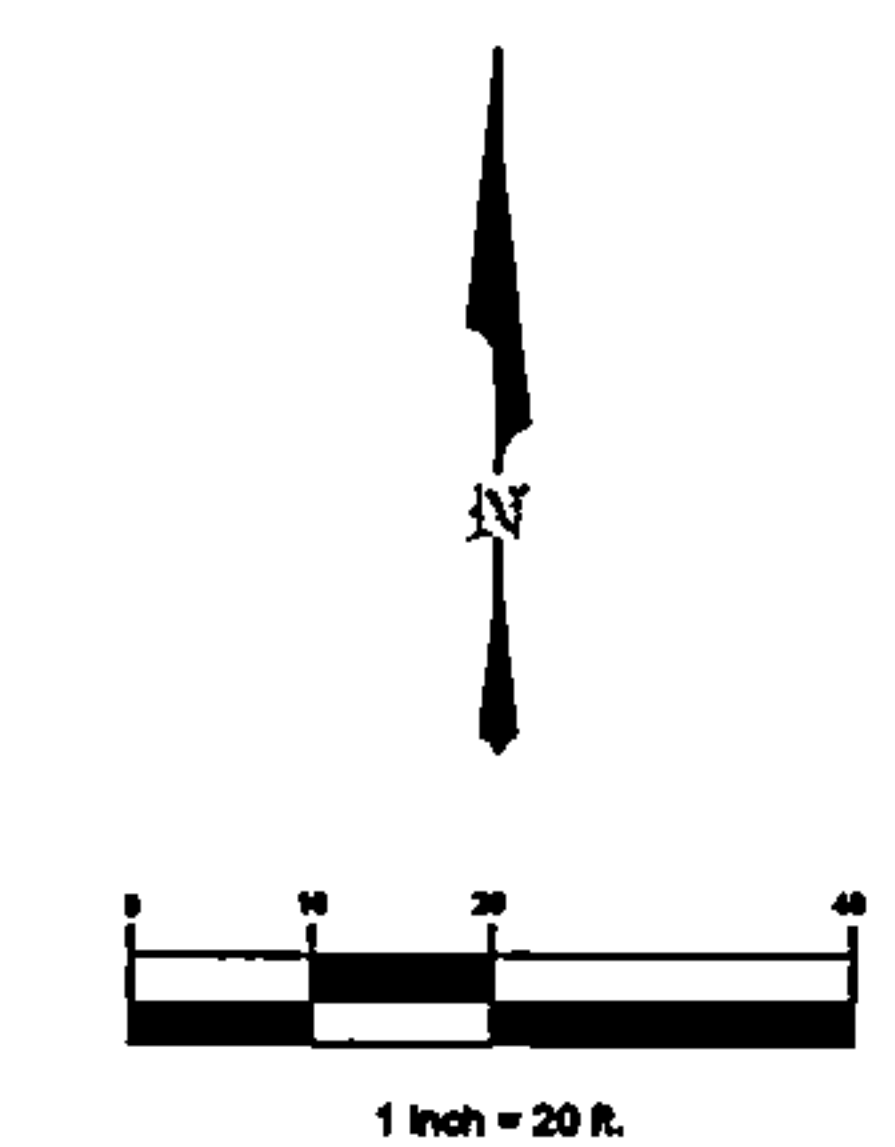
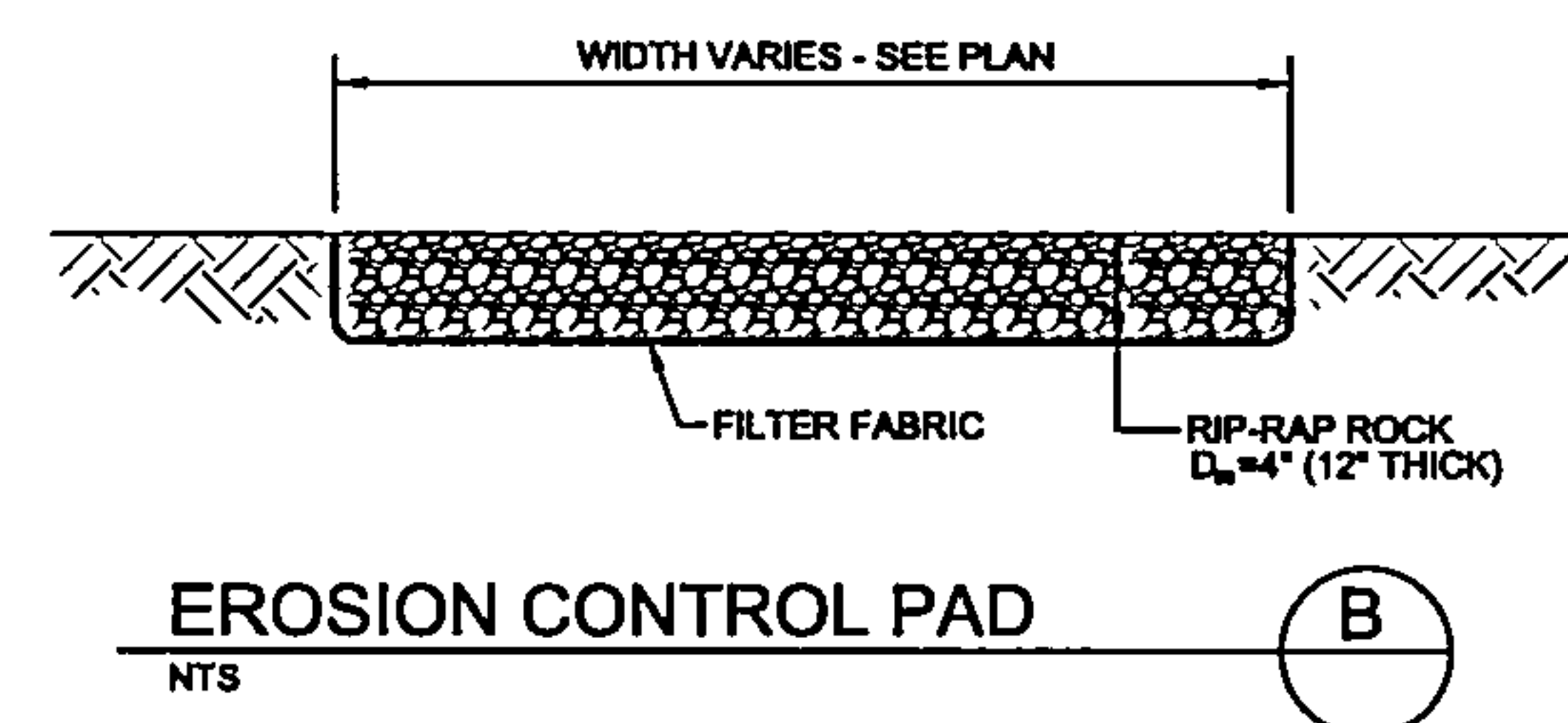
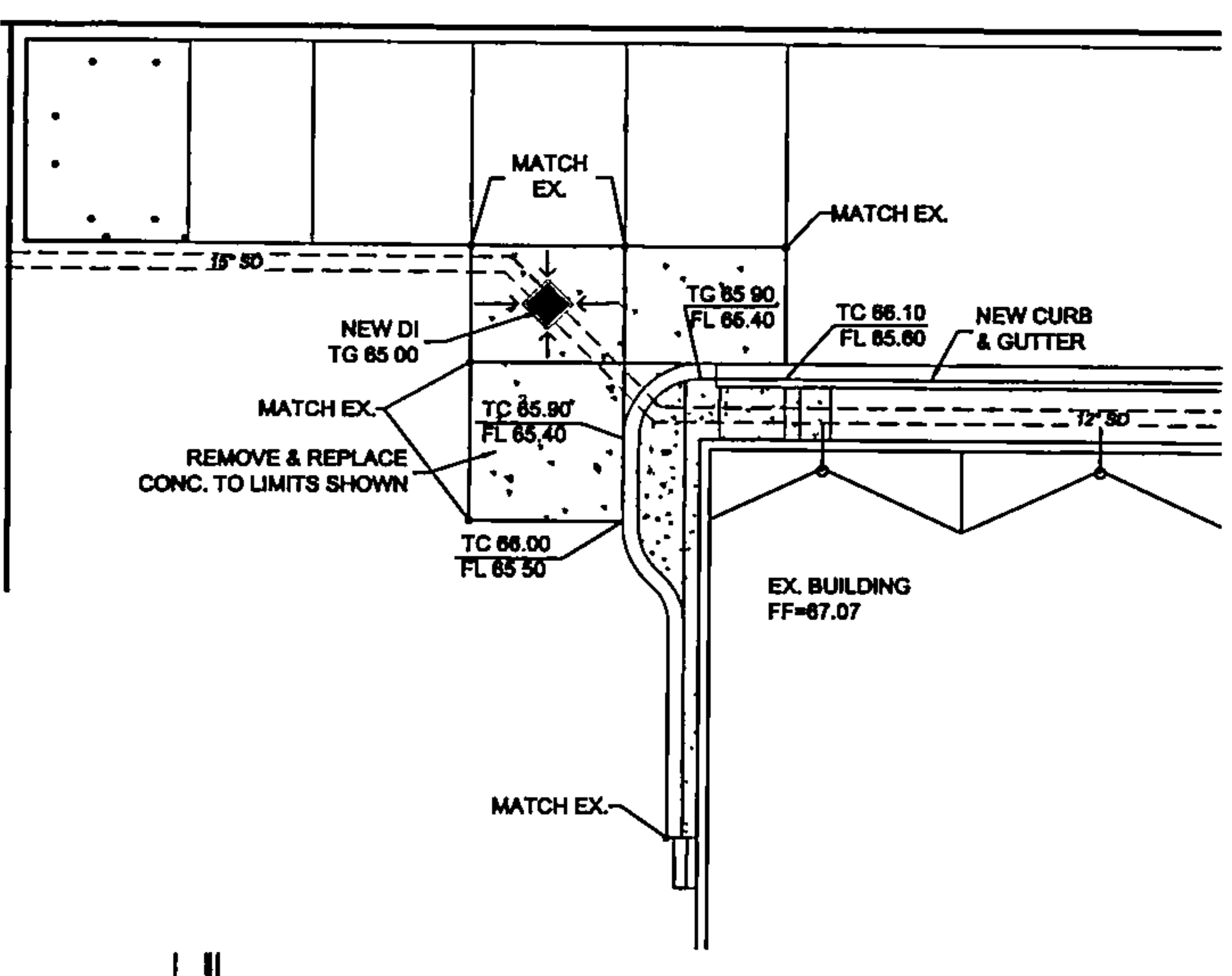
As shown by the AHYMO calculations, no additional runoff will be generated as a result of this project.

