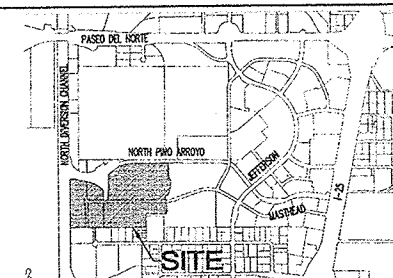
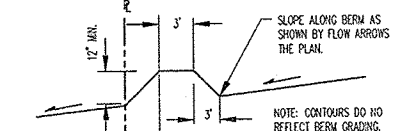


GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER THE DETAIL ON THIS SHEET AND SETTING THE SOIL TO KEEP IT FROM BLOWING AS PER THE EROSION CONTROL DETAIL THIS SHEET.
5. ALL STREET ELEVATIONS ARE TOP OF CURB UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATIONS.



VICINITY MAP
ZONE ATLAS ZONE INDEX MAP NO. D-17-Z



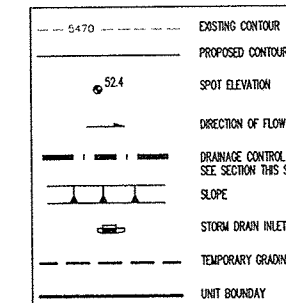
DRAINAGE CONTROL BERM SECTION
NTS

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION," AS PROVIDED BY THE OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
7. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS OTHER AREAS SHALL BE +/- 0.25'.

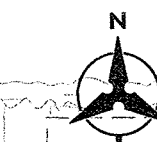
APPROVED FOR ROUGH GRADING

LEGEND

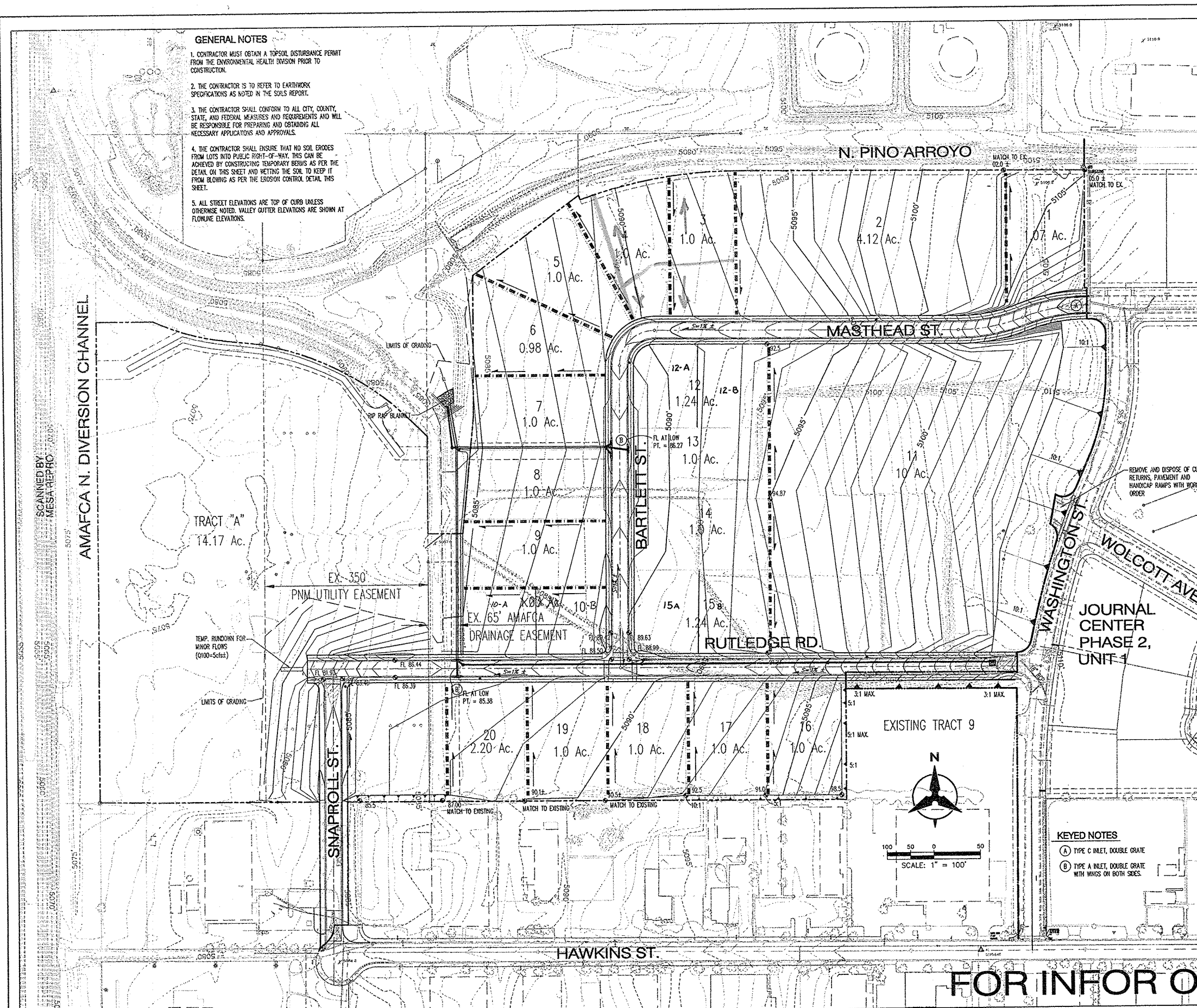


KEYED NOTES

- A TYPE C INLET, DOUBLE GRATE
- B TYPE A INLET, DOUBLE GRATE WITH WINGS ON BOTH SIDES



SCALE: 1" = 100'



AS-BUILT INFORMATION	
CONTRACTOR	FRANKS
DATE	12/1
BY	ALS
DATE	12/1
REVISION	ALS
DATE	12/1
REVISION	ALS
DATE	12/1
REVISION	ALS
DATE	12/1

BENCH MARKS	
ACS Bress "MA-9"	
Y=1,519.208.37 X=84,263.317	
C=0.0000000000000000	
DATE	
BY	
NO.	

SURVEY INFORMATION	
DATE	
BY	
NO.	

ENGINEER'S SEAL	
DATE	
BY	
NO.	

REVISIONS	
DATE	
BY	
NO.	

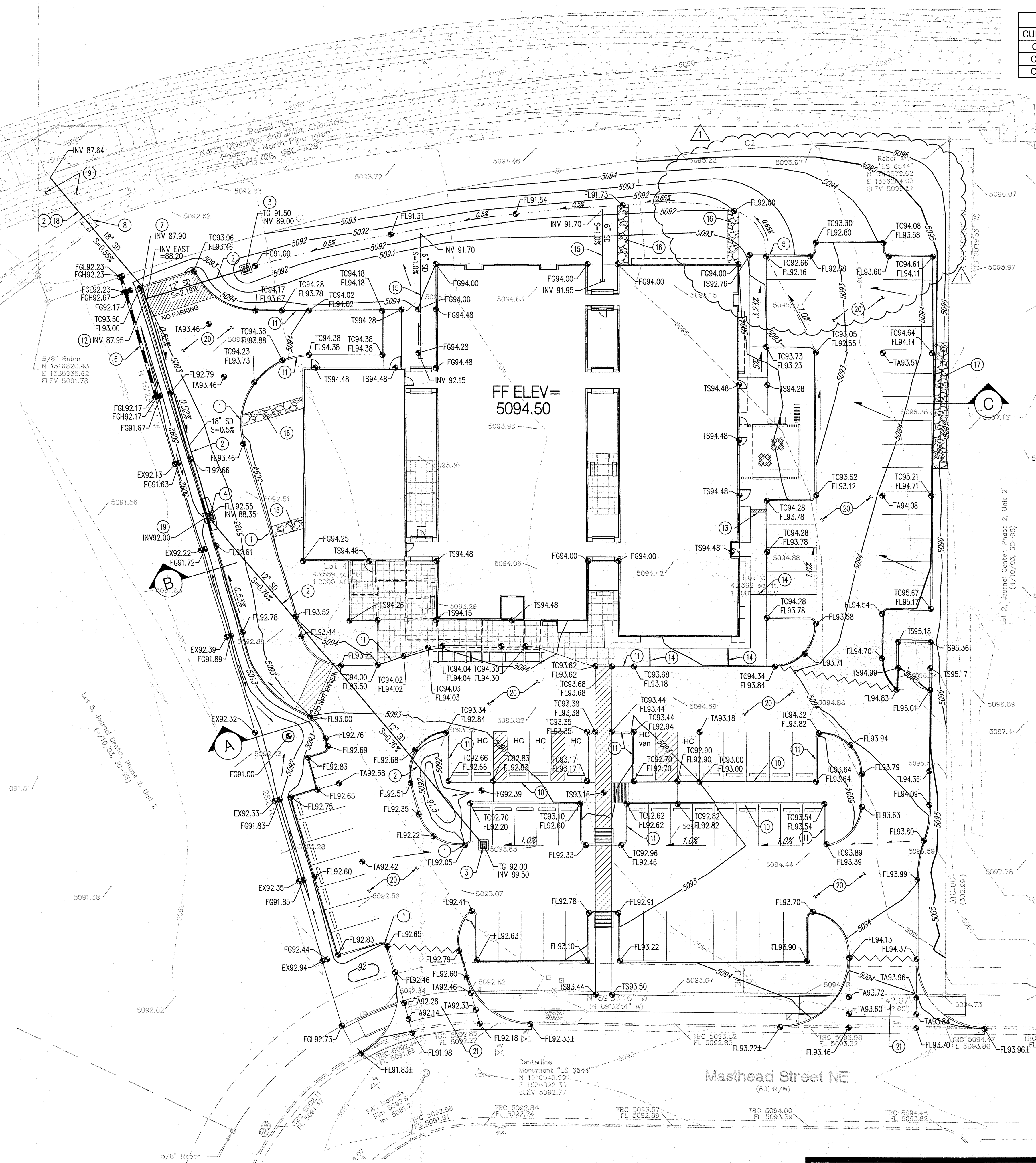
Bohannon & Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
JOURNAL CENTER-PHASE 2
UNIT II: GRADING PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
651783	D-17	3	24

FOR INFO ONLY



PROPERTY BOUNDARY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	987.76'	192.00'	11°08'13"	N 75°36'40" E	191.69'
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PROPERTY BOUNDARY LINE TABLE		
LINE	LENGTH	BEARING
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L2	9.94	S 19°55'19" E
L3	27.14	N 89°33'16" W

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- PROPOSED SPOT ELEVATION
TO-TOP OF CURB, FL=FLOW LINE
TS-TOP OF SIDEWALK
EX=EXISTING, FG=FINISHED GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB
- EASEMENT

GRADING KEYED NOTES

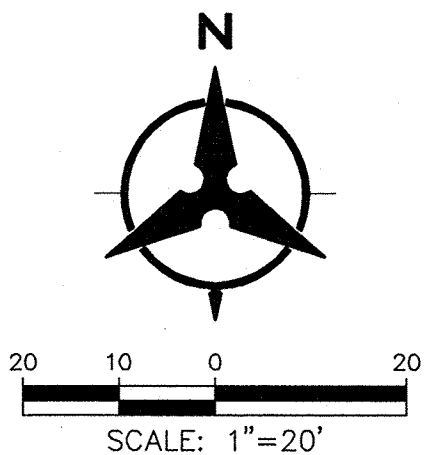
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- INSTALL STORM DRAIN. SEE PLAN FOR SIZE, SLOPE & INVERT ELEVATIONS.
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- INSTALL TYPE 'C' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
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- BUILD SEGMENTAL RETAINING WALL AT PROPERTY LINE.
- INSTALL 22.5' PRE-FABRICATED BEND.
- SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL FOR INSTALLATION OF NEW STORM DRAIN. MATCH EXISTING. SEE DETAIL ON SHEET C3.0.
- SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL & HEADER CURB AT TOP OF CHANNEL. SEE AMAFCA STD DETAILS 102 & 104 FOR RCP CHANNEL PENETRATION.
- INSTALL FLUSH CURB.
- TRANSITION FROM FLUSH CURB TO 6" CURB.
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- INSTALL 8" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 3" SCHEDULE 40 PVC PIPE THROUGH CURB.
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- INSTALL CRUSHED ROCK DRAINAGE SWALE. SEE SECTION 'D' ON SHEET C3.0 FOR DETAILS.
- INSTALL 4"-6" CRUSHED ROCK, 12" DEEP, IN AREAS GREATER THAN 3:1 SLOPE. PLACE OVER FILTER FABRIC.
- ALL STORM DRAIN PIPE WITHIN AMAFCA RIGHT OF WAY SHALL BE RCP.
- INSTALL 6" DIA PVC SLEEVE THROUGH BACK OF INLET BOX.
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- PROVIDE PEDESTRIAN ROUTE ACROSS DRIVEWAY. 6' WIDE BY 2% CROSS SLOPE (MAX.)

