

PROPERTY BOUNDARY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	987.76'	192.00'	11°08'13"	N 75°36'40" E	191.69'
C2	987.76'	143.32'	8°18'47"	N 85°20'10" E	143.19'
C3	105.00'	53.14'	28°59'50"	S 75°54'51" W	52.57'

PROPERTY BOUNDARY LINE TABLE		
LINE	LENGTH	BEARING
L1	34.19	N 53°34'24" E
L2	9.94	S 19°55'19" E
L3	27.14	N 89°33'16" W

#### LEGEND

---	PROPERTY LINE
---	EXISTING CONTOURS
---	EXISTING GROUND SPOT ELEVATION
● 95.32	PROPOSED SPOT ELEVATION
---	TC=TOP OF CURB, FL=FLOW LINE
---	TS=TOP OF SIDEWALK
---	EX=EXISTING, FG=FINISHED GRADE
---	PROPOSED DIRECTION OF FLOW
---	WATER BLOCK
---	PROPOSED INDEX CONTOURS
---	PROPOSED INTER CONTOURS
---	PROPOSED CURB
---	EASEMENT

#### GRADING KEYED NOTES

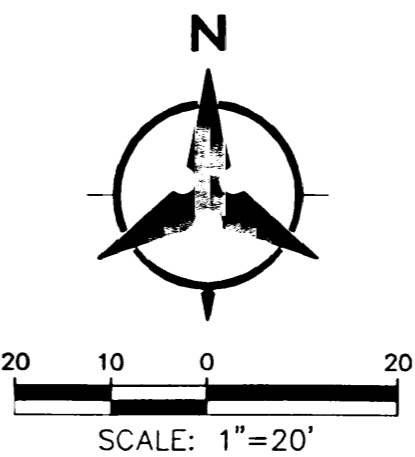
- INSTALL 12" WIDE CURB OPENING.
- INSTALL STORM DRAIN. SEE PLAN FOR SIZE, SLOPE & INVERT ELEVATIONS.
- INSTALL TYPE 'D' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
- INSTALL TYPE 'C' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
- INSTALL 36" WIDE CURB OPENING WITH WATER QUALITY SCREEN.
- BUILD SEGMENTAL RETAINING WALL AT PROPERTY LINE.
- INSTALL 22.5" PRE-FABRICATED BEND.
- SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL FOR INSTALLATION OF NEW STORM DRAIN. MATCH EXISTING. SEE DETAIL ON SHEET C3.0.
- SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL & HEADER CURB AT TOP OF CHANNEL. SEE AMAFCA STD DETAILS 102 & 104 FOR RCP CHANNEL PENETRATION.
- INSTALL FLUSH CURB.
- TRANSITION FROM FLUSH CURB TO 6" CURB.
- INSTALL 18"x18"x12" PRE-FABRICATED TEE.
- INSTALL 8" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 3" SCHEDULE 40 PVC PIPE THROUGH CURB.
- INSTALL 6" STORM DRAIN. SEE PLAN FOR SLOPE AND INVERT ELEVATIONS. SEE PLUMBING PLAN FOR CONTINUATION.
- INSTALL CRUSHED ROCK DRAINAGE SWALE. SEE SECTION 'D' ON SHEET C3.0 FOR DETAILS.
- INSTALL 4"-6" CRUSHED ROCK, 12" DEEP, IN AREAS GREATER THAN 3:1 SLOPE. PLACE OVER FILTER FABRIC.
- ALL STORM DRAIN PIPE WITHIN AMAFCA RIGHT OF WAY SHALL BE RCP.
- INSTALL 6" DIA PVC SLEEVE THROUGH BACK OF INLET BOX.
- INSTALL ASPHALT PAVEMENT SECTION PER DETAIL ON SHEET C3.0.
- INSTALL PEDESTRIAN ROUTE ACROSS DRIVEWAY. 6' WIDE BY 2% CROSS SLOPE (MAX.)

#### LEGAL DESCRIPTION

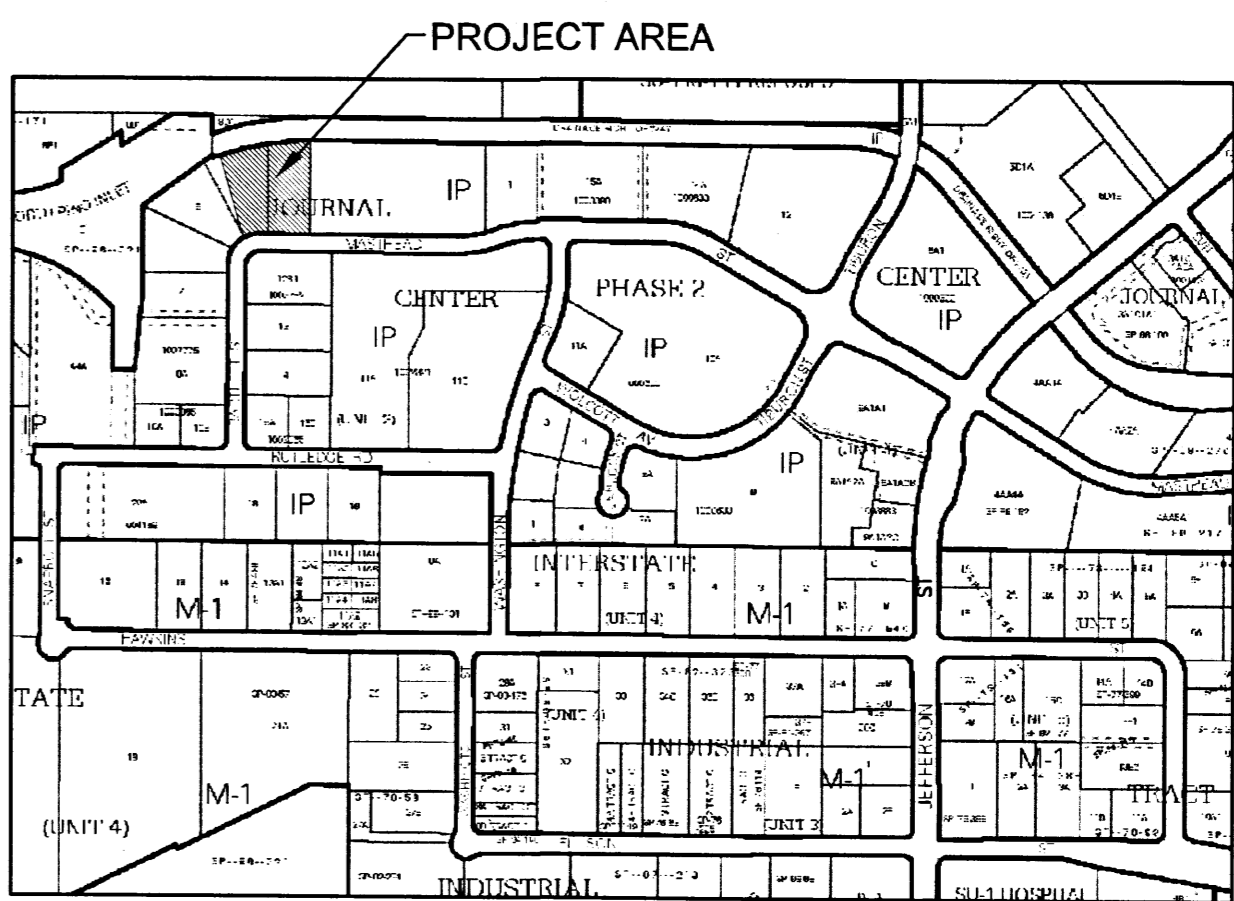
LOT 3A JOURNAL CENTER PHASE 2 UNIT 2

#### SITE ADDRESS

3821 MASTHEAD NE  
ALBUQUERQUE, NM 87109



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VICINITY MAP  
ZONE ATLAS PAGE D-17-Z

#### GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
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- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
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#### GRADING NOTES

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- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

Date 2/2/12 Issue  
1 2/2/12 REVISED GRADING DUE TO SITE PLAN REVISION



Bohannon & Huston

FEBRUARY 2, 2012

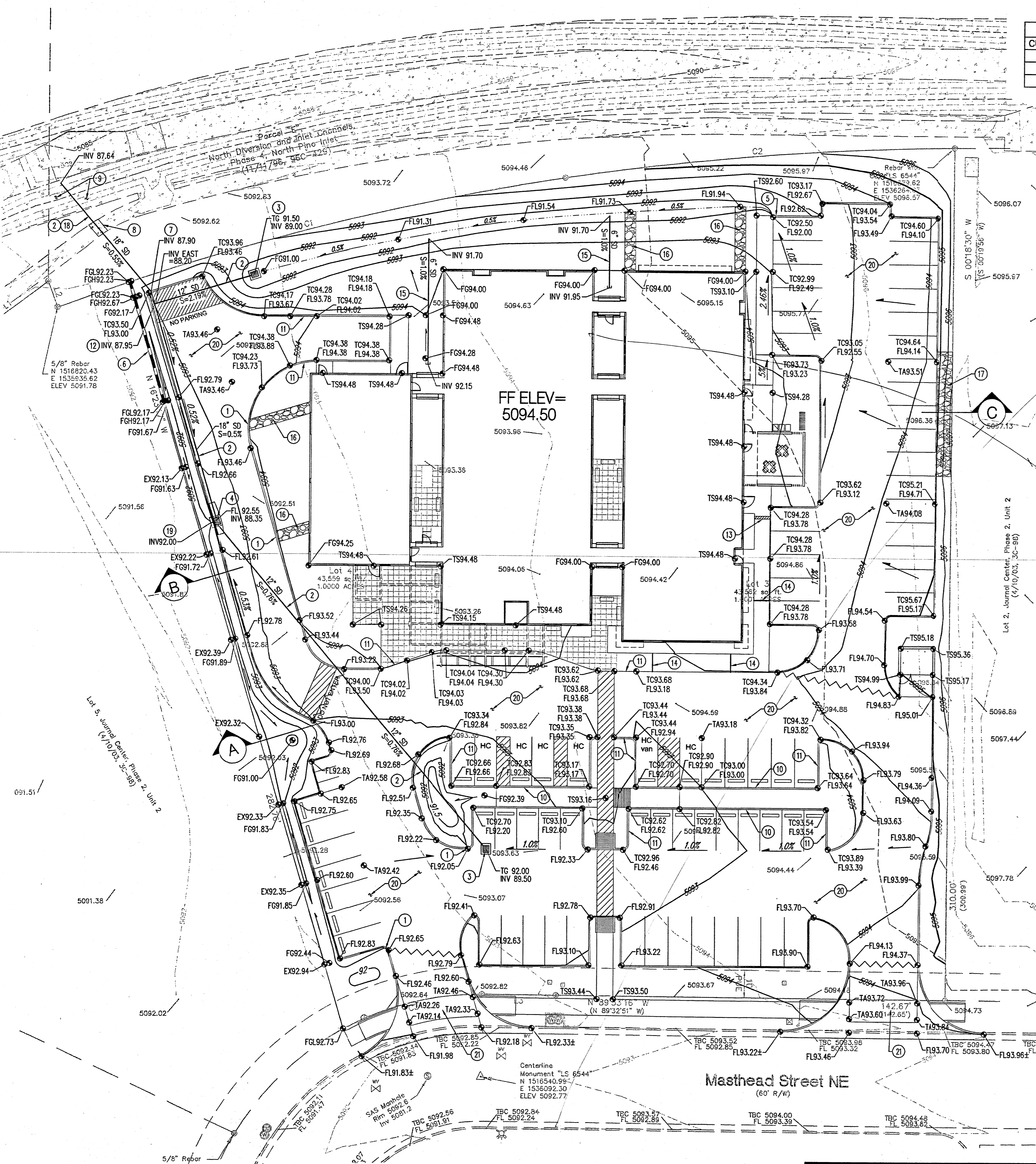
C1.0  
Grading Plan

dnca

Renal Medicine Associates Clinic

Journal Center  
Albuquerque, New Mexico

218 girard s.e., albuquerque nm, 87106  
ph (505) 255-4033 fx (505) 266-0251



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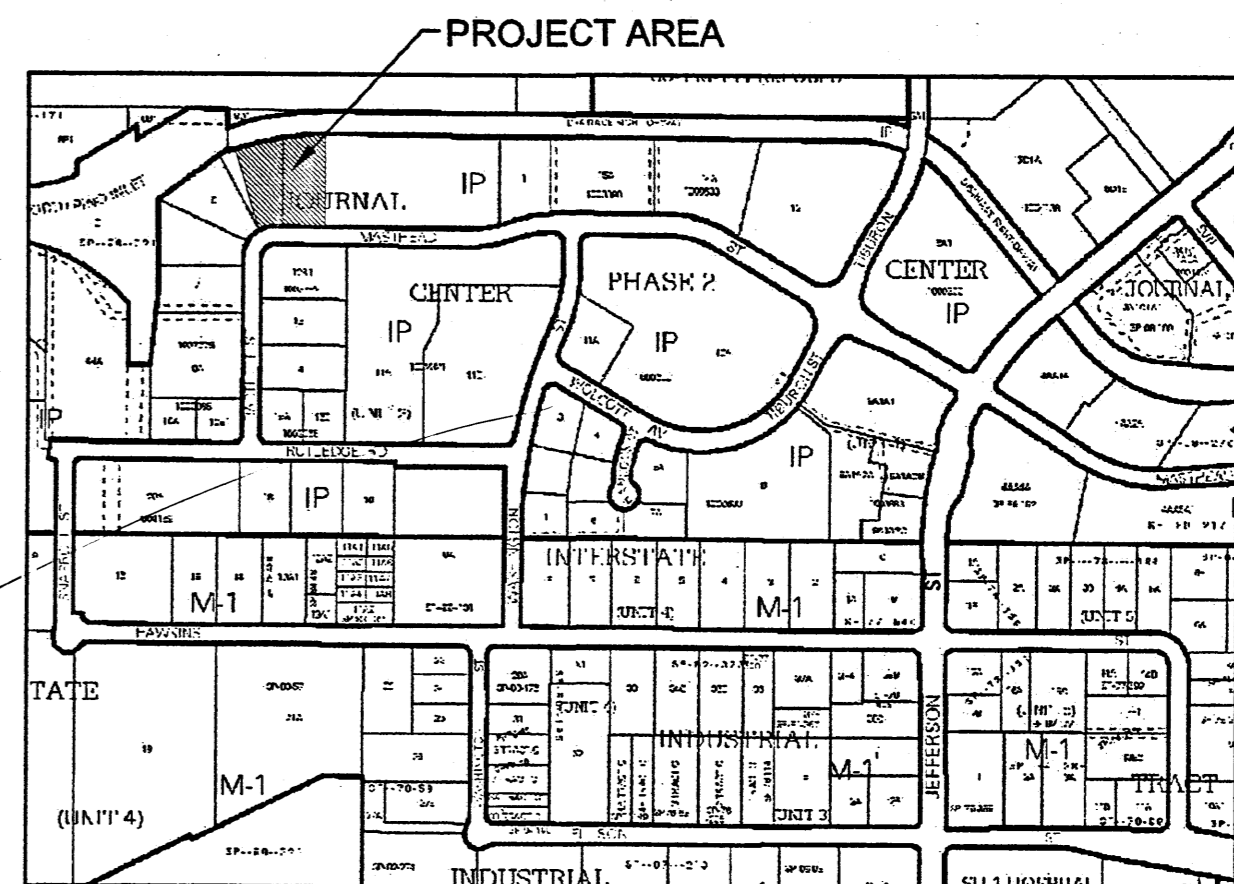
LOT 3A JOURNAL CENTER PHASE 2 UNIT 2