Since construction will disturb an area of less than 1.0 acres, a Storm Water Pollution Prevention Plan should not be required.

CALCULATIONS

The calculations shown hereon define the 100-year flood hour design storm falling within the project area under existing and proposed conditions. The hydrology is per Section 22.2, Part A, Development Process Manual, Vol. 2, dated June 1987

PROJECT HYDROLOGY									
AHYMO									
ZONE	2								
PER HOUR	2.35								
P 10 DAY	3.95								
EXISTING									
BASIN	AREA (ac)	A (ft)	B (ft)	C (ft)	D (ft)	E	Q (cfs)	VOL (ac ft)	
SITE	1.20	0.00	0.00	0.35	0.85	1.83	5.09	0.183	
A	0.61	0.00	0.00	0.08	0.53	1.99	2.74	0.101	
B	0.50	0.00	0.00	0.25	0.25	1.83	1.96	0.068	
C	0.09	0.00	0.00	0.02	0.07	1.90	0.39	0.014	
PROPOSED									
SITE	1.20	0.00	0.00	0.35	0.85	1.83	5.09	0.183	
A	0.61	0.00	0.00	0.08	0.53	1.99	2.74	0.101	
B	0.50	0.00	0.00	0.25	0.25	1.83	1.96	0.068	
C	0.09	0.00	0.00	0.02	0.07	1.90	0.39	0.014	



LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER	=====	=====
CURB ELEVATIONS	-----	-----
SPOT ELEV.	x 16.7	o 16.7
STORM DRAIN	---SD---	---SD---
EASEMENT		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
FLOWLINE ELEV	EX FL 16.2	FL 16.2
PAVING	[Pattern]	[Pattern]
DRAINAGE SWALE	[Pattern]	[Pattern]
DIRECTION OF FLOW	←	←
CONCRETE PAVEMENT	[Pattern]	[Pattern]
DRAINAGE BASIN DIVIDE	[Pattern]	[Pattern]

- KEYED NOTES**
- EXISTING CONCRETE CURB
 - EXISTING ASPHALT PAVEMENT
 - EXISTING CONCRETE PAVEMENT
 - EXISTING REFUSE ENCLOSURE
 - EXISTING ASPHALT SWALE
 - DIRECTION OF ROOF DRAINAGE
 - EXISTING 24 INCH SIDEWALK CULVERT
 - EXISTING LANDSCAPING
 - CONSTRUCT NEW TYPE 'D' INLET PER COA STD DWG 2208
 - REMOVE AND REPLACE CONCRETE PAVEMENT TO LIMITS SHOWN. TO PROVIDE POSITIVE DRAINAGE TO NEW INLET
 - REMOVE EXISTING CONCRETE CURB AND SIDEWALK. REPLACE WITH CURB AND GUTTER AND SIDEWALK TO LIMITS SHOWN.
 - REMOVE AND REPLACE STEPS.
 - INSTALL NEW 12 INCH PVC STORM DRAIN. CONNECT EXISTING DOWNSPOUTS TO NEW STORM DRAIN.
 - CONSTRUCT NEW 15 INCH PVC STORM DRAIN
 - INSTALL NEW 15 INCH CMP END SECTION.
 - INSTALL RIP RAP EROSION CONTROL PAD. SEE DETAIL 'B'.