LEGAL DESCRIPTION

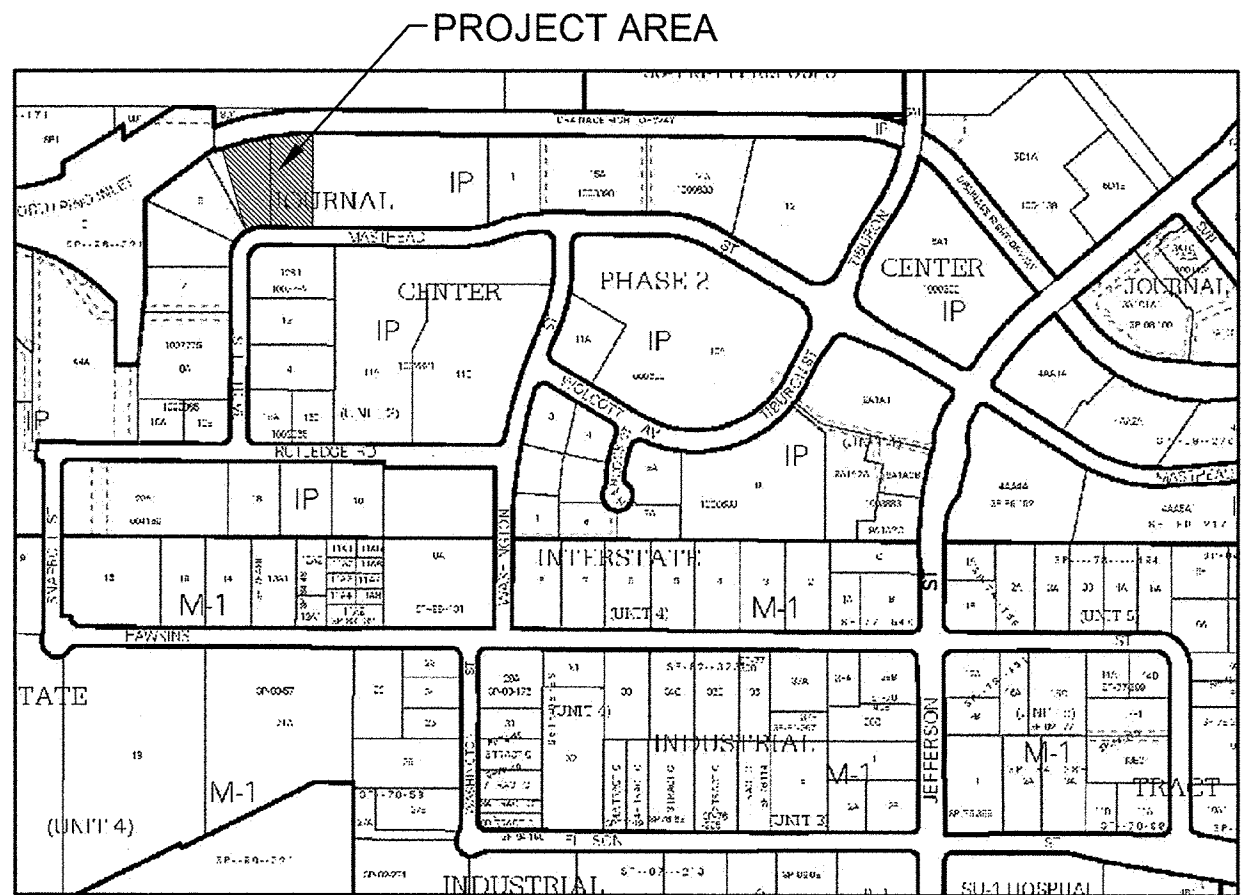
LOT 3A JOURNAL CENTER PHASE 2 UNIT 2

SITE ADDRESS

3821 MASTHEAD NE
ALBUQUERQUE, NM 87109



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VICINITY MAP
ZONE ATLAS PAGE D-17-Z

GENERAL NOTES

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- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

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- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

Date Issue

2/2/12 REVISED GRADING DUE TO SITE PLAN REVISION

FEBRUARY 2, 2012

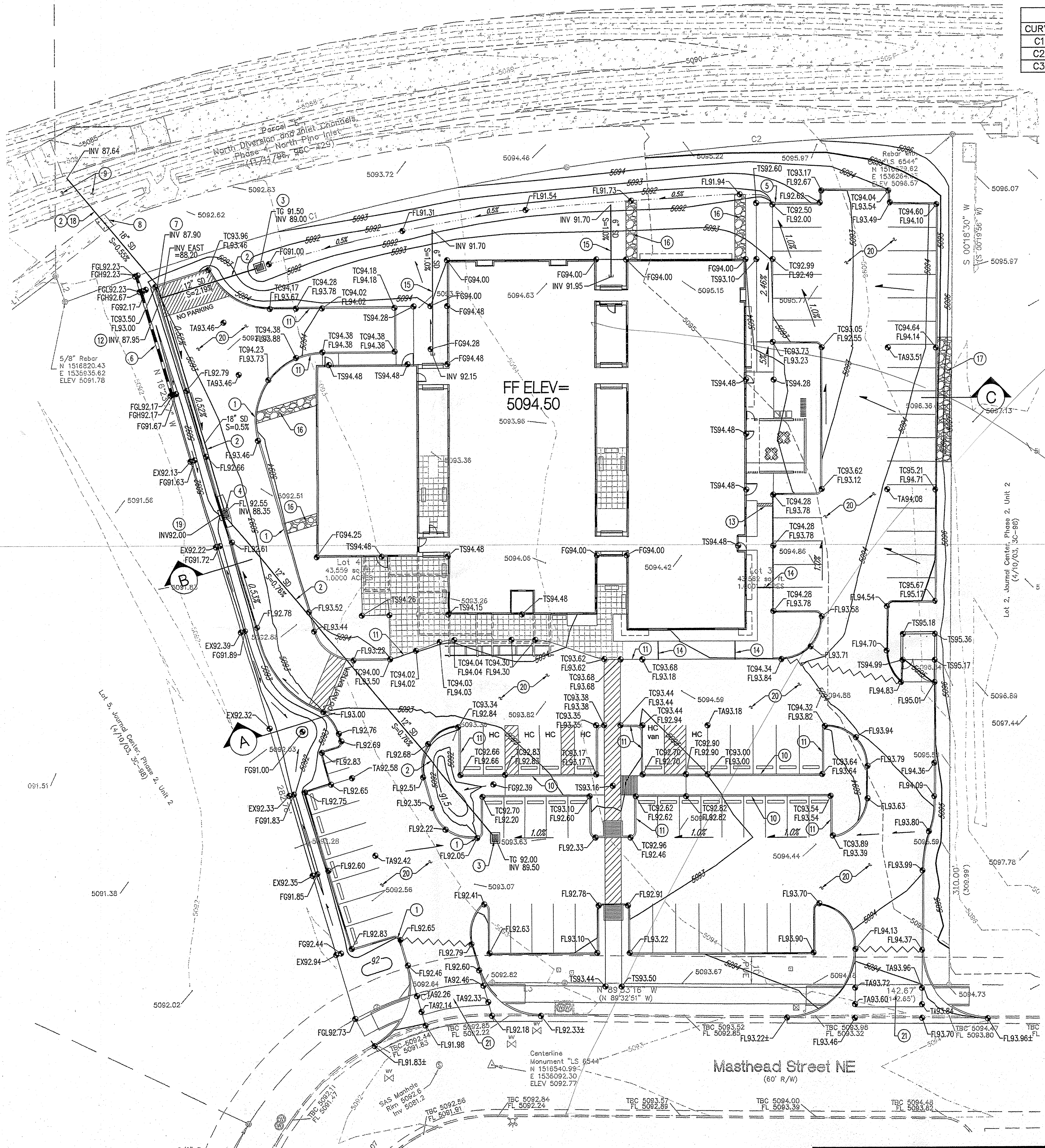
Bohannon & Huston

C1.0
Grading Plan

218 girard s.e., albuquerque nm 87106
ph (505) 255-4033 fx (505) 266-0251
dnca

Renal Medicine Associates Clinic
Journal Center
Albuquerque, New Mexico





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 - EXISTING GROUND SPOT ELEVATION
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GRADING KEYED NOTES

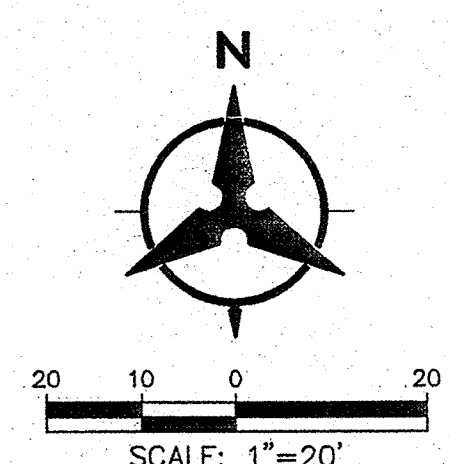
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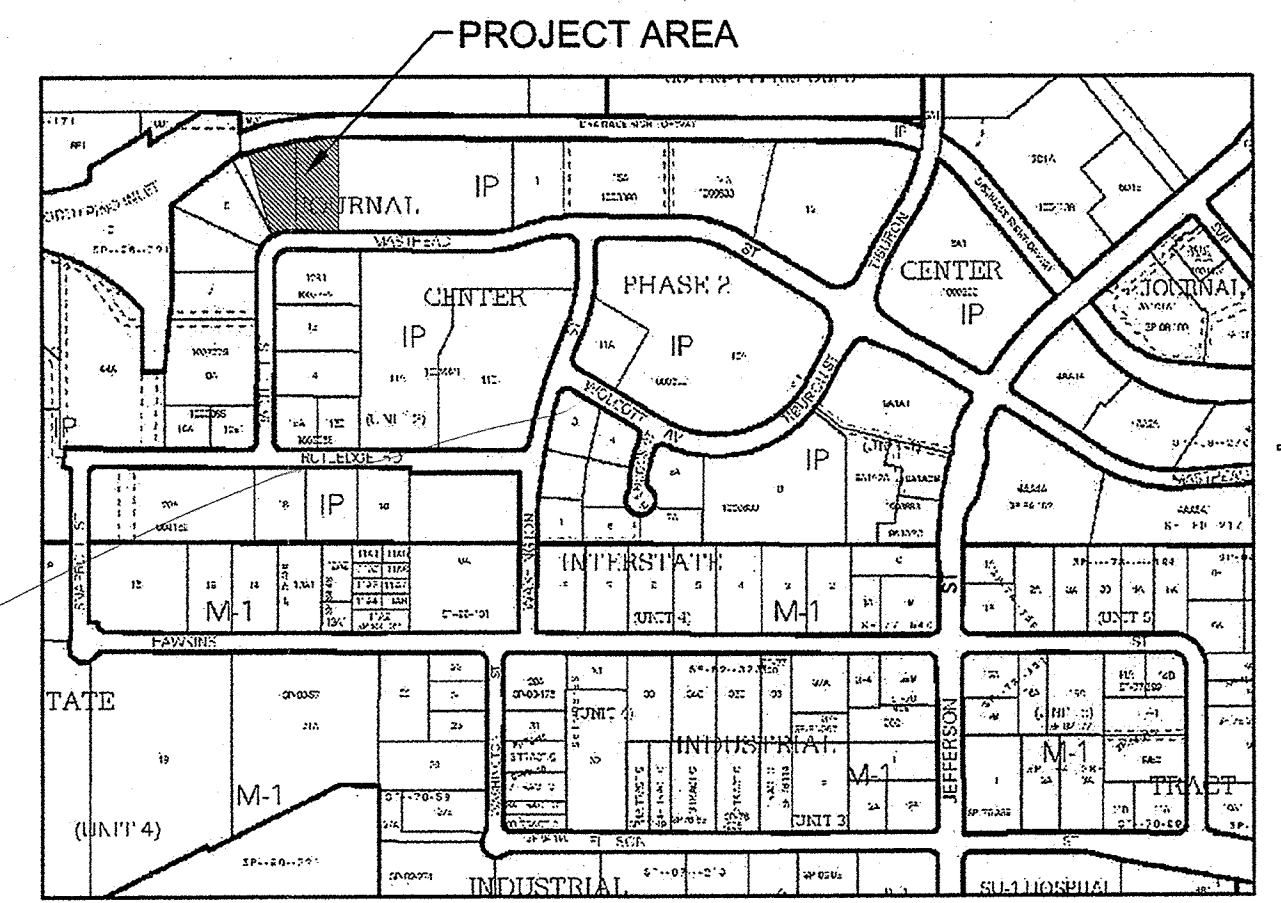
LOT 3A JOURNAL CENTER PHASE 2 UNIT 2

SITE ADDRESS

3821 MASTHEAD NE
ALBUQUERQUE, NM 87109



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VICINITY MAP
ZONE ATLAS PAGE D-17-Z

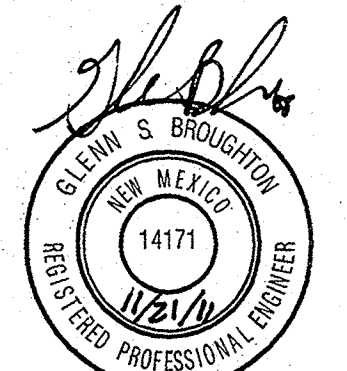
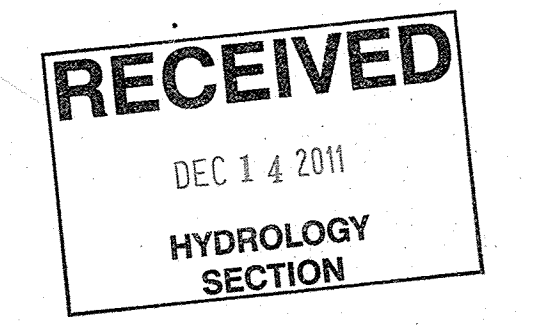
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- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

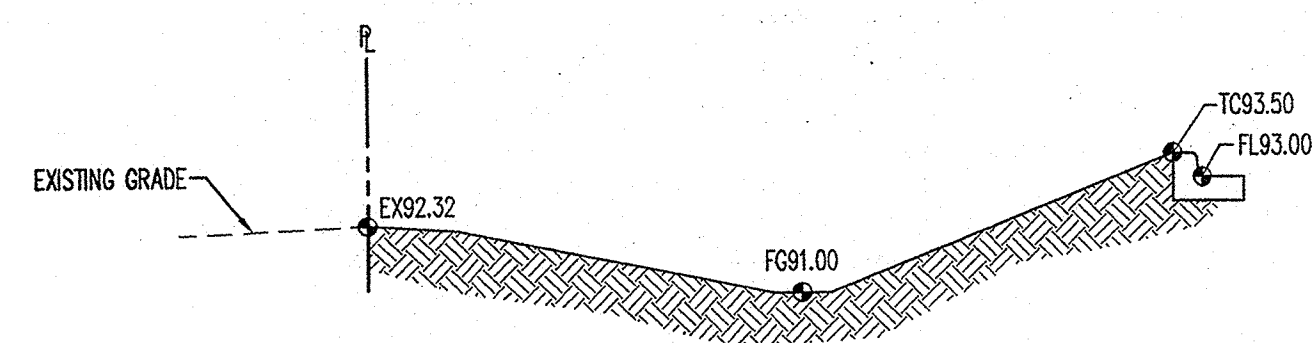
Date _____ Issue _____



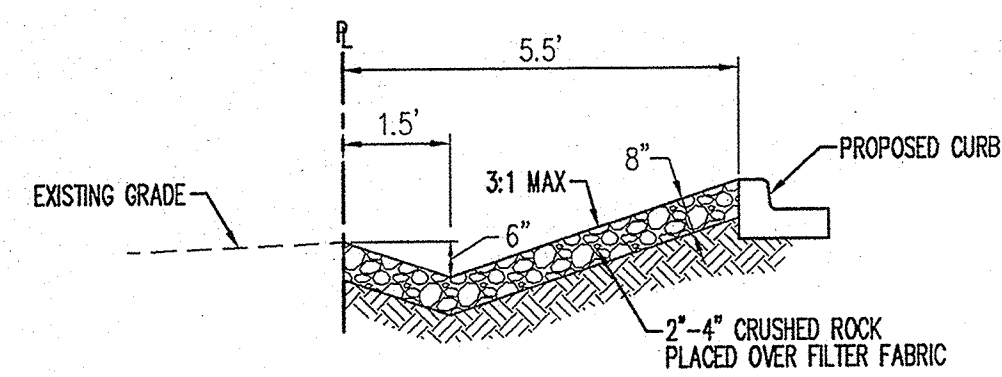
Replaced w/ new grading Plan
Engineer stamp date 2-12-12 gsh
Bohannon & Huston
November 10, 2011
C1.0
Conceptual Grading Plan