#### SITE ADDRESS

3821 MASTHEAD NE  
ALBUQUERQUE, NM 87109



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Date Issue

RECEIVED

DEC 14 2011

HYDROLOGY  
SECTION



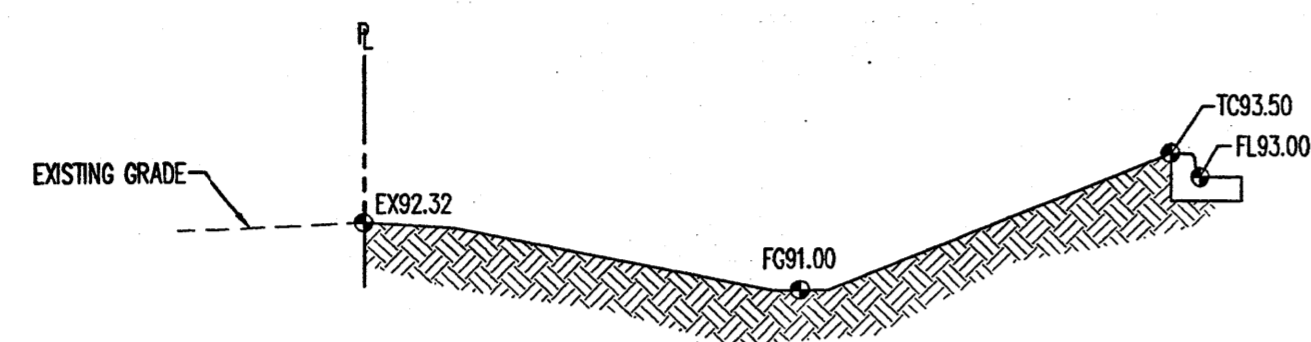
Replaced w/ new grading Plan  
Engineer stamp date 2-12-12

Bohannon & Huston

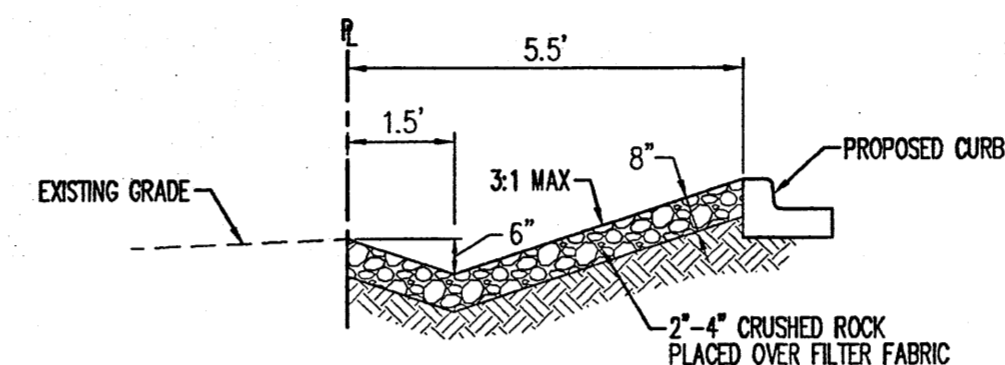
November 10, 2011

C1.0

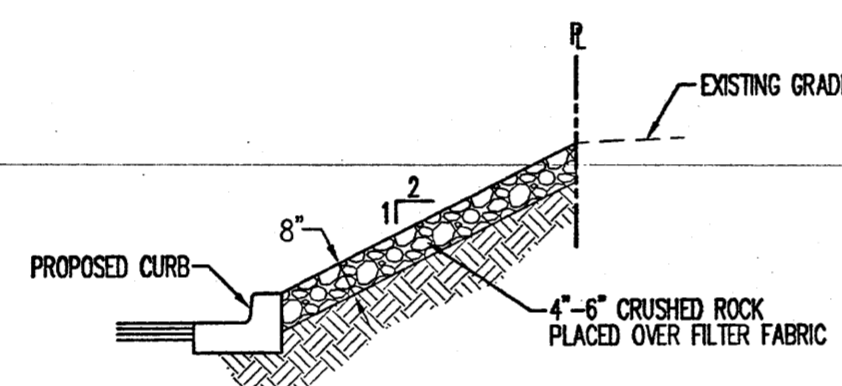
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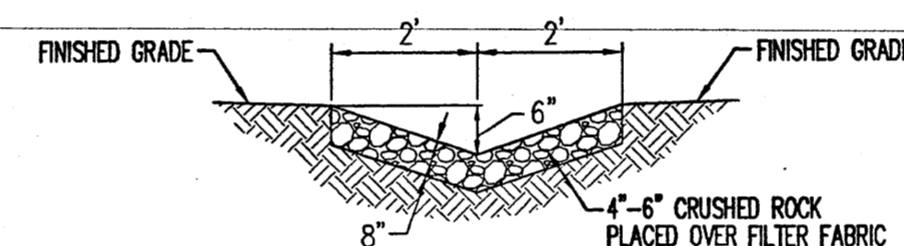
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N.T.S.