PROJECT DATA

SITE MAPPING:
TOPOGRAPHIC AND IMPROVEMENT MAPPING
BY HARRIS SURVEYING, INC. MAY 2013

PROPERTY ADDRESS:
7101 JEFFERSON NE, ALBUQUERQUE, NEW MEXICO 87109

LEGAL DESCRIPTION:
LOTS 2A & 2B, INTERSTATE INDUSTRIAL, UNIT 3

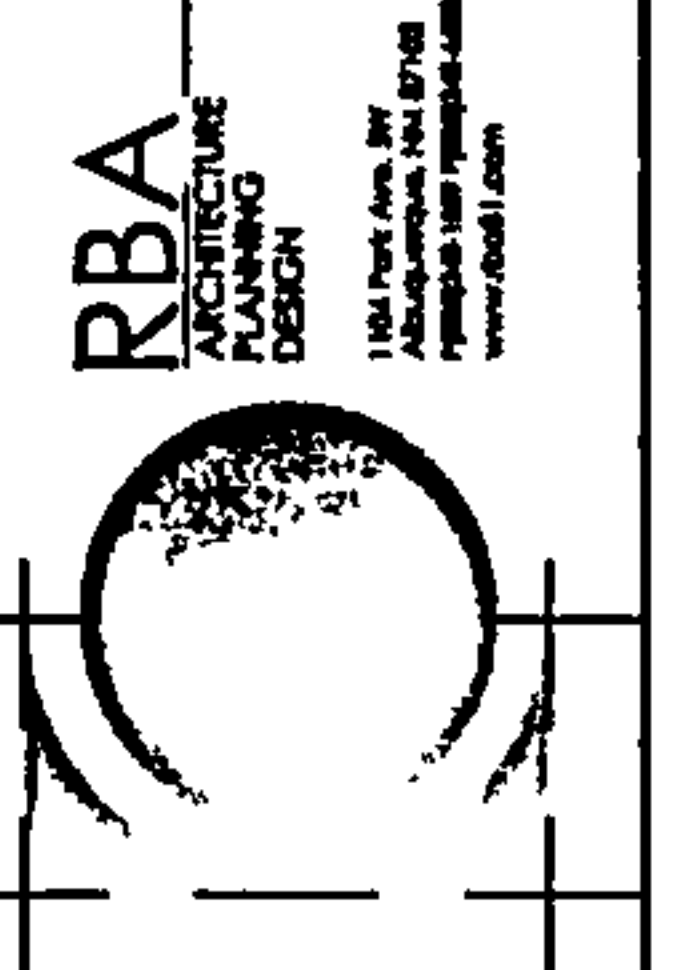
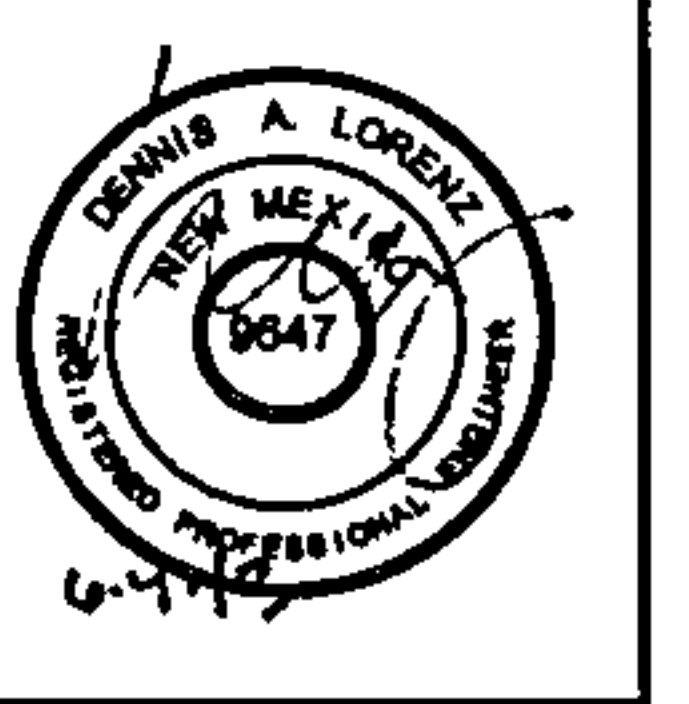
PROJECT BENCHMARK:
BUILDING FINISHED FLOOR - ELEVATION=5067.07 FEET.