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dnca

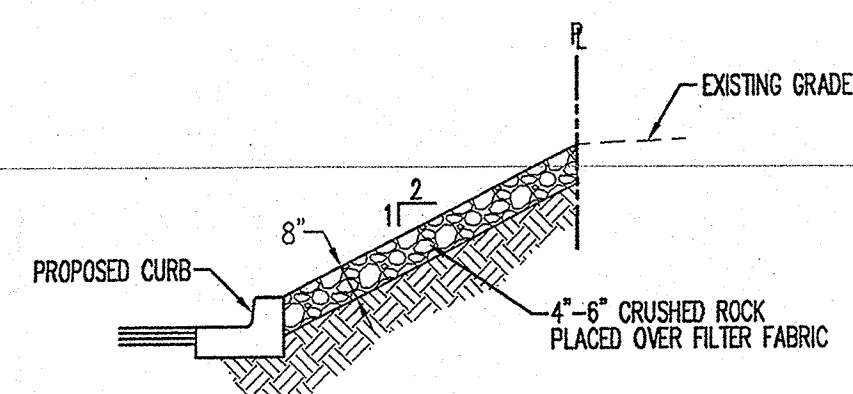
218 girard s.e., albuquerque nm. 87106
ph (505) 255-4033 fx (505) 266-0251



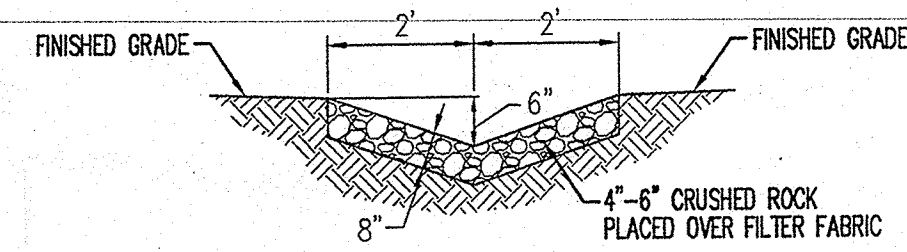
SECTION A
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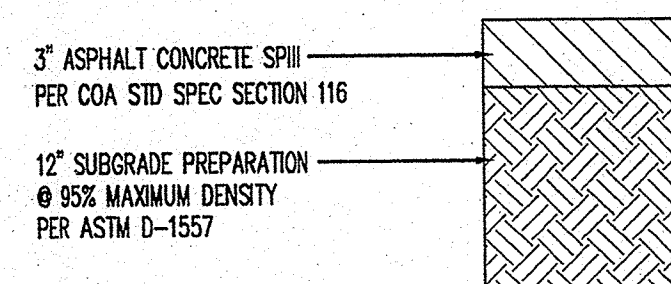
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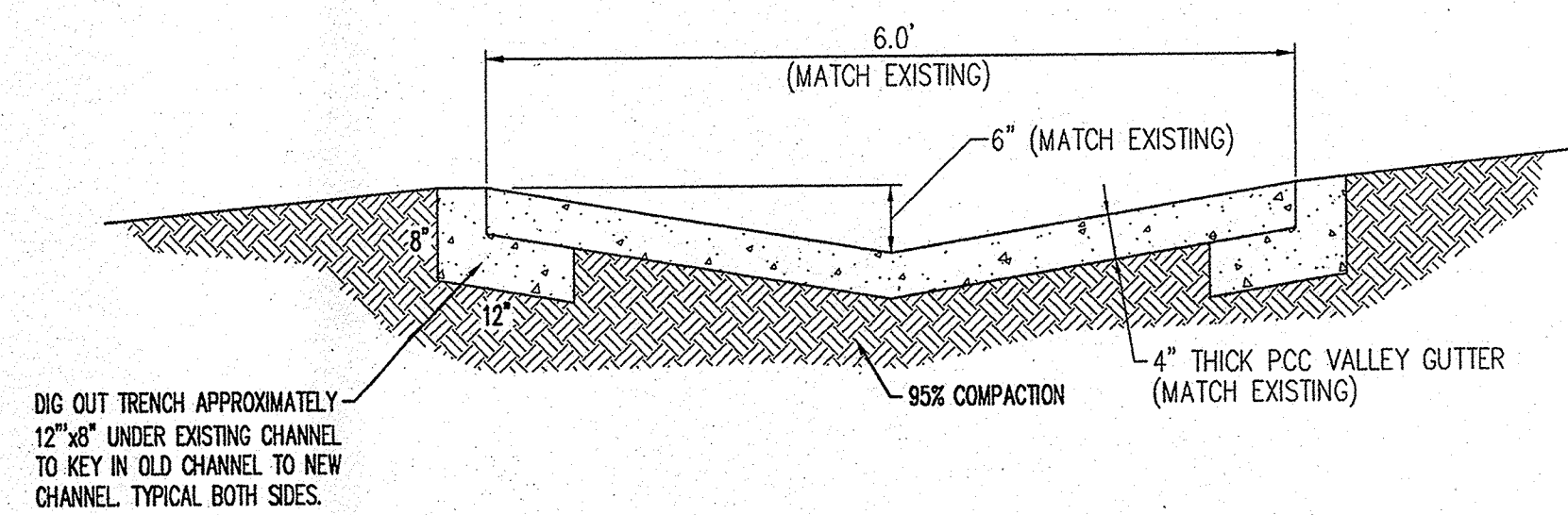
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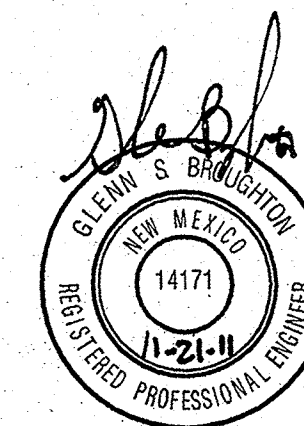
SECTION D
N.T.S.

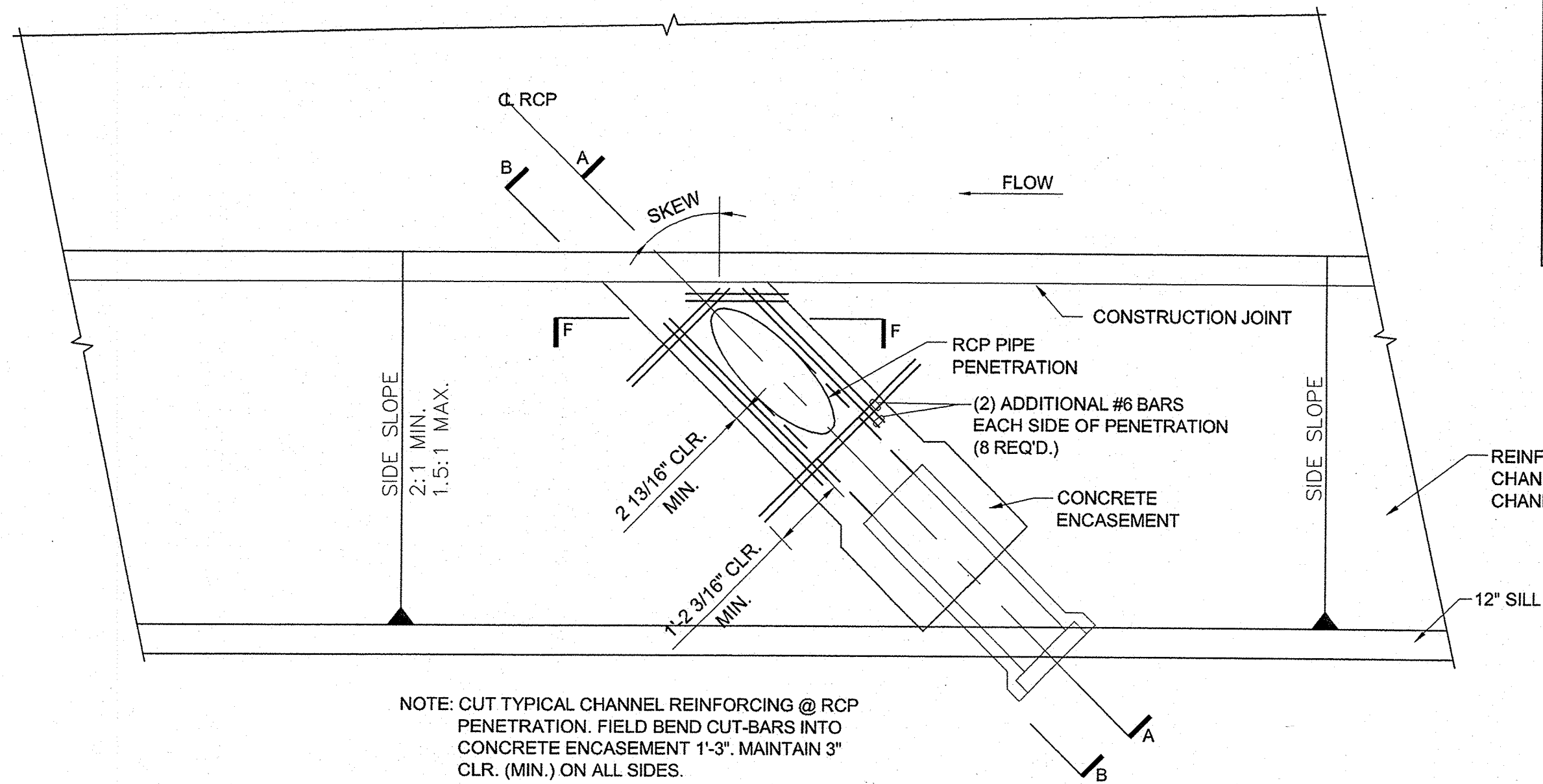


ASPHALT PAVEMENT SECTION
N.T.S.

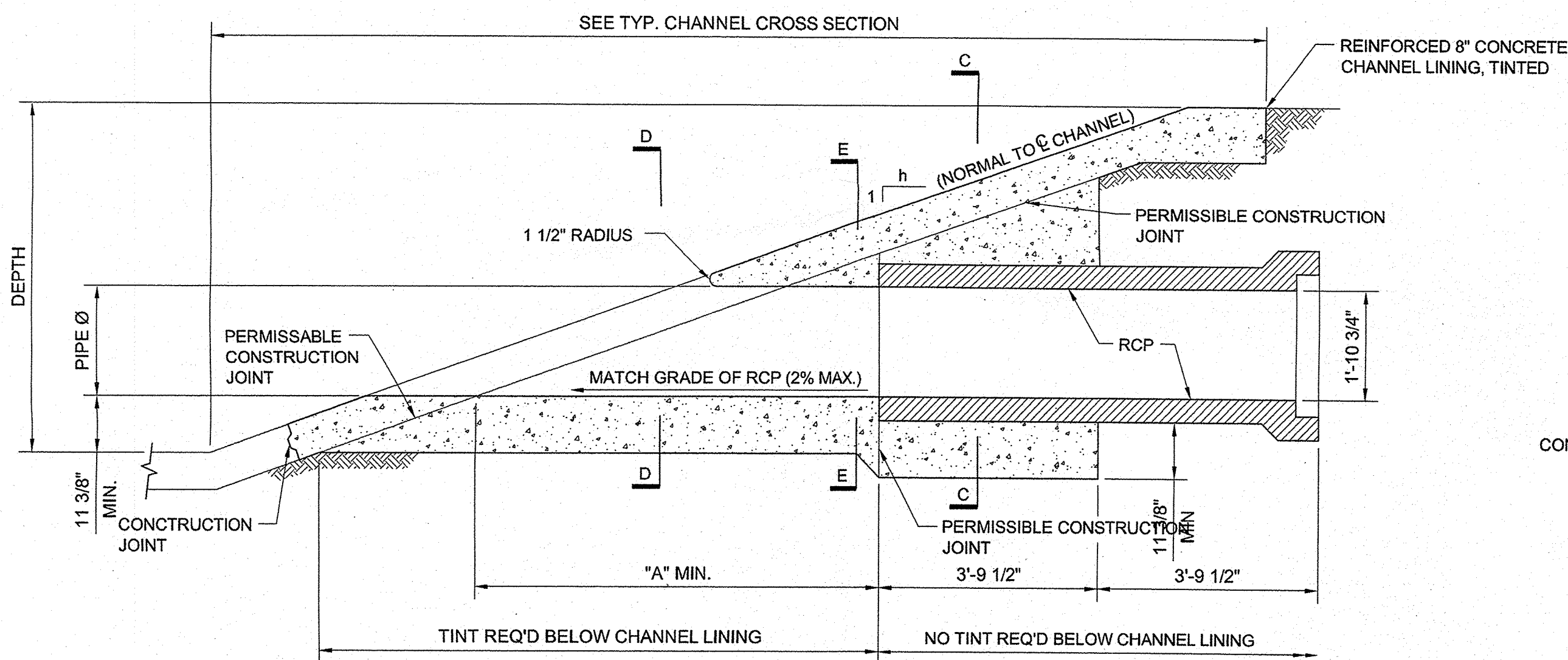


AMAFCA DRAINAGE SWALE
N.T.S.