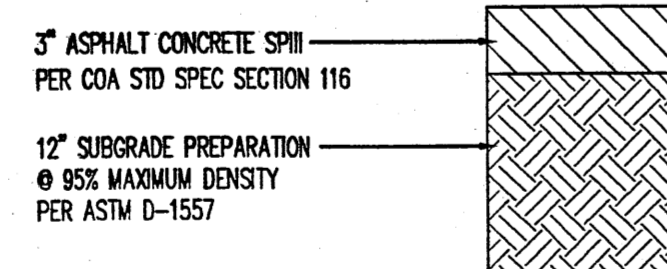
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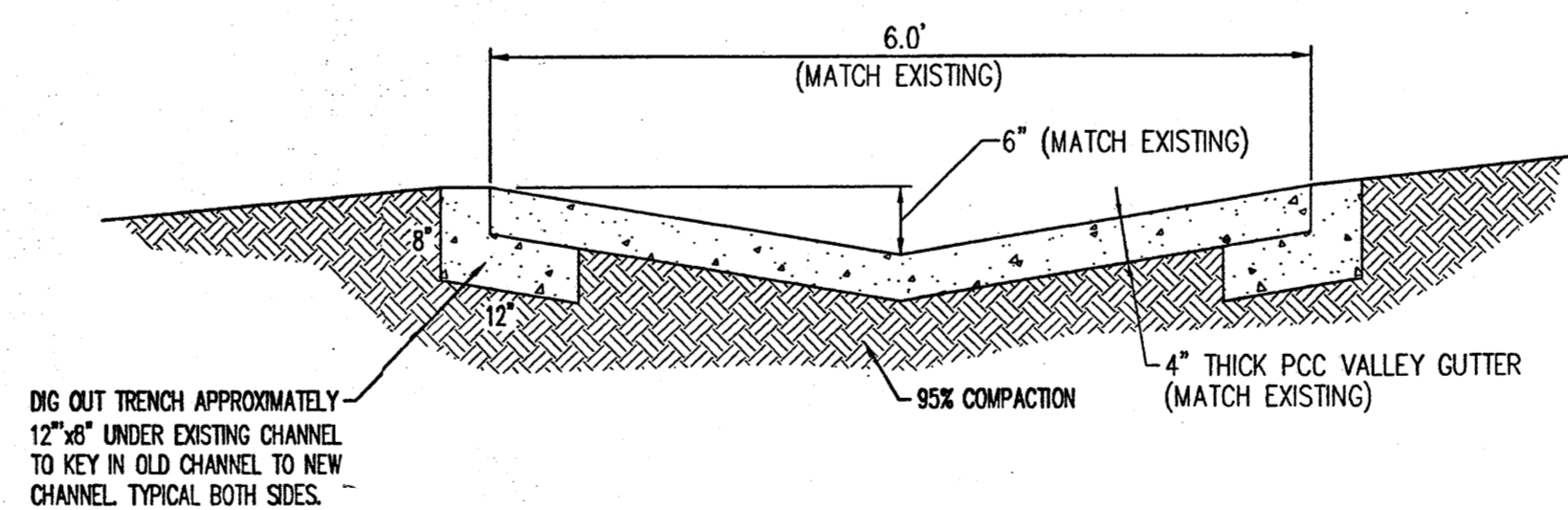
**SECTION C**  
N.T.S.