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE, Bldg. 1, Suite 1200
Albuquerque, NM 87109
Phone: (505) 882-8000 Fax: (505) 882-8188



SANTA FE FEDERAL CREDIT UNION
GRADING AND DRAINAGE PLAN
ALBUQUERQUE, NEW MEXICO

REVISION DATE



DATE
04/06/2013

SHEET NUMBER
C.1

CITY OF ALBUQUERQUE



July 3, 2013

Dennis Lorenz, P.E.
Brasher & Lorenz, Inc.
2207 San Pedro NE, Building 1, Suite 1200
Albuquerque, NM 87110

Re: Santa Fe Federal Credit Union, 7101 Jefferson Street NE, Grading and Drainage Plan, Engineer's Stamp dated 06-04-2013 (D-17/D017)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 06-06-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Please quantify the offsite flows from the parking lot to the north of your project and include these flows in the drainage calculations for the existing sidewalk culvert; if over capacity address how these flows will be accommodated.
- Add a note to extend the culvert and culvert plate two feet back from the property line and to tack weld the bolts to the steel plate.
- Clarify if the existing swale is completely asphalt lined. Satellite imagery shows a significant amount of sediment in this channel.
- If the sidewalk culvert is altered please provide both an invert elevation and flowline elevations within Ellison Street.

PO Box 1293

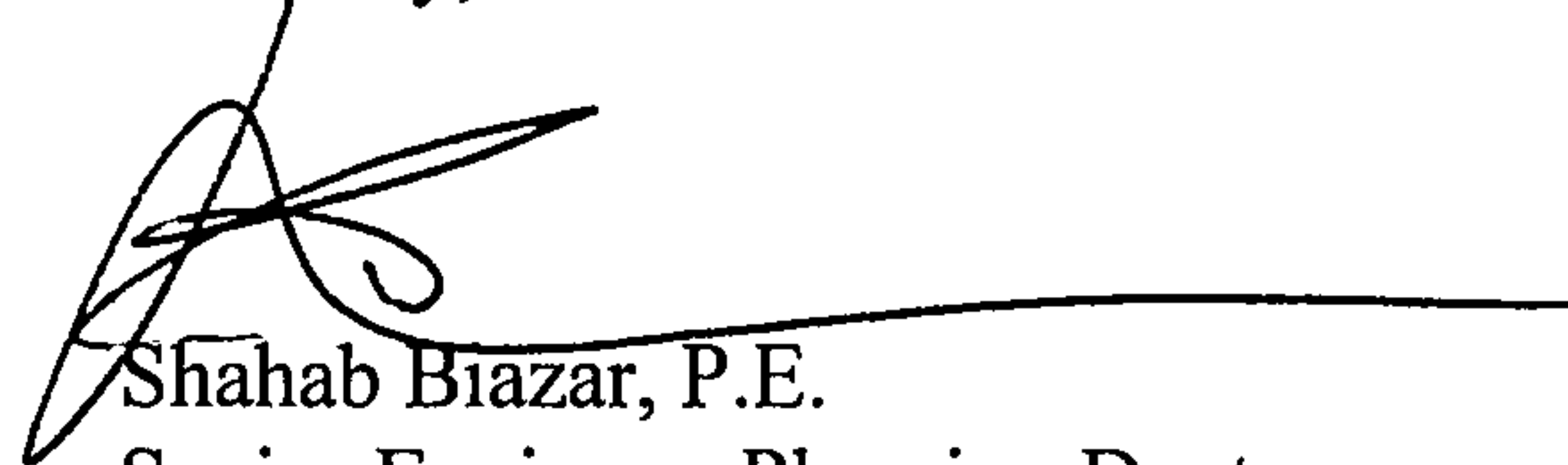
Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Email

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: SANTA FE FEDERAL CREDIT UNION ZONE MAP: D-17 D017
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 2A & 2B, INTERSTATE INDUSTRIAL, UNIT 3
 CITY ADDRESS: 7101 JEFFERSON STREET NE

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: DENNIS LORENZ
 ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1200 PHONE: 888-6088
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: SANTA FE FEDERAL CREDIT UNION CONTACT: UNKNOWN
 ADDRESS: 7101 JEFFERSON STREET NE PHONE: 345-6450
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

ARCHITECT: RICK BENNETT ARCHITECTS CONTACT: R. BENNETT
 ADDRESS: 1104 PARK AVE. SW PHONE: 242-1859
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87103

SURVEYOR: HARRIS SURVEYING CONTACT: T. HARRIS
 ADDRESS: 2412-D MONROE NE PHONE: 889-8056
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