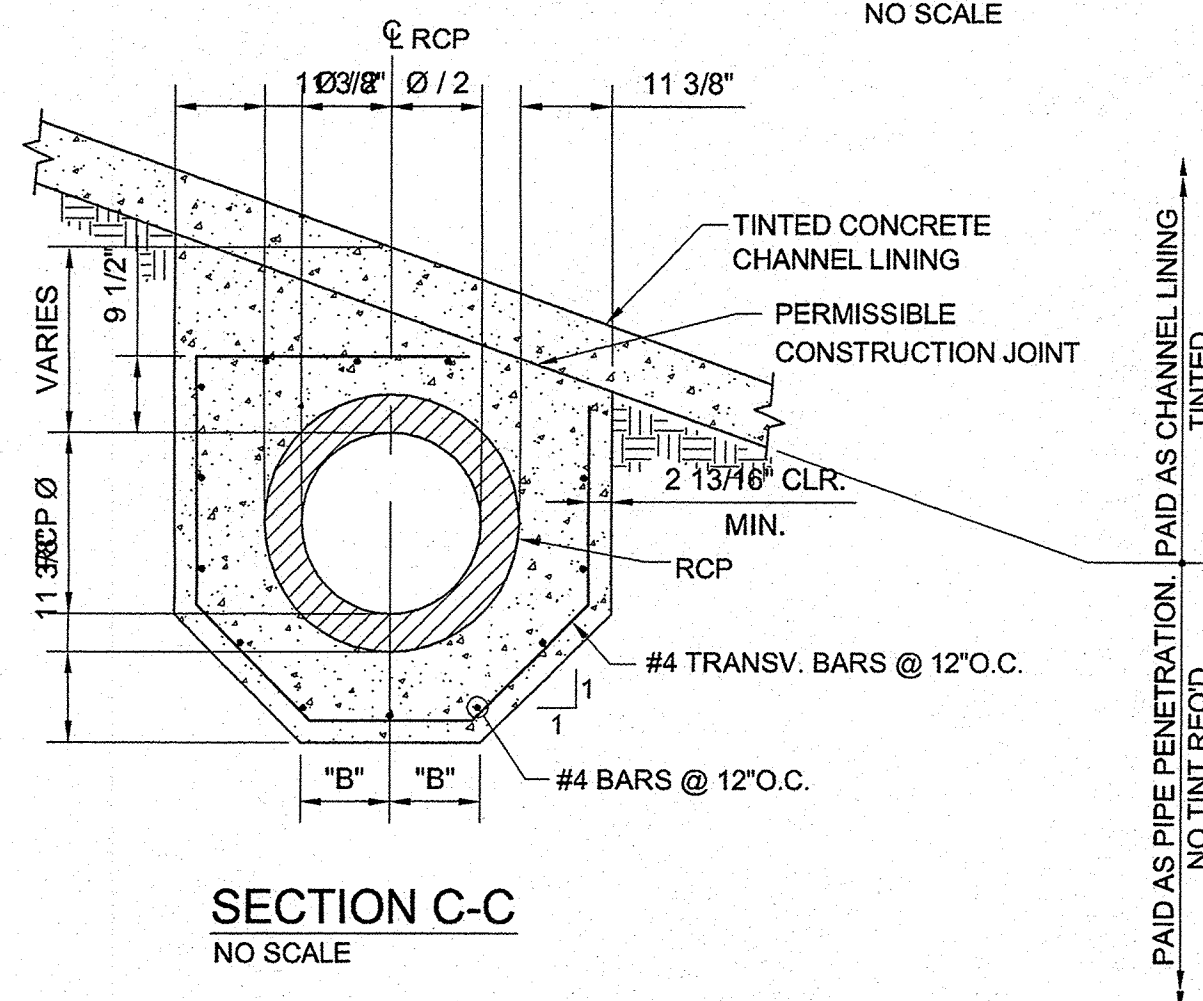




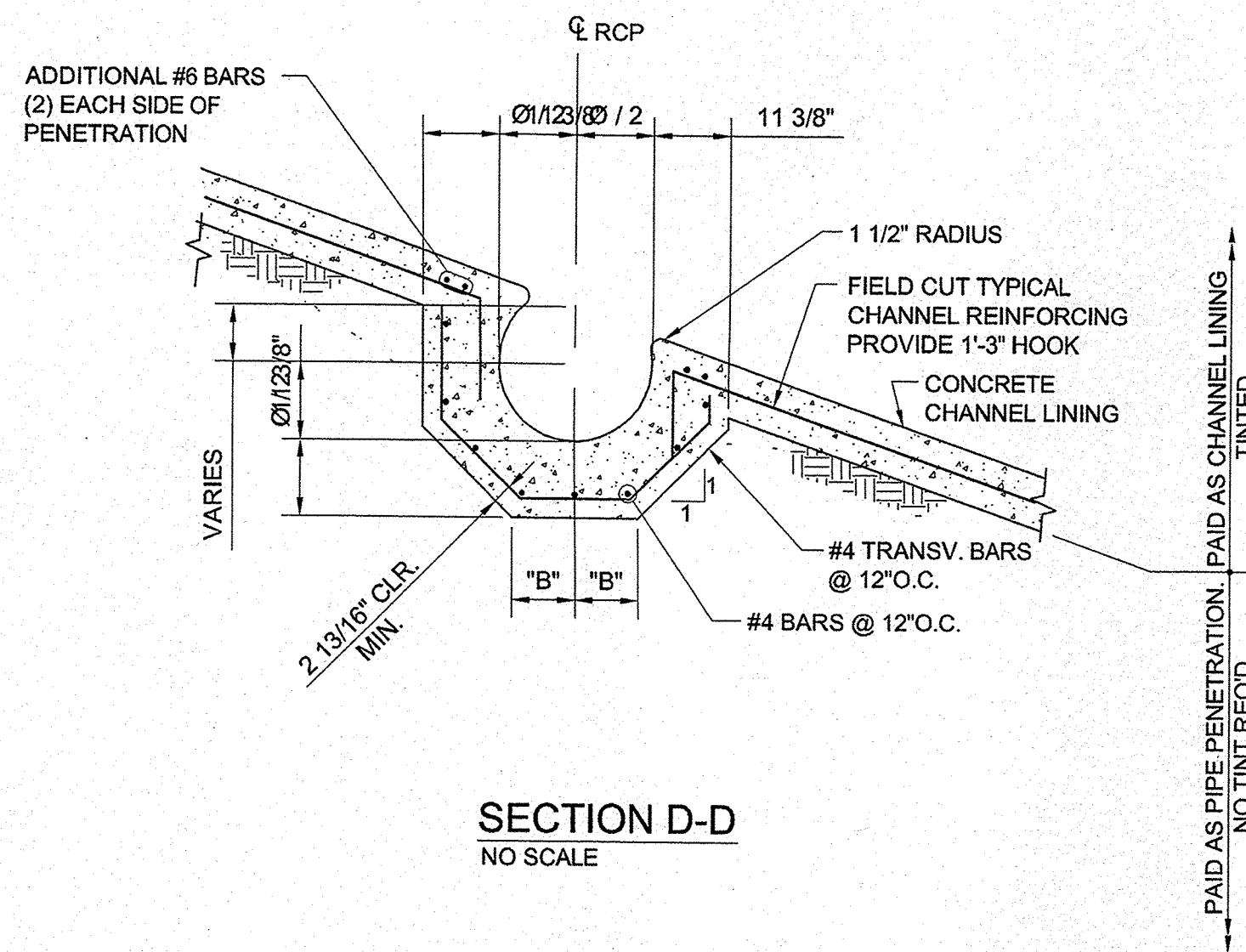
PIPE PENETRATION (PLAN VIEW)
NO SCALE



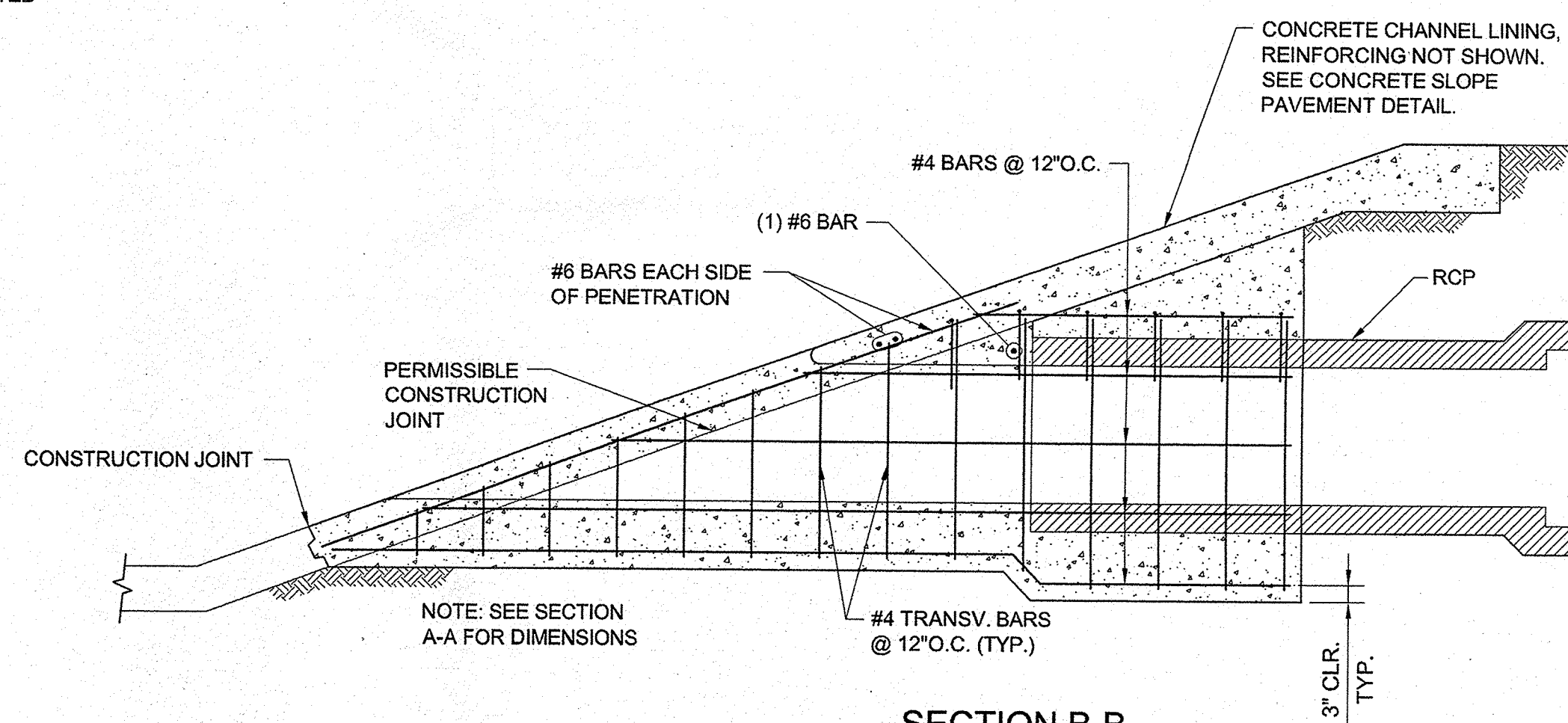
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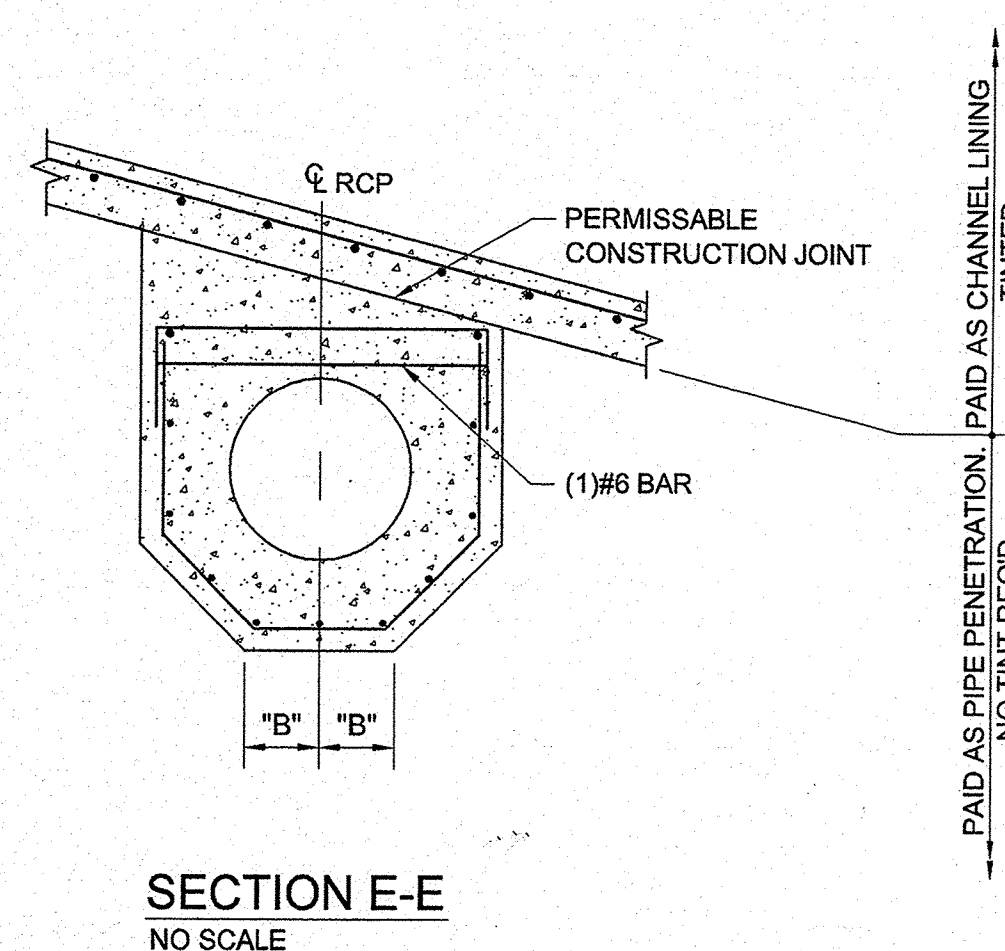
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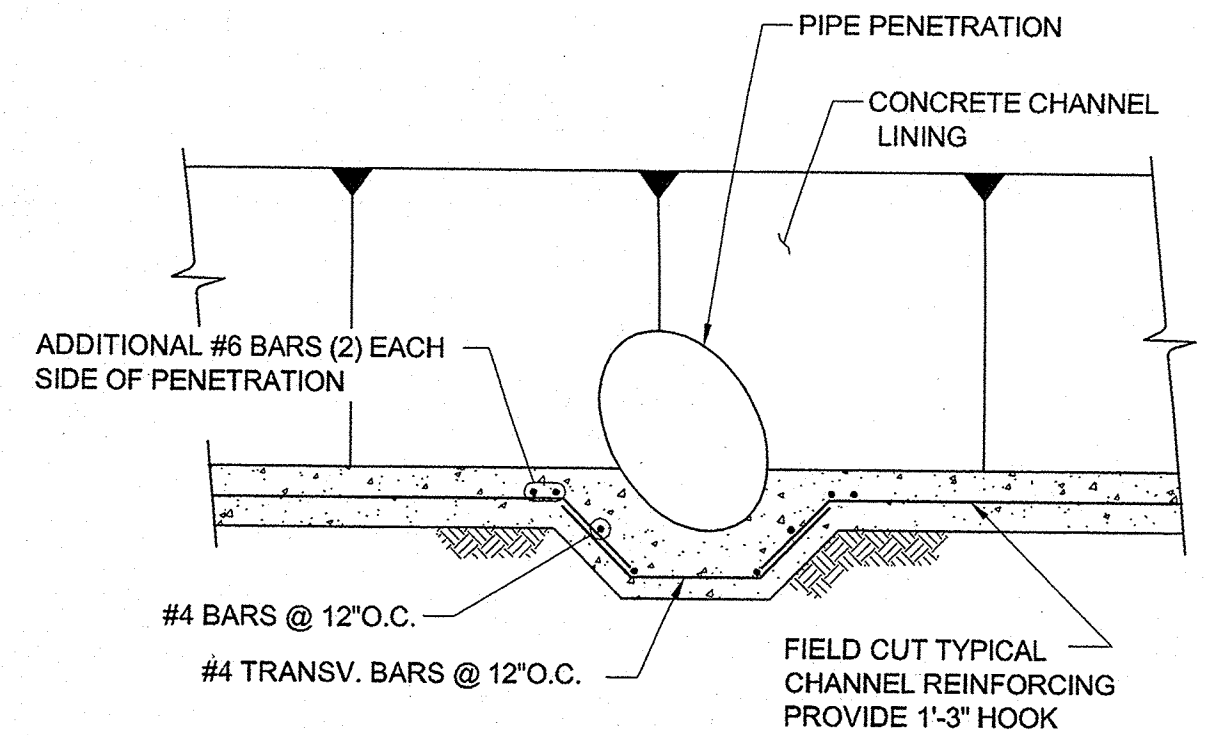
SECTION D-D
NO SCALE