**SECTION D**  
N.T.S.

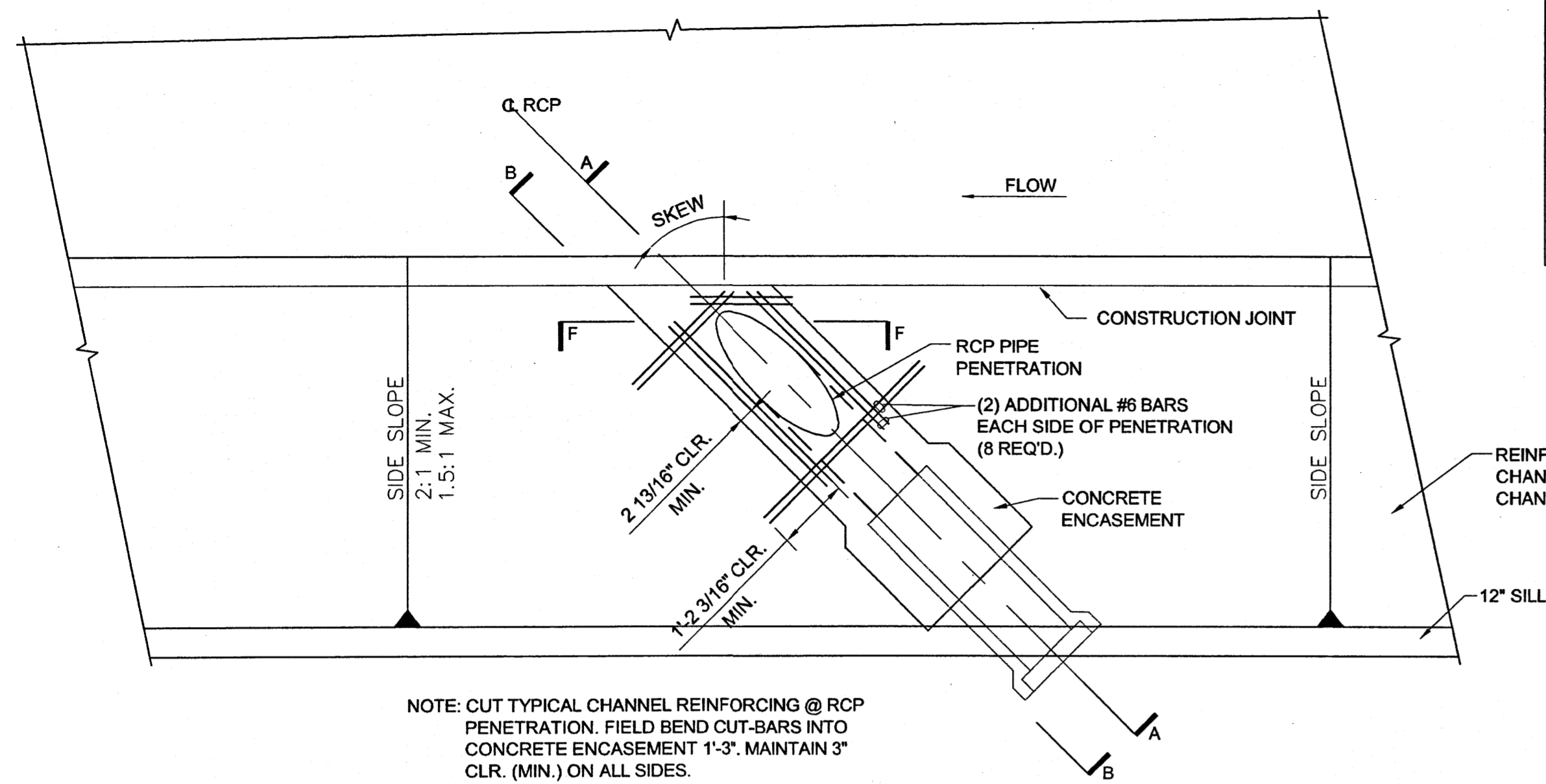


**ASPHALT PAVEMENT SECTION**  
N.T.S.

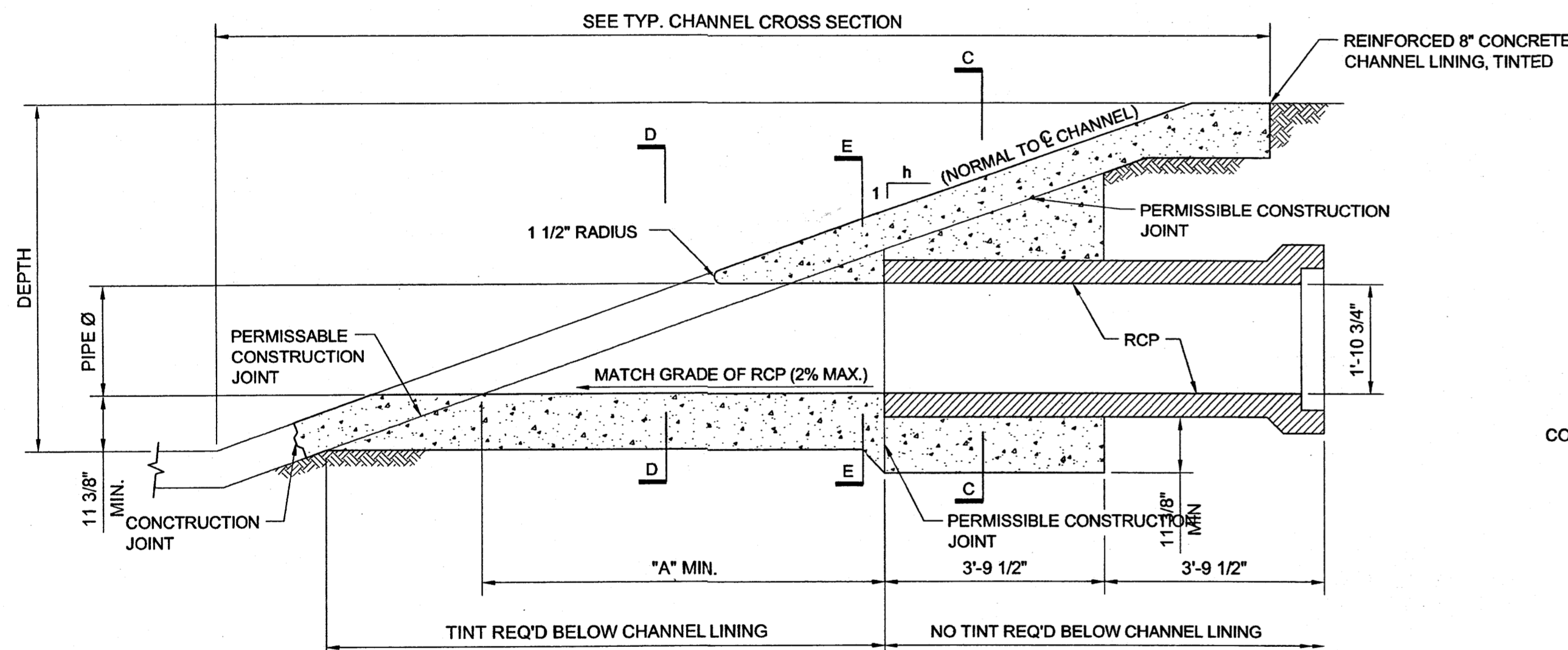


**AMAFCA DRAINAGE SWALE**  
N.T.S.

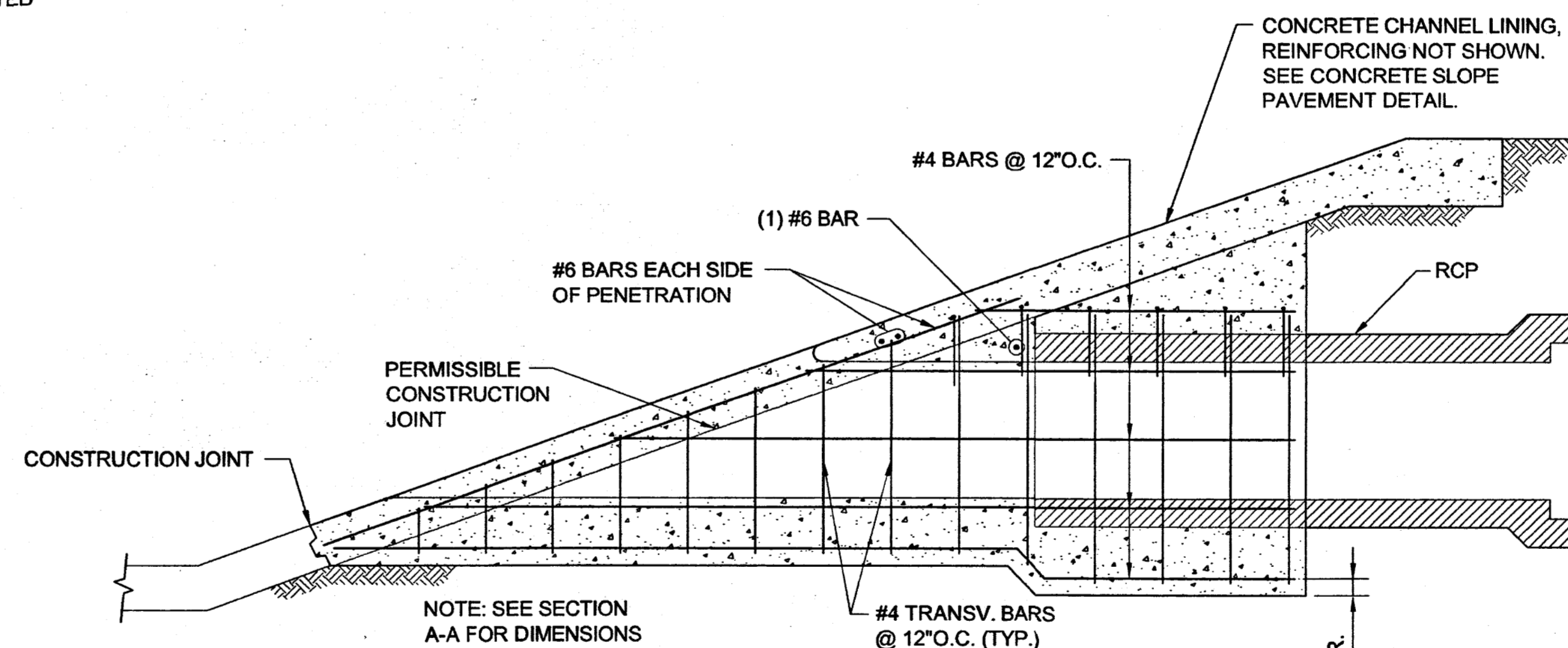




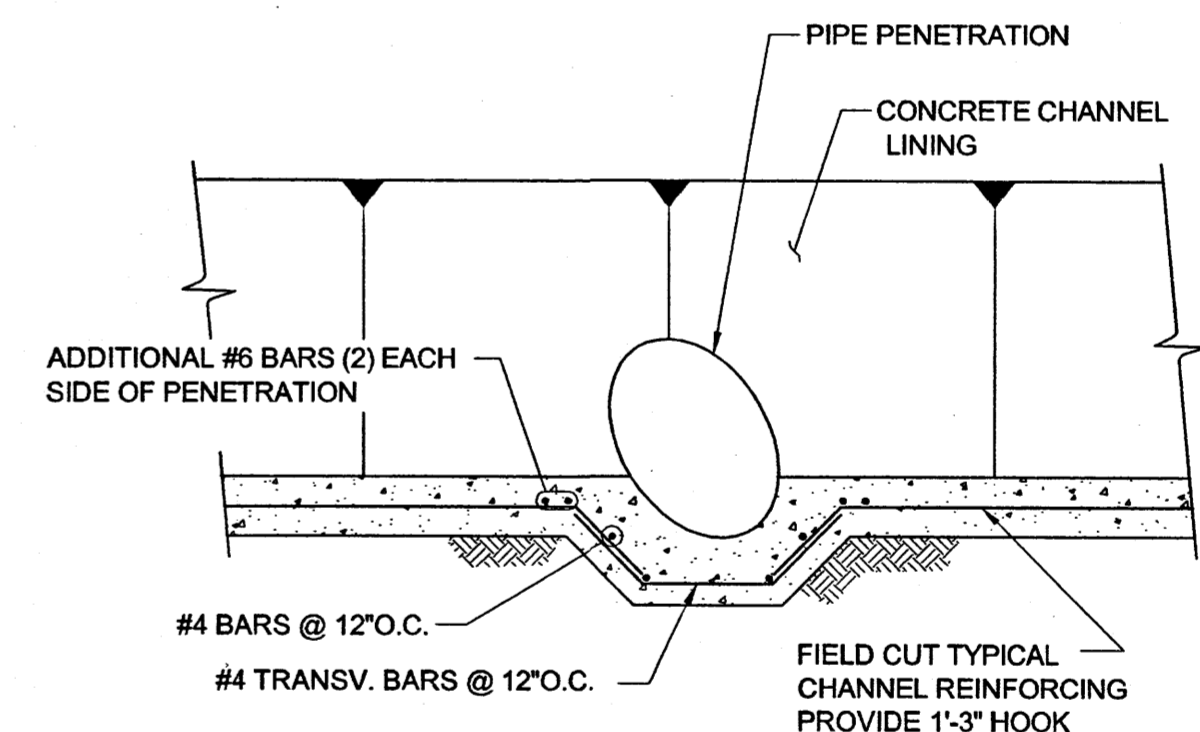