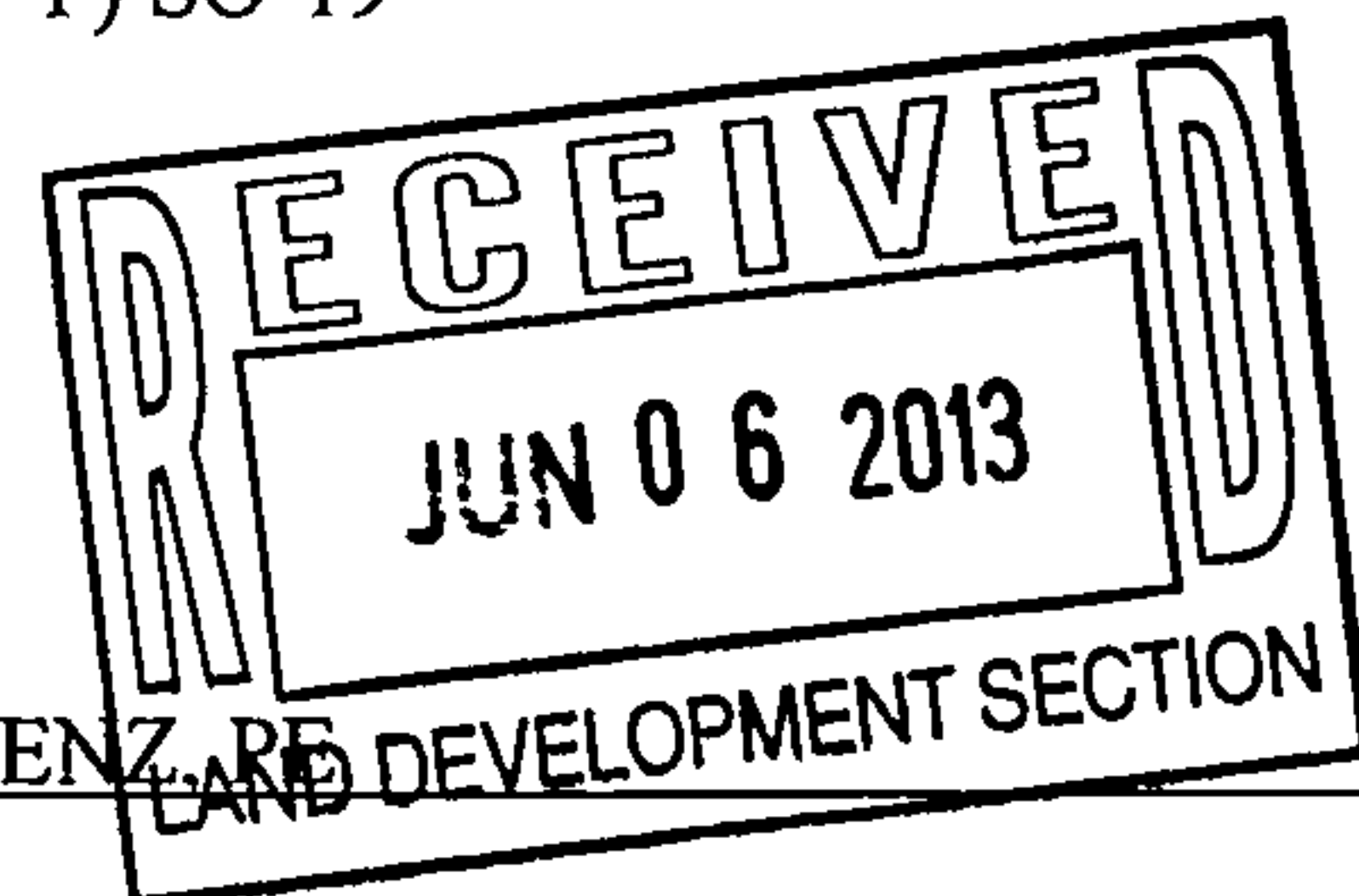
CONTRACTOR: UNKNOWN CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - GRADING CERTIFICATION
 - OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

\$ 50⁰⁰



DATE SUBMITTED: 6.6.13 BY: DENNIS A. LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

**SUPPLEMENTAL CALCULATIONS
FOR
SANTA FE FEDERAL CREDIT UNION**

ALBUQUERQUE, NEW MEXICO

Prepared For:

Rick Bennett Architects
1104 Park Avenue SW
Albuquerque, New Mexico 87103



Prepared by:

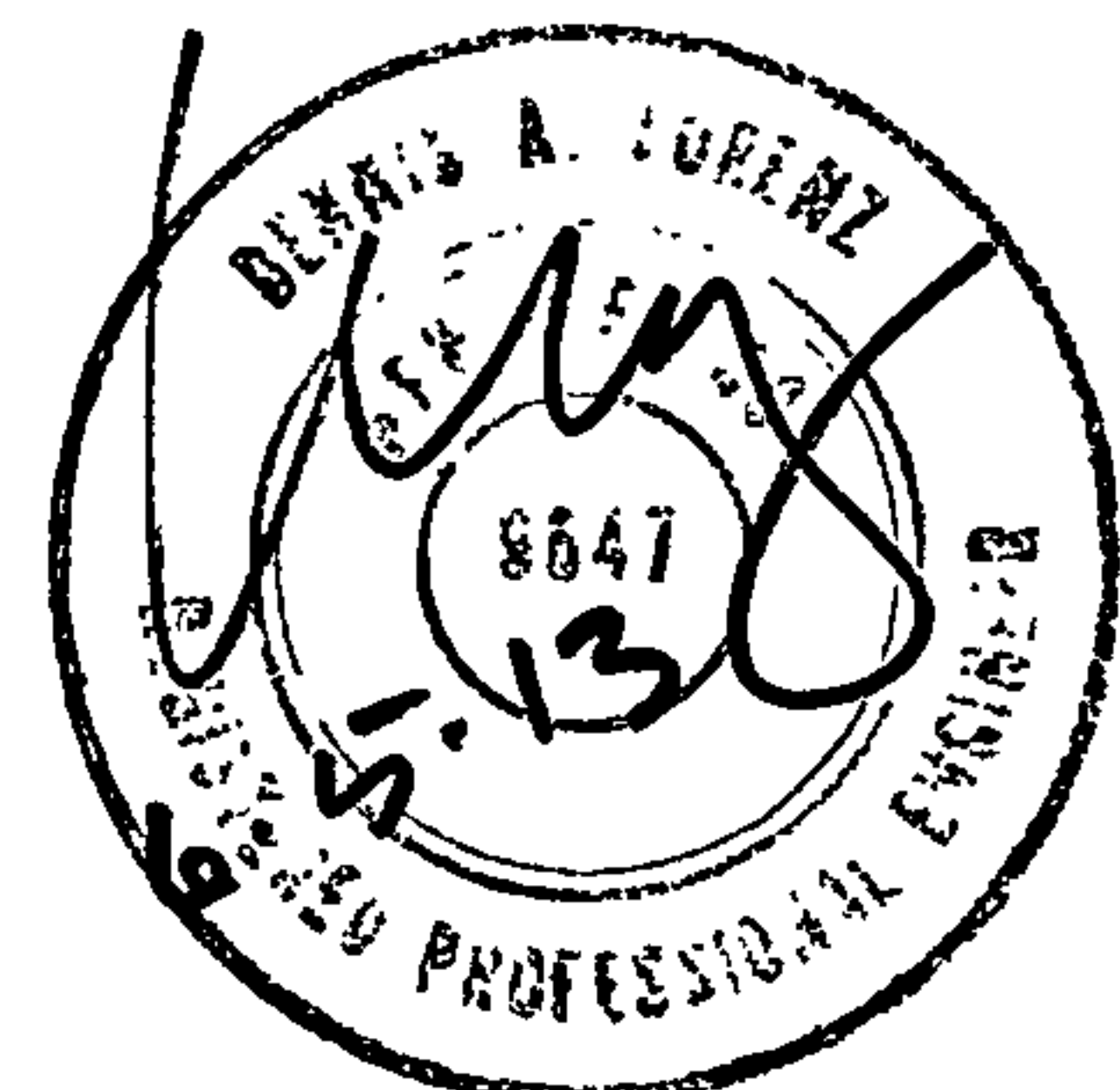


BRASHER AND LORENZ, INC.