SECTION B-B
NO SCALE



SECTION E-E
NO SCALE



SECTION F-F
NO SCALE

DIMENSION "A" FOR 1.5:1 SIDE SLOPE								
SKEW ANGLE (DEGREES)	PIPE DIAMETER (INCHES)							
	24	30	36	42	48	54	60	72
0-10	4'-9"	5'-6"	6'-3"	7'-0"	7'-10"	8'-7"	9'-4"	10'-10"
>10-20	4'-11"	5'-8"	6'-5"	7'-3"	8'-1"	8'-11"	9'-8"	11'-3"
>20-30	5'-2"	6'-0"	6'-11"	7'-9"	8'-7"	9'-6"	10'-4"	12'-1"
>30-45	5'-11"	7'-0"	8'-1"	9'-2"	10'-2"	11'-3"	12'-4"	14'-5"

DIMENSION "A" FOR 2:1 SIDE SLOPE								
SKEW ANGLE (DEGREES)	PIPE DIAMETER (INCHES)							
	24	30	36	42	48	54	60	72
0-10	5'-9"	6'-9"	7'-10"	8'-10"	9'-10"	10'-10"	11'-11"	13'-11"
>10-20	5'-11"	7'-0"	8'-1"	9'-2"	10'-3"	11'-3"	12'-4"	14'-6"
>20-30	6'-4"	7'-6"	8'-7"	9'-9"	10'-11"	12'-1"	13'-3"	15'-7"
>30-45	7'-4"	8'-9"	10'-2"	11'-7"	13'-0"	14'-5"	15'-10"	18'-9"

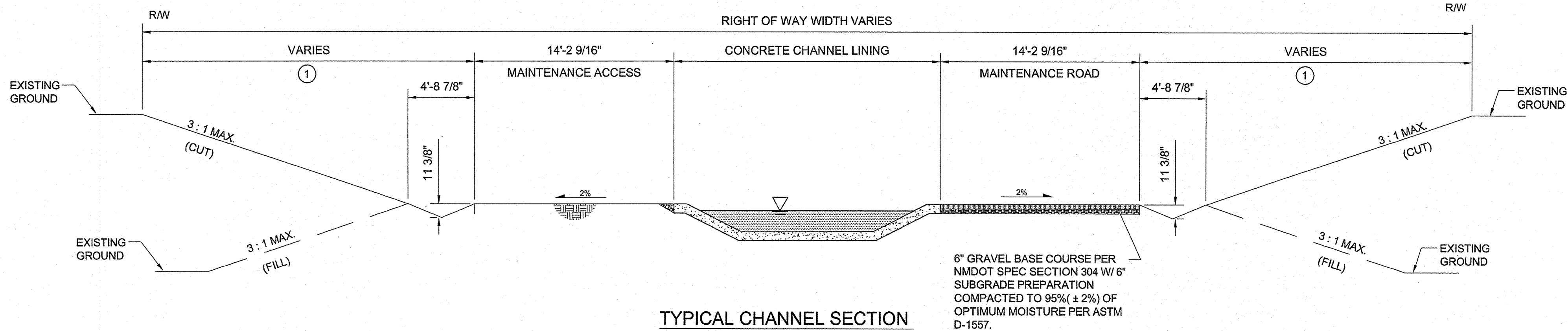
DIMENSION "B"								
PIPE DIAMETER (INCHES)								
24	30	36	42	48	54	60	72	
10"	11"	1'-1"	1'-2"	1'-3"	1'-4"	1'-6"	1'-8"	

GENERAL NOTES:

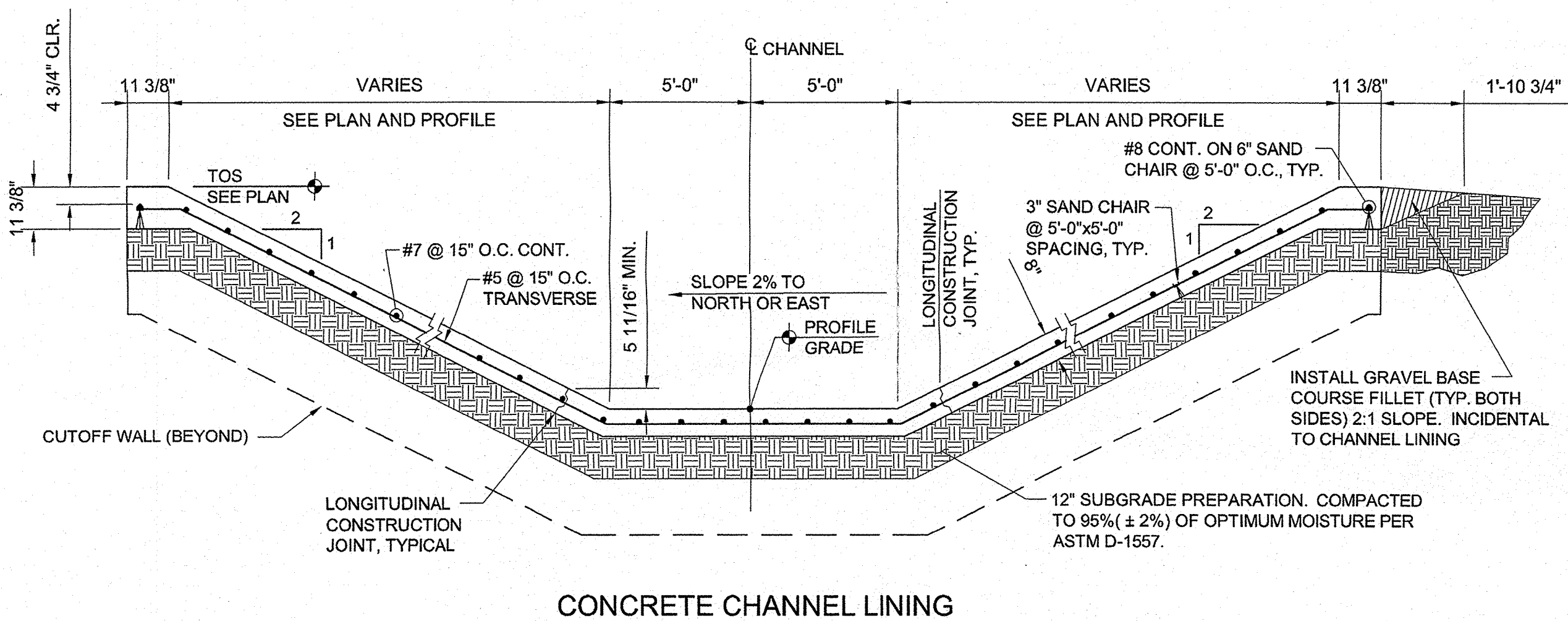
1. THE PIPE PENETRATION DETAILED HEREIN SHALL BE PAID FOR UNDER LUMP SUM AND SHALL BE COMPENSATION FOR THE PENETRATION COMPLETE AND IN PLACE. INCLUDED IN THIS WORK (BUT NOT LIMITED TO) IS GRADING, SUBGRADE PREPARATION, REINFORCED CONCRETE, CONSTRUCTION JOINTS, CONCRETE PLACEMENT AND FINISHING. NOTE THE MEASUREMENT FOR 8" CHANNEL LINING IS CONTINUOUS AND UNINTERRUPTED AT THE PENETRATION LOCATION.
2. ALL CULVERT PIPE PLACED UNDER THE CHANNEL LINING OR WITHIN AMAFCA RIGHT-OF-WAY SHALL BE RCP CLASS III MIN.
3. FOR PIPE PENETRATIONS INTO EXISTING CHANNELS, USE CHANNEL REMOVAL DETAILS FROM AMAFCA STANDARD DRAWING 102.

 ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY			
AMAFCA STANDARD DETAILS			
RCP CHANNEL PENETRATION PIPE DIAMETER > 12", < 45° SKEW			
REV	DATE	DESCRIPTION	CHKD
DRAWING NO. 104		MAP NO.	SHEET OF