PIPE PENETRATION (PLAN VIEW)  
NO SCALE



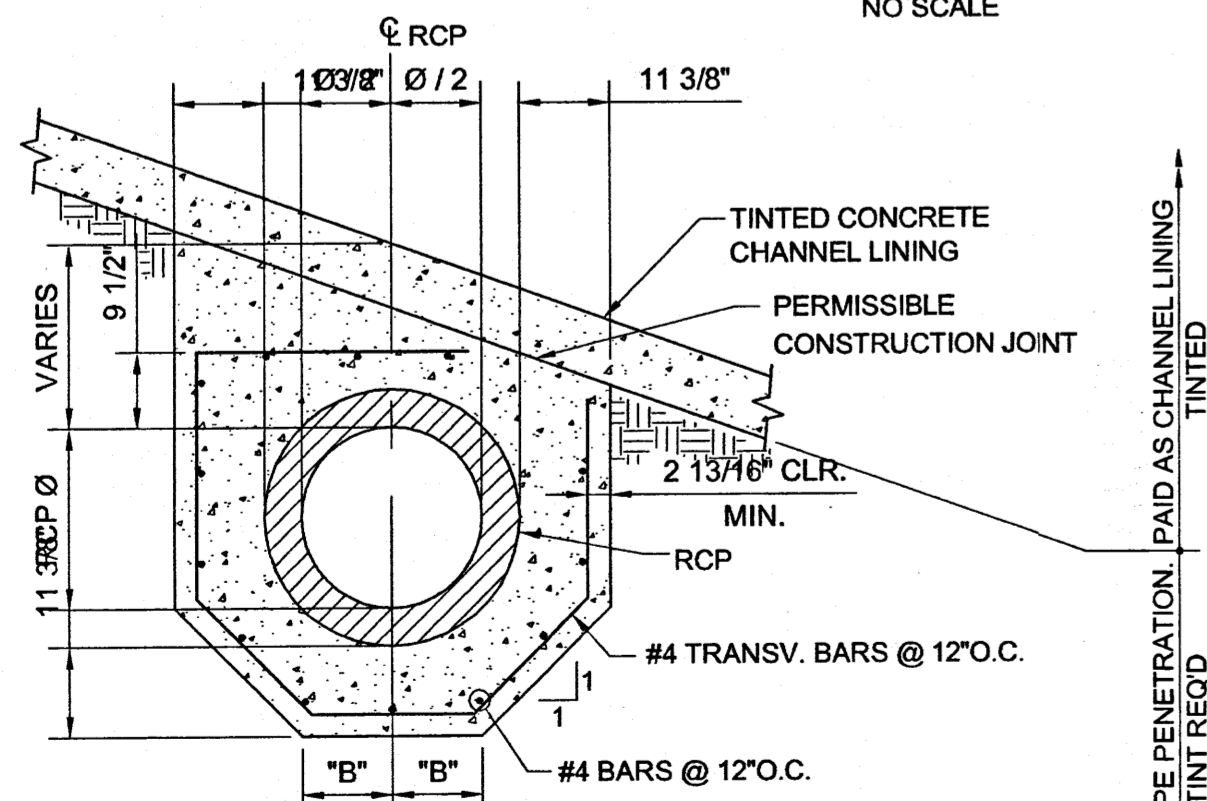
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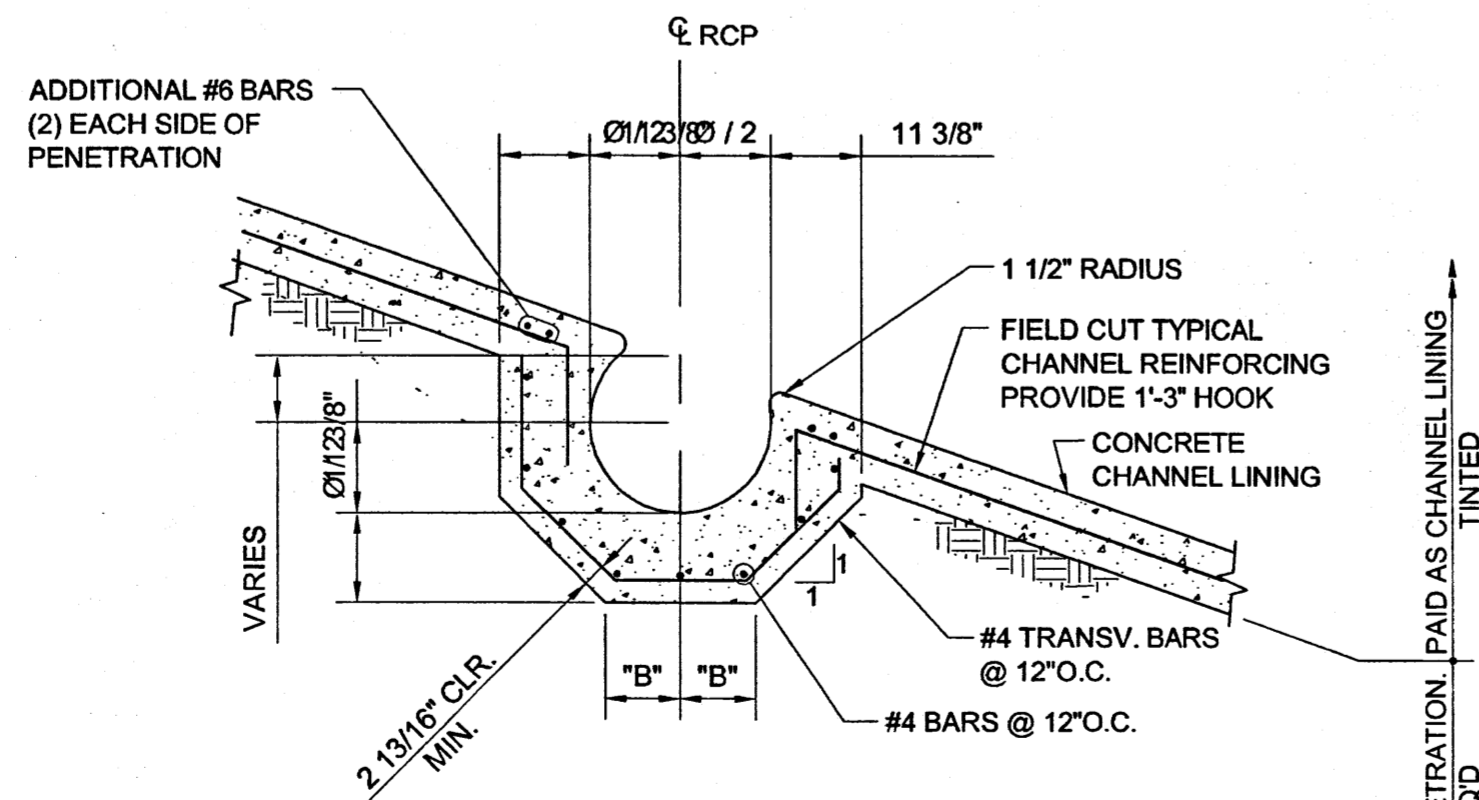
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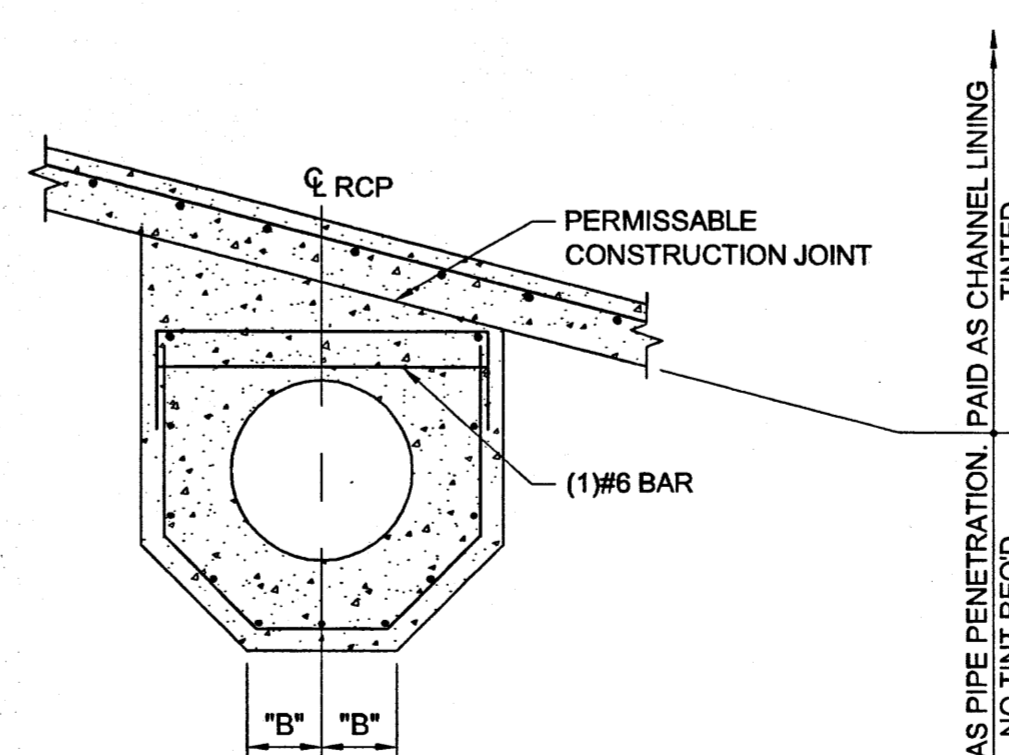
SECTION F-F  
NO SCALE