Engineers • Surveyors

2201 San Pedro NE, Building 1, Suite 1200
Albuquerque, New Mexico 87110

June 2013

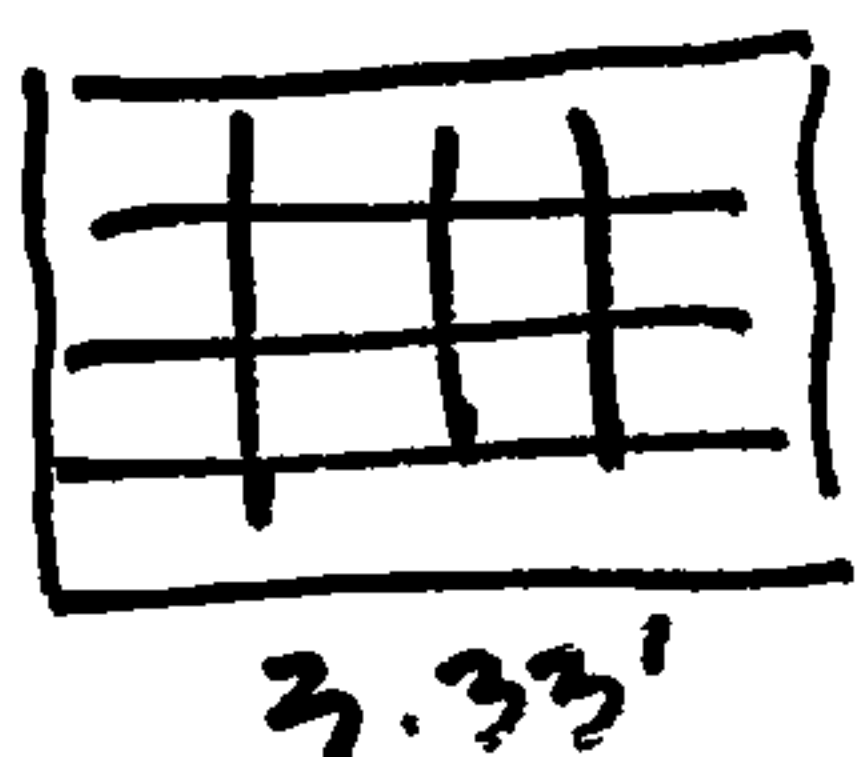




① AREA DRAIN CAPACITY
USE CON TYPE 'D' INLET

$$Q_{100} = 2.74 \text{ CFS}$$

CHECK GRATE IN SUMP



$$P = L = 2(2.33) + 2(3.33) = 10.83'$$

$$\text{OPEN } A = 4.31 \text{ SF}$$

(A) CHECK BY WEIR:

$$Q = CLH^{3/2} \quad C = 2.5$$

$$L = 10.83'$$

$$Q = 2.74 \text{ CFS}$$

$$\Rightarrow H_{\text{MAX}} = 0.22'$$

$$= 2.6'' \quad \checkmark$$

(B) CHECK BY ORIFICE

$$Q = CA\sqrt{2gh} \quad C = 0.6$$

$$A = 4.31$$

$$Q = 2.74 \text{ CFS}$$

$$\Rightarrow H_{\text{MAX}} = 0.02' \quad \checkmark$$

② STORM DRAIN CAPACITY.

$$Q_{100} = 2.74 \text{ CFS}$$

BY MANNINGS:

$$15'' \text{ PVC } n = 0.013$$

$$s = 0.7\%$$

$$Q_{15''} = 5.43 \text{ CFS } \checkmark$$

$$FS = 5.43 / 2.74 = 1.98$$





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 30, 2002

Jeff Mortensen
Jeff Mortensen & Associates
6010B Midway Park Blvd.
Albuquerque New Mexico 87109

**RE: Grading and Drainage Plan for Santa Fe Federal Credit Union Parking Lot
Expansion (D17-D17) Dated August 7, 2002**

Dear Mr. Mortensen:

The above referenced drainage plan received August 8, 2002 is approve for Grading and Paving Permit. Upon completion of the project please certify the project per the DPM. The offsite flows from the north are shown on the drainage plan, however the private drainage easement is located in a different location. I would recommend to the owner to correct this situation. Also, I am assuming that this easement is only for private and not public flows. If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 9, 1994

Fred Arfman
Isaacson & Arfman
128 Monroe St. NE
Albuquerque, NM 87108

RE: DRAINAGE PLAN FOR SANTA FE FEDERAL CREDIT UNION (D17-D17)
ENGINEER'S STAMP DATED 3/11/93, RECEIVED 3/12/93.

Dear Mr. Arfman:

First of all, let me apologize for the inconvenience you have experienced because of the delay of the approval letter that you were promised back on March 1993.

After receiving concurrence from Mr. Jurgensen of Arroyo Maintenance that the downstream channel had been cleaned, I advised Mr. Curtin from our office that he could approve the drainage plan. Due to a break down in communication between personnel in our office, the approval letter was never written and sent to you.

This letter will serve as official approval for the above referenced site.

It is my understanding from Mr. Curtin that engineer Certification would have been required. Therefore, prior to Certificate of Occupancy, Engineer Certification per the D.P.M. will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/7629

c: Inspector
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 15, 1994

Fred Arfman
Isaacson & Arfman
128 Monroe St. NE
Albuquerque, NM 87108

RE: ENGINEER CERTIFICATION FOR SANTA FE FEDERAL CREIT UNION (D17-D17)
CERTIFICATION STATEMENT DATED 3/2/94.

Dear Mr. Arfman:

Based on the information provided on your March 2, 1994 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/7629

c: Andrew Garcia
File