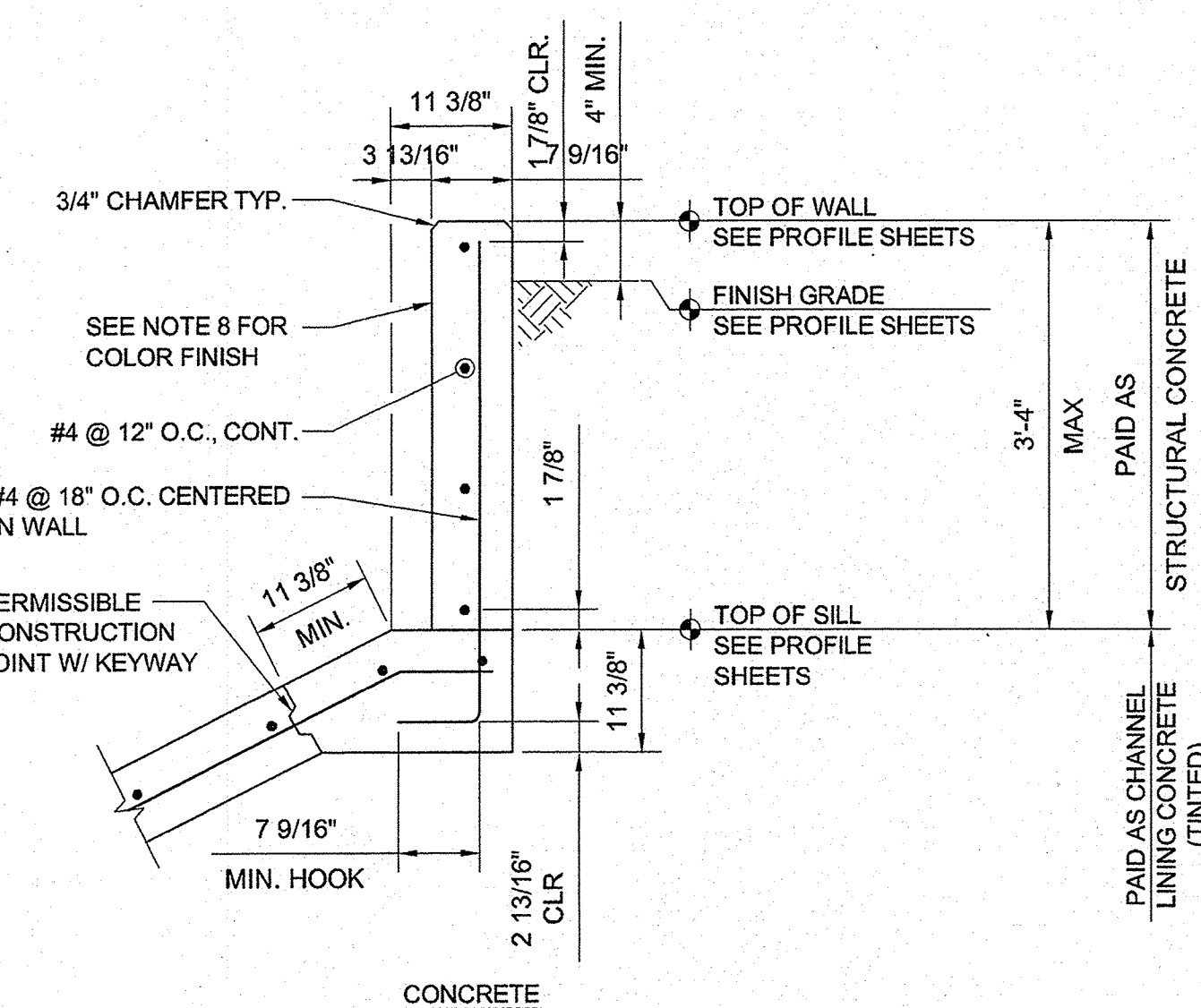
ISSUE DATE: 8-12-2008



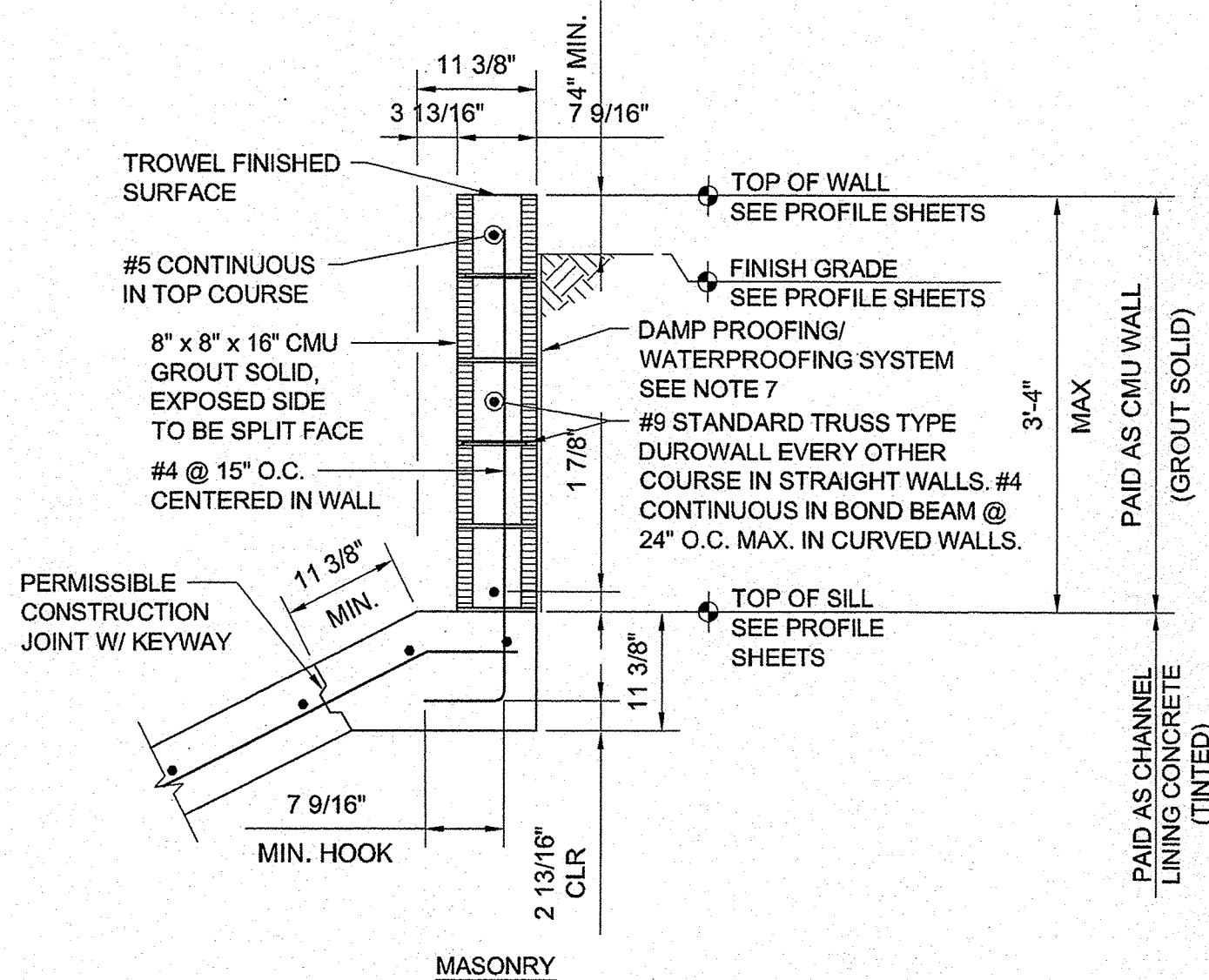
TYPICAL CHANNEL SECTION



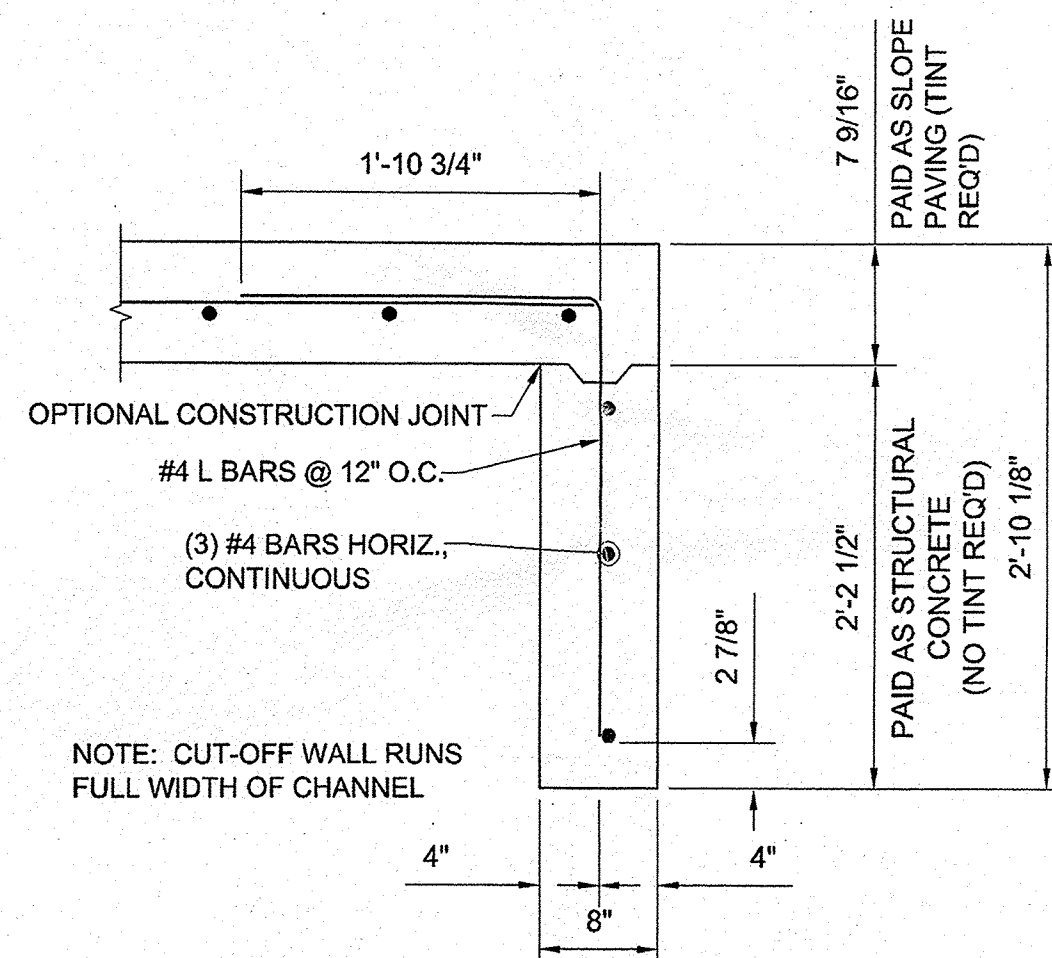
CONCRETE CHANNEL LINING



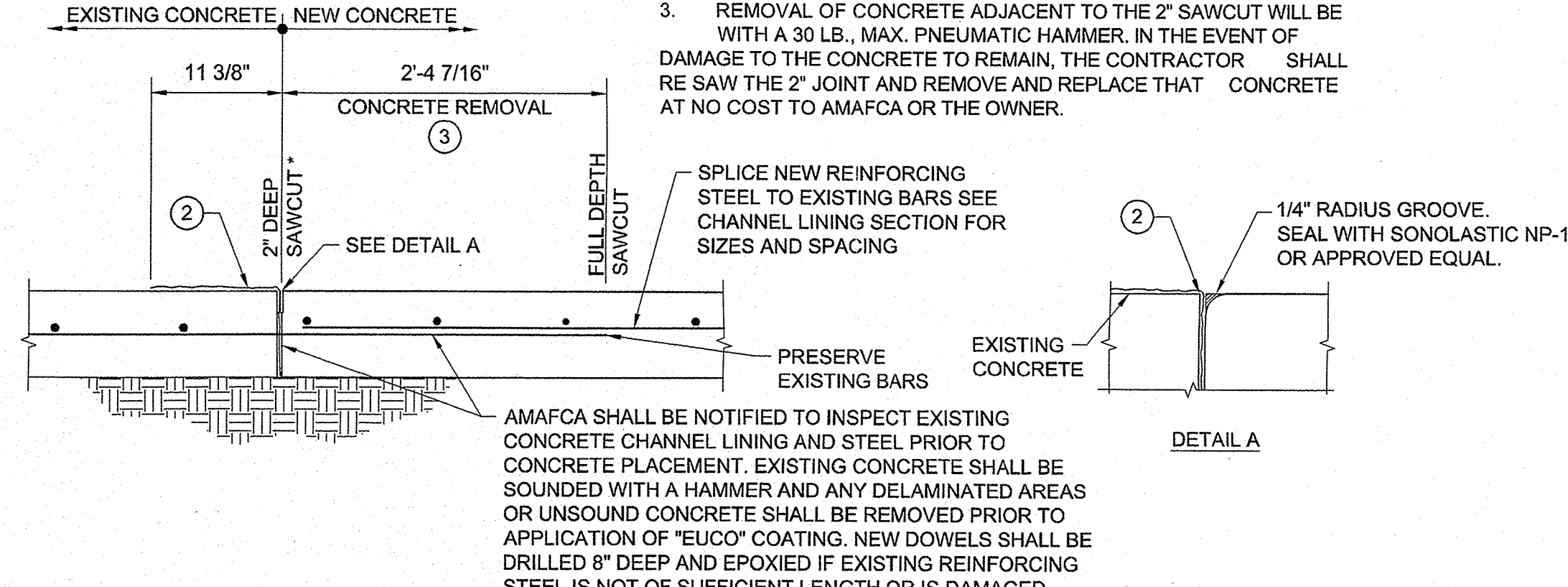
TYPICAL SILL WALL DETAIL



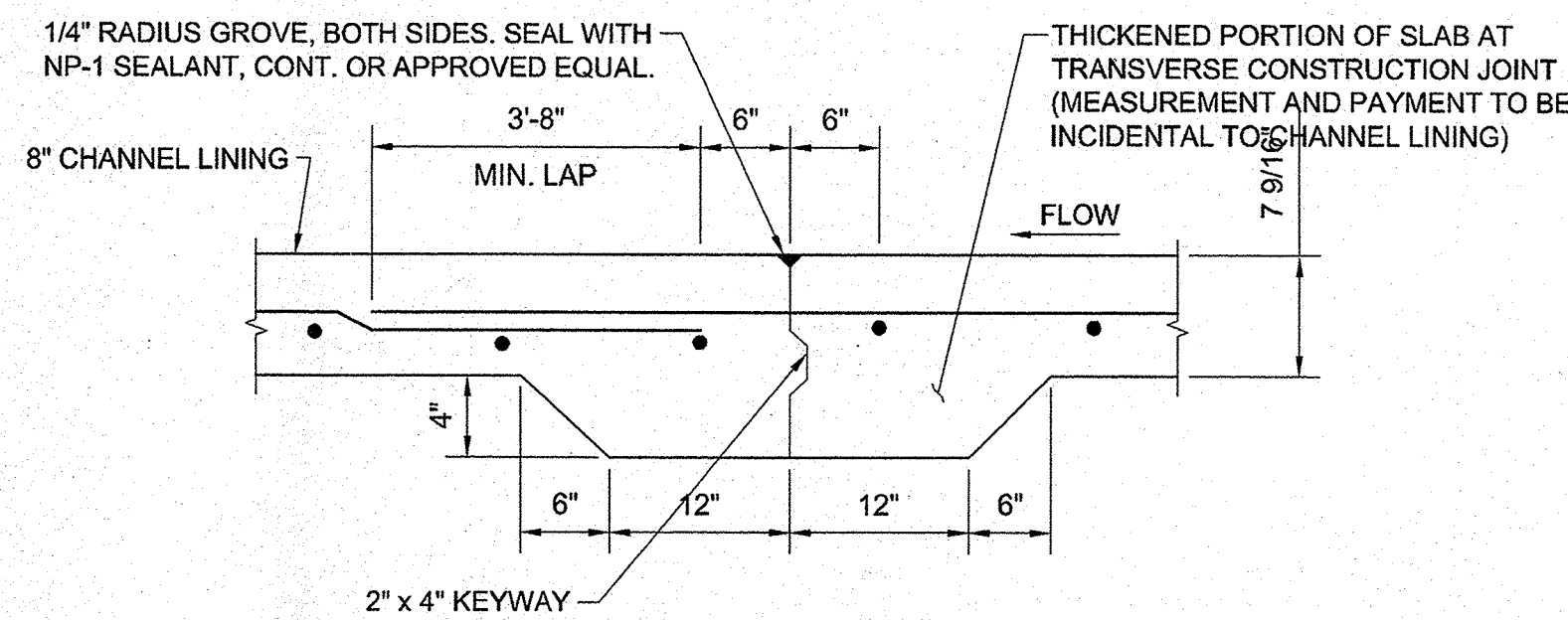
MASONRY



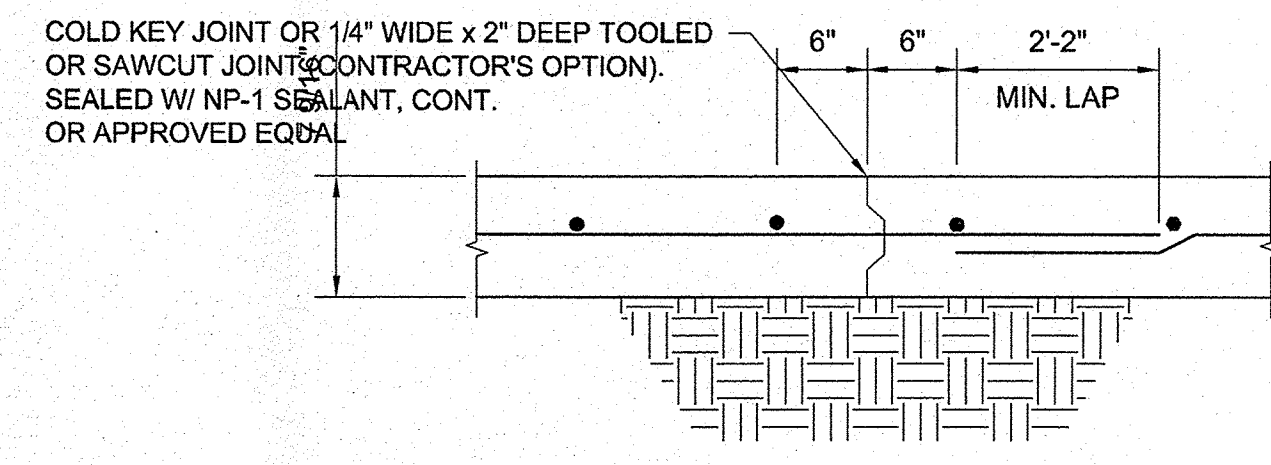
TYPICAL CUT-OFF WALL SECTION



NEW TO EXISTING CHANNEL LINING CONSTRUCTION JOINT DETAILS



TYPICAL TRANSVERSE CONSTRUCTION JOINT DETAIL



TYPICAL LONGITUDINAL CONSTRUCTION JOINT DETAIL

NOTES FOR CHANNEL CONSTRUCTION

- CAST-IN-PLACE CONCRETE: CONCRETE SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS. ($f_c = 3000$ psi MINIMUM). $3/4$ " CHAMFER ON ALL EXPOSED FORMED EDGES UNLESS NOTED OTHERWISE.
- REINFORCING STEEL: STEEL REINFORCEMENT AND PLACEMENT SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND SHALL CONFORM TO ASTM A615, GRADE 60. ALL LAP SPLICES SHALL BE CLASS "B" UNLESS NOTED OTHERWISE. REINFORCING STEEL SHALL BE INCIDENTAL TO CONCRETE BID ITEMS.
- ALL EXPOSED CHANNEL SURFACES SHALL BE GIVEN A CLASS 3 FLOAT & TINE FINISH. TINE SHALL BE TRANSVERSE TO FLOW.
- ALL EXPOSED CONCRETE SHALL BE TINTED WITH SAN DIEGO BUFF (DAVIS COLOR 5237) AT THE REDUCED DOSAGE OF 1 lb PER SACK OF CEMENT, OR APPROVED EQUAL. TINT SHALL BE INCIDENTAL TO THE COST OF THE RESPECTIVE CONCRETE.
- NEW TO EXISTING CHANNEL CONSTRUCTION: EUCO ARC LITHIUM NITRATE TREATMENT IS REQUIRED FOR ANY EXISTING CONCRETE CHANNELS. SEE DETAILS FOR INSTALLATION REQUIREMENTS, THIS SHEET.
- MINIMUM REBAR LAP LENGTH (CLASS B LAPS):
#5 = 22"
#7 = 43"
#8 = 54"
- THE EARTH SIDE OF SILL WALLS SHALL BE WATERPROOFED AT IRRIGATED AREAS AND DAMP PROOFED AT ALL OTHER AREAS. WATERPROOFING SHALL BE CONWRAP BARRIER CS-212 AS MANUFACTURED BY CONCRETE SEALANTS, INC. (MEMBRANE THICKNESS 0.100 INCHES MINIMUM) OR ENGINEER APPROVED EQUAL. DAMP PROOFING SHALL BE HYDROCID 700B OR ENGINEER APPROVED EQUAL.
- ALL EXPOSED SURFACES OF THE CHANNEL SILL WALLS SHALL RECEIVE A "THOROCOAT" CLASS 4 FINISH. THE COLOR SHALL BE SIMILAR TO THE TINTED CHANNEL LINING AND SHALL BE APPROVED BY AMAFCA. "THOROCOAT" SHALL BE APPLIED TO THE BACK OF WALLS 6 INCHES BELOW GRADE.

KEYED NOTES

- NATIVE RE-VEGETATION. SEE CITY OF ALBUQUERQUE SPECIFICATION SECTION 1012. GRAVEL MULCH IS REQUIRED FOR SLOPES GREATER THAN 3H:1V.
- EUCO ARC LITHIUM NITRATE COATING OR APPROVED EQUAL APPLIED TO VERTICAL SURFACE AND 12" OF TOP SURFACE OF EXISTING CONCRETE TO REMAIN.
- REMOVAL OF CONCRETE ADJACENT TO THE 2" SAWCUT WILL BE WITH A 30 LB., MAX. PNEUMATIC HAMMER. IN THE EVENT OF DAMAGE TO THE CONCRETE TO REMAIN, THE CONTRACTOR SHALL RE SAW THE 2" JOINT AND REMOVE AND REPLACE THAT CONCRETE AT NO COST TO AMAFCA OR THE OWNER.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY			
AMAFCA STANDARD DETAILS			
CHANNEL STRUCTURE SECTIONS AND DETAILS			
REV	DATE	DESCRIPTION	CHKD
DRAWING NO.	102	MAP NO.	SHEET OF

ISSUE DATE: 8-12-2008

Date Issue

November 10, 2011

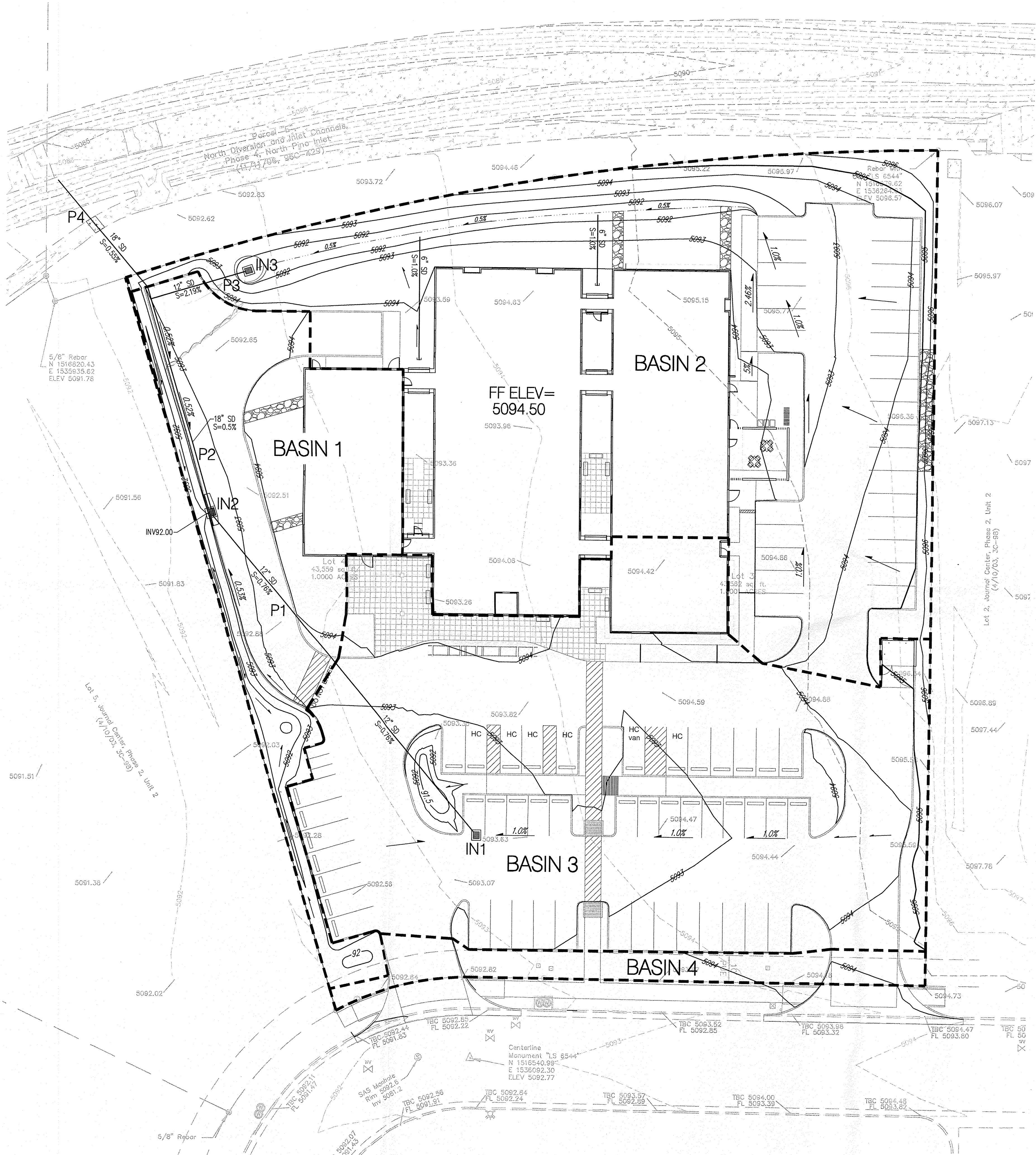
C3.2

AMAFCA Standard Detail

FOR INFORMATION ONLY