SECTION C-C  
NO SCALE



SECTION D-D  
NO SCALE



SECTION E-E  
NO SCALE

DIMENSION "A" FOR 1.5:1 SIDE SLOPE								
SKEW ANGLE (DEGREES)	PIPE DIAMETER (INCHES)							
	24	30	36	42	48	54	60	72
0-10	4'-9"	5'-6"	6'-3"	7'-0"	7'-10"	8'-7"	9'-4"	10'-10"
>10-20	4'-11"	5'-8"	6'-5"	7'-3"	8'-1"	8'-11"	9'-8"	11'-3"
>20-30	5'-2"	6'-0"	6'-11"	7'-9"	8'-7"	9'-6"	10'-4"	12'-1"
>30-45	5'-11"	7'-0"	8'-1"	9'-2"	10'-2"	11'-3"	12'-4"	14'-5"

DIMENSION "A" FOR 2:1 SIDE SLOPE								
SKEW ANGLE (DEGREES)	PIPE DIAMETER (INCHES)							
	24	30	36	42	48	54	60	72
0-10	5'-9"	6'-9"	7'-10"	8'-10"	9'-10"	10'-10"	11'-11"	13'-11"
>10-20	5'-11"	7'-0"	8'-1"	9'-2"	10'-3"	11'-3"	12'-4"	14'-6"
>20-30	6'-4"	7'-6"	8'-7"	9'-9"	10'-11"	12'-1"	13'-3"	15'-7"
>30-45	7'-4"	8'-9"	10'-2"	11'-7"	13'-0"	14'-5"	15'-10"	18'-9"

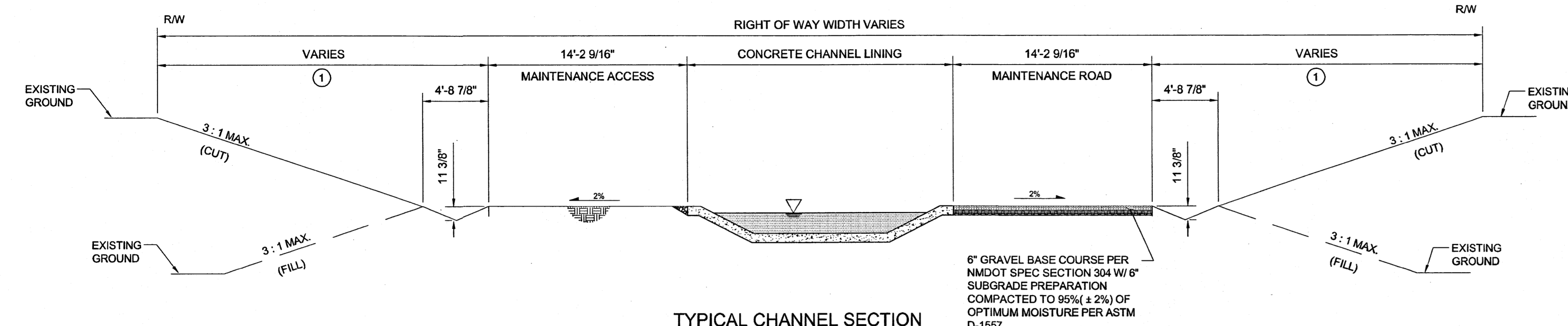
DIMENSION "B"								
PIPE DIAMETER (INCHES)								
24	30	36	42	48	54	60	72	
10"	11"	1'-1"	1'-2"	1'-3"	1'-4"	1'-6"	1'-8"	