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ph (505) 255-4033 fax (505) 266-0251
dnca

Renal Medicine Associates Clinic
Journal Center
Albuquerque, New Mexico



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A FINAL DRAINAGE MANAGEMENT PLAN AND FINAL GRADING PLAN FOR DEVELOPMENT OF THE RENAL MEDICAL ASSOCIATES BUILDING LOCATED IN THE JOURNAL CENTER, PHASE 2, UNIT 2, LOT 3 AND A PORTION OF LOT 4 IN NE ALBUQUERQUE.

II. SITE LOCATION
THE SITE IS CURRENTLY LEGALLY DESCRIBED AS LOT 3A, JOURNAL CENTER PHASE 2 UNIT 2 (+/- 1.8 ACRES). THE SITE IS LOCATED WITHIN ZONE ATLAS MAP #D-17, AND IS IN HYDROLOGIC ZONE 2. THE SITE IS LOCATED ON MASTHEAD IMMEDIATELY EAST OF BARTLETT.

III. EXISTING HYDROLOGIC CONDITIONS
CURRENTLY THE SITE (1.8 AC.) IS UNDEVELOPED LAND. THE SURROUNDING STREETS AND INFRASTRUCTURE ARE IN PLACE. THE SITE DRAINS FROM NORTHEAST TO SOUTHWEST IN A SHEET FLOW CONDITION. THE APPROVED DRAINAGE PLAN OF JOURNAL CENTER - PHASE 2 (FILE NUMBER D17/D3AA.) INDICATES THAT LOT 3 WILL DRAIN SOUTH TO MASTHEAD AND LOT 4 WILL DRAIN NORTH TO THE NORTH PINO ARROYO. THESE LOTS HAVE BEEN APPROVED FOR FREE DISCHARGE TO THE ADJACENT PUBLIC STREET AND THE NORTH PINO ARROYO. THE SITE IS ADJACENT TO THE NORTH PINO ARROYO WHICH IS DESIGNATED AS ZONE 'A' ON FLOOD INSURANCE RATE MAP, PANEL 35001C01365.

IV. PROPOSED HYDROLOGIC CONDITIONS
THE PROPOSED CONDITIONS FOR THE RENAL MEDICAL ASSOCIATES BUILDING ARE SHOWN ON THE GRADING PLAN. THE HYDROLOGIC ANALYSIS FOR THIS AREA IS BASED ON DRAINAGE REQUIREMENTS FOR THE 100-YR, 6-HR STORM EVENT IN ACCORDANCE WITH CHAPTER 22.2 OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL. THE APPROVED DRAINAGE PLAN FOR JOURNAL CENTER - PHASE 2 ASSUMED LAND TREATMENTS OF 85% D, 10% C AND 5% B. IN THE 100 YEAR, 6 HOUR STORM, THIS RESULTS IN A PEAK FLOW RATE OF 4.42 CFS PER ACRE. WITH THIS DEVELOPMENT, A STORM DRAIN COLLECTION SYSTEM IS PROPOSED. THIS STORM DRAIN WILL CONVEY DRAINAGE FROM THE ENTIRE SITE, EXCEPT A SMALL DRAINAGE BASIN (BASIN B4) ADJACENT TO MASTHEAD, TO THE NORTH PINO ARROYO. INLETS AND STORM DRAIN PIPES ARE DESIGNED TO CONVEY THE DESIGN STORM EVENT. THE NORTHEAST PORTION OF THE SITE DRAINS TO A SHALLOW WATER HARVESTING / WATER QUALITY POND BEFORE BEING INTERCEPTED BY A STORM DRAIN INLET. A WATER QUALITY SCREEN WILL BE INCORPORATED INTO THE DESIGN TO INTERCEPT FLOATABLES AND TRASH. LAND TREATMENTS FOR INDIVIDUAL DRAINAGE BASINS ARE SHOWN ON THE PROPOSED CONDITIONS BASIN DATA TABLE, STORM DRAIN PIPE TABLE AND INLET TABLE SHOWS ACTUAL FLOWS AND CAPACITY FOR EACH INLET AND REACH OF THE STORM DRAIN. BASED ON THE PROPOSED LAND TREATMENTS THE DEVELOPED FLOWS ARE SLIGHTLY LESS THAN THE PEAK FLOW RATES SHOWN ON THE APPROVED DRAINAGE PLAN FOR JOURNAL CENTER -PHASE 2.

V. CONCLUSION
THIS DRAINAGE MANAGEMENT PLAN PROVIDES FOR GRADING AND DRAINAGE ELEMENTS WHICH ARE CAPABLE OF SAFELY PASSING THE 100 YEAR STORM IN ACCORDANCE WITH CITY REQUIREMENTS AND ARE IN CONFORMANCE WITH THE PREVIOUSLY APPROVED MASTER DRAINAGE PLAN FOR JOURNAL CENTER, PHASE 2. WITH THIS SUBMITTAL WE ARE REQUESTING GRADING AND DRAINAGE PLAN APPROVAL FOR BUILDING PERMIT.

LEGEND

----- DRAINAGE BASIN

RENAL MEDICINE ASSOCIATES CLINIC
Proposed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone:: 2											
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (inches)	V(100) ₃₆₀ (CF)	V(100) ₁₄₄₀ (CF)
PROPOSED CONDITIONS											
B1	11084	0.25	0.0%	0.0%	38.0%	62.0%	4.11	1.05	1.74	1611	1874
B2	35603	0.82	0.0%	1.0%	34.0%	65.0%	4.15	3.39	1.77	5251	6139
B3	29165	0.67	0.0%	0.0%	29.0%	71.0%	4.25	2.84	1.83	4455	5248
B4	2536	0.06	0.0%	0.0%	69.0%	31.0%	3.62	0.21	1.44	304	334
TOTAL	78388	1.80	-	-	-	-	4.16	7.49	6.78	11620.51	11621

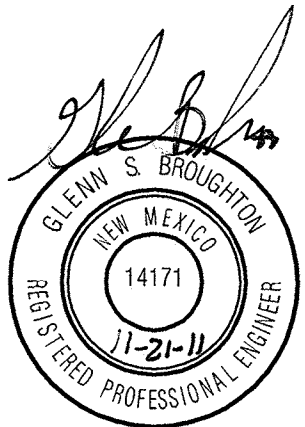
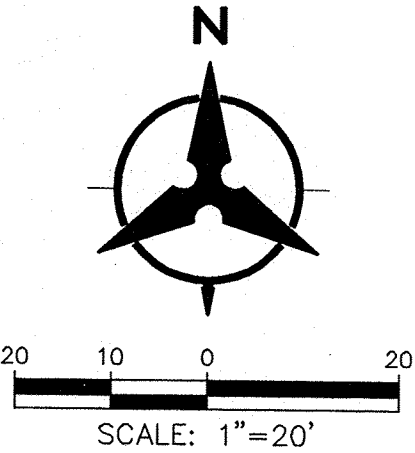
RENAL MEDICINE ASSOCIATES CLINIC
STORM DRAIN PIPE TABLE

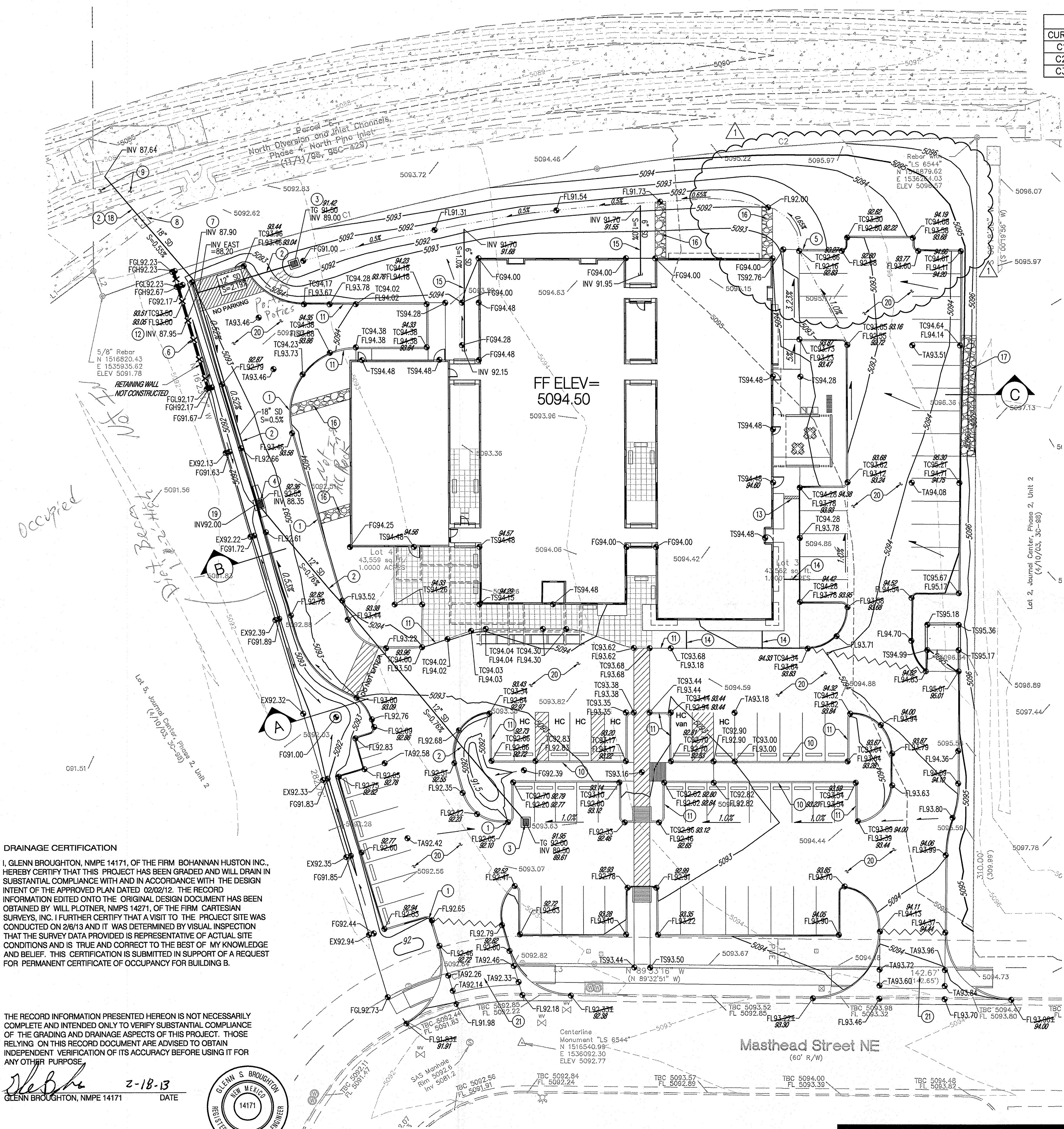
PIPE #	Contributing Basins & Pipes	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs	PIPE LENGTH ft	INVERT IN	INVERT OUT
STORM DRAIN PIPE								
P1	B3	12	0.76%	3.1	2.8	152.10	5088.35	5089.50
P2	B1 & B3	18	0.56%	7.8	3.9	80.80	5087.90	5088.35
P3	B2	12	2.19%	5.3	3.4	36.60	5088.20	5089.00
P4	B1, B2 & B3	18	0.46%	7.1	7.3	56.20	5087.64	5087.90

*CAPACITY IS BASED ON GRAVIT FLOW, USING MANNING'S EQUATION WITH n=0.013

RENAL MEDICINE ASSOCIATES CLINIC
INLET TABLE

INLET #	CONTRIBUTING BASIN	INLET TYPE	TOP OF GRATE	ACTUAL FLOW	AVAIL HEAD FT	CAPACITY	Grate Calculation
IN1	B3	1-SGL D	51.59	2.8	0.65	11.8	Sump
IN2	B1 & B3	1-SGL C	50.70	3.9	0.5	5.1	Sump
IN3	B2	1-SGL D	46.19	3.4	0.5	8.0	Sump





DRAINAGE CERTIFICATION

I, GLENN BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/02/12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER, NMPS 14271, OF THE FIRM CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT A VISIT TO THE PROJECT SITE WAS CONDUCTED ON 2/6/13 AND IT WAS DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY FOR BUILDING B.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Glenn S. Broughton
GLENN BROUGHTON, NMPE 14171
DATE 2-18-13
GLENN S. BROUGHTON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
14171

PROPERTY BOUNDARY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	987.76'	192.00'	11°08'13"	N 75°36'40" E	191.69'
C2	987.76'	143.32'	8°18'47"	N 85°20'10" E	143.19'
C3	105.00'	53.14'	28°59'50"	S 75°54'51" W	52.57'

PROPERTY BOUNDARY LINE TABLE		
LINE	LENGTH	BEARING
L1	34.19	N 53°34'24" E
L2	9.94	S 19°55'19" E
L3	27.14	N 89°33'16" W

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TS=TOP OF SIDEWALK
EX=EXISTING, FG=FINISHED GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB
- EASEMENT
- AS-BUILT GRADE

GRADING KEYED NOTES

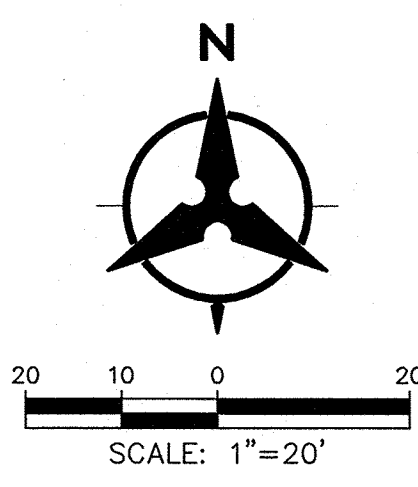
- INSTALL 12" WIDE CURB OPENING.
- INSTALL STORM DRAIN. SEE PLAN FOR SIZE, SLOPE & INVERT ELEVATIONS.
- INSTALL TYPE 'D' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
- INSTALL TYPE 'C' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
- INSTALL 36" WIDE CURB OPENING WITH WATER QUALITY SCREEN.
- BUILD SEGMENTAL RETAINING WALL AT PROPERTY LINE.
- INSTALL 22.5' PRE-FABRICATED BEND.
- SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL FOR INSTALLATION OF NEW STORM DRAIN. MATCH EXISTING. SEE DETAIL ON SHEET C3.0.
- SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL & HEADER CURB AT TOP OF CHANNEL. SEE AMAFCA STD DETAILS 102 & 104 FOR RCP CHANNEL PENETRATION.
- INSTALL FLUSH CURB.
- TRANSITION FROM FLUSH CURB TO 6" CURB.
- INSTALL 18"x18"x12" PRE-FABRICATED TEE.
- INSTALL 8" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 3" SCHEDULE 40 PVC PIPE THROUGH CURB.
- INSTALL 6" STORM DRAIN. SEE PLAN FOR SLOPE AND INVERT ELEVATIONS. SEE PLUMBING PLAN FOR CONTINUATION.
- INSTALL CRUSHED ROCK DRAINAGE SWALE. SEE SECTION 'D' ON SHEET C3.0 FOR DETAILS.
- INSTALL 4"-6" CRUSHED ROCK, 12" DEEP, IN AREAS GREATER THAN 3:1 SLOPE. PLACE OVER FILTER FABRIC.
- ALL STORM DRAIN PIPE WITHIN AMAFCA RIGHT OF WAY SHALL BE RCP.
- INSTALL 6" DIA PVC SLEEVE THROUGH BACK OF INLET BOX.
- INSTALL ASPHALT PAVEMENT SECTION PER DETAIL ON SHEET C3.0.
- PROVIDE PEDESTRIAN ROUTE ACROSS DRIVEWAY. 6' WIDE BY 2% CROSS SLOPE (MAX.)

LEGAL DESCRIPTION

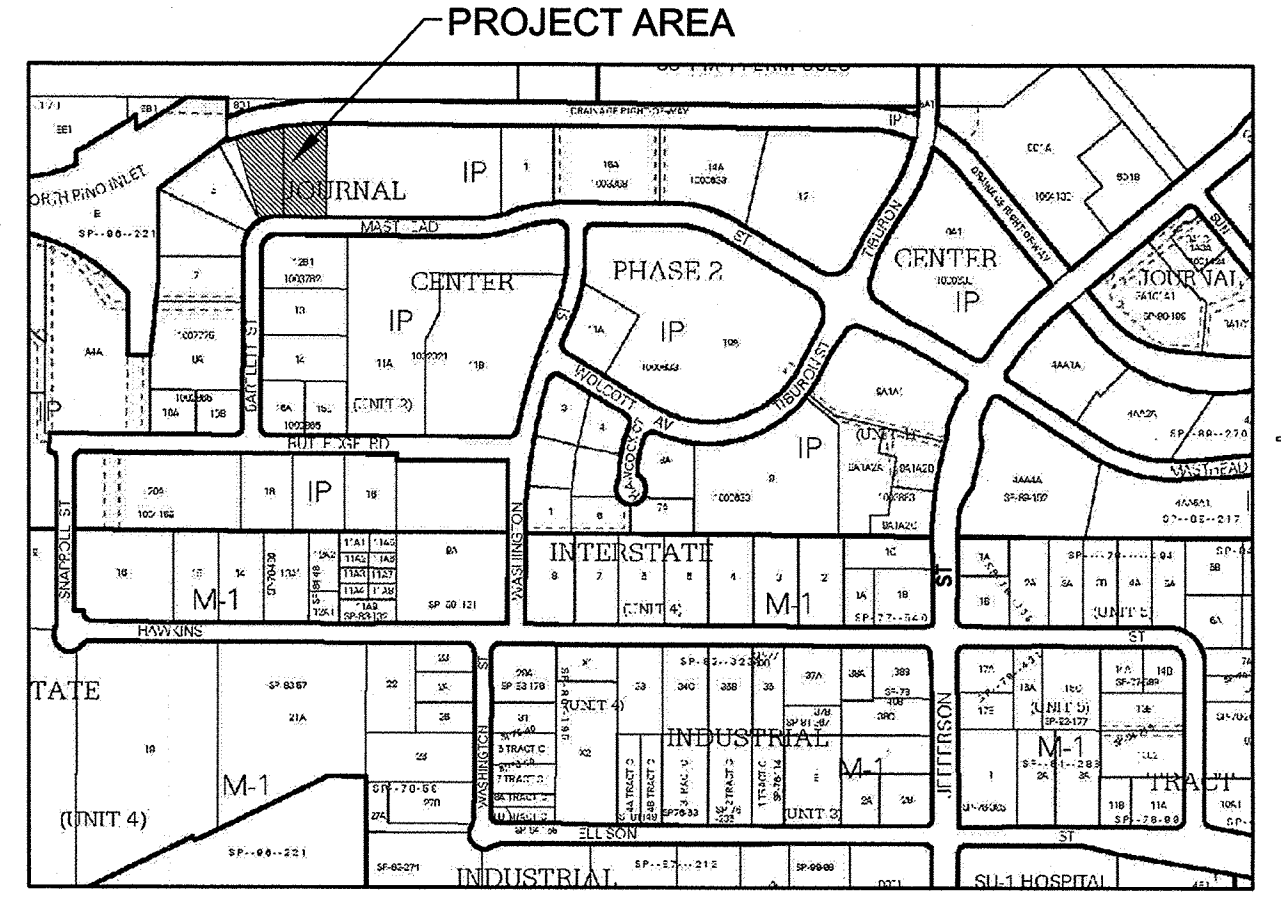
LOT 3A JOURNAL CENTER PHASE 2 UNIT 2

SITE ADDRESS

3821 MASTHEAD NE
ALBUQUERQUE, NM 87109



NOTE: AS A CONDITION OF APPROVAL FOR TEMPORARY AND PERMANENT CERTIFICATE OF OCCUPANCY, A GRADING AND DRAINAGE CERTIFICATION MUST BE SUBMITTED TO THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT FOR APPROVAL. THE CONTRACTOR IS RESPONSIBLE TO RETAIN A SURVEYOR LICENSED IN NEW MEXICO TO OBTAIN AS BUILT SURVEY DATA AND RETAIN AN ENGINEER LICENSED IN NEW MEXICO TO PREPARE/CERTIFY AND SUBMIT THE GRADING CERTIFICATION TO THE CITY FOR APPROVAL.



VICINITY MAP
ZONE ATLAS PAGE D-17-Z

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADED AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

Date	Issue
2/2/12	REVISED GRADING DUE TO SITE PLAN REVISION

FEBRUARY 2, 2012

Bohannon & Huston

C1.0
Grading Plan