#### GENERAL NOTES:

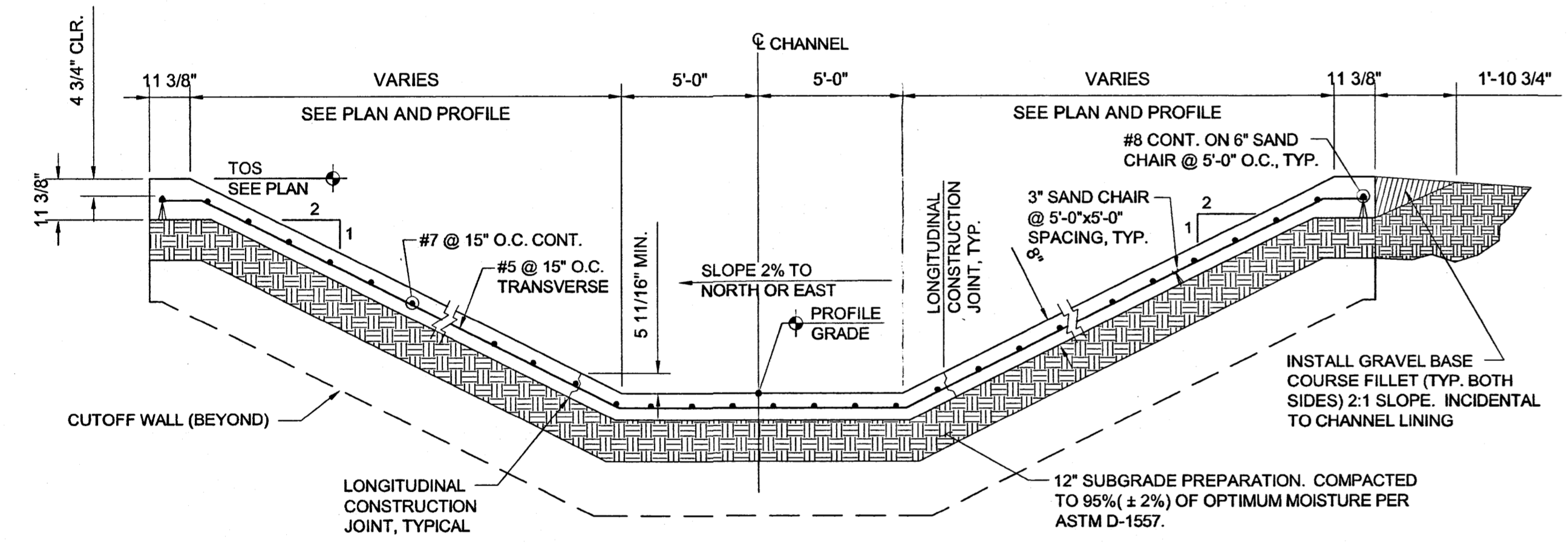
1. THE PIPE PENETRATION DETAILED HEREIN SHALL BE PAID FOR UNDER LUMP SUM AND SHALL BE COMPENSATION FOR THE PENETRATION COMPLETE AND IN PLACE. INCLUDED IN THIS WORK (BUT NOT LIMITED TO) IS GRADING, SUBGRADE PREPARATION, REINFORCED CONCRETE, CONSTRUCTION JOINTS, CONCRETE PLACEMENT AND FINISHING. NOTE THE MEASUREMENT FOR 8" CHANNEL LINING IS CONTINUOUS AND UNINTERRUPTED AT THE PENETRATION LOCATION.
2. ALL CULVERT PIPE PLACED UNDER THE CHANNEL LINING OR WITHIN AMAFCA RIGHT-OF-WAY SHALL BE RCP CLASS III MIN.
3. FOR PIPE PENETRATIONS INTO EXISTING CHANNELS, USE CHANNEL REMOVAL DETAILS FROM AMAFCA STANDARD DRAWING 102.

 <b>ALBUQUERQUE METROPOLITAN</b> <b>ARROYO FLOOD CONTROL AUTHORITY</b>			
<b>AMAFCA</b> <b>STANDARD DETAILS</b>			
<b>RCP CHANNEL PENETRATION</b> <b>PIPE DIAMETER &gt; 12", &lt; 45° SKEW</b>			
REV	DATE	DESCRIPTION	CHKD
DRAWING NO. 104		MAP NO.	SHEET OF

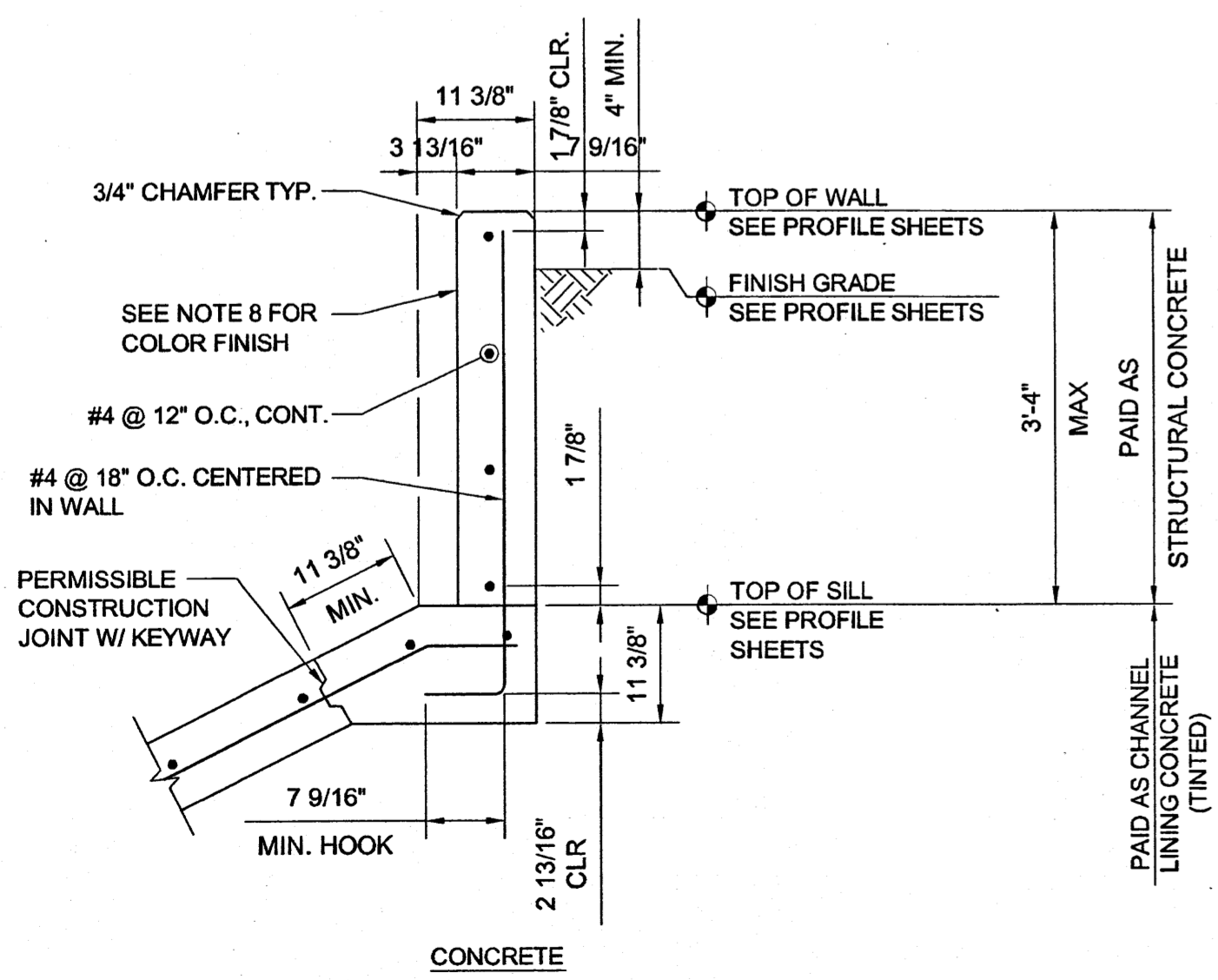
ISSUE DATE: 8-12-2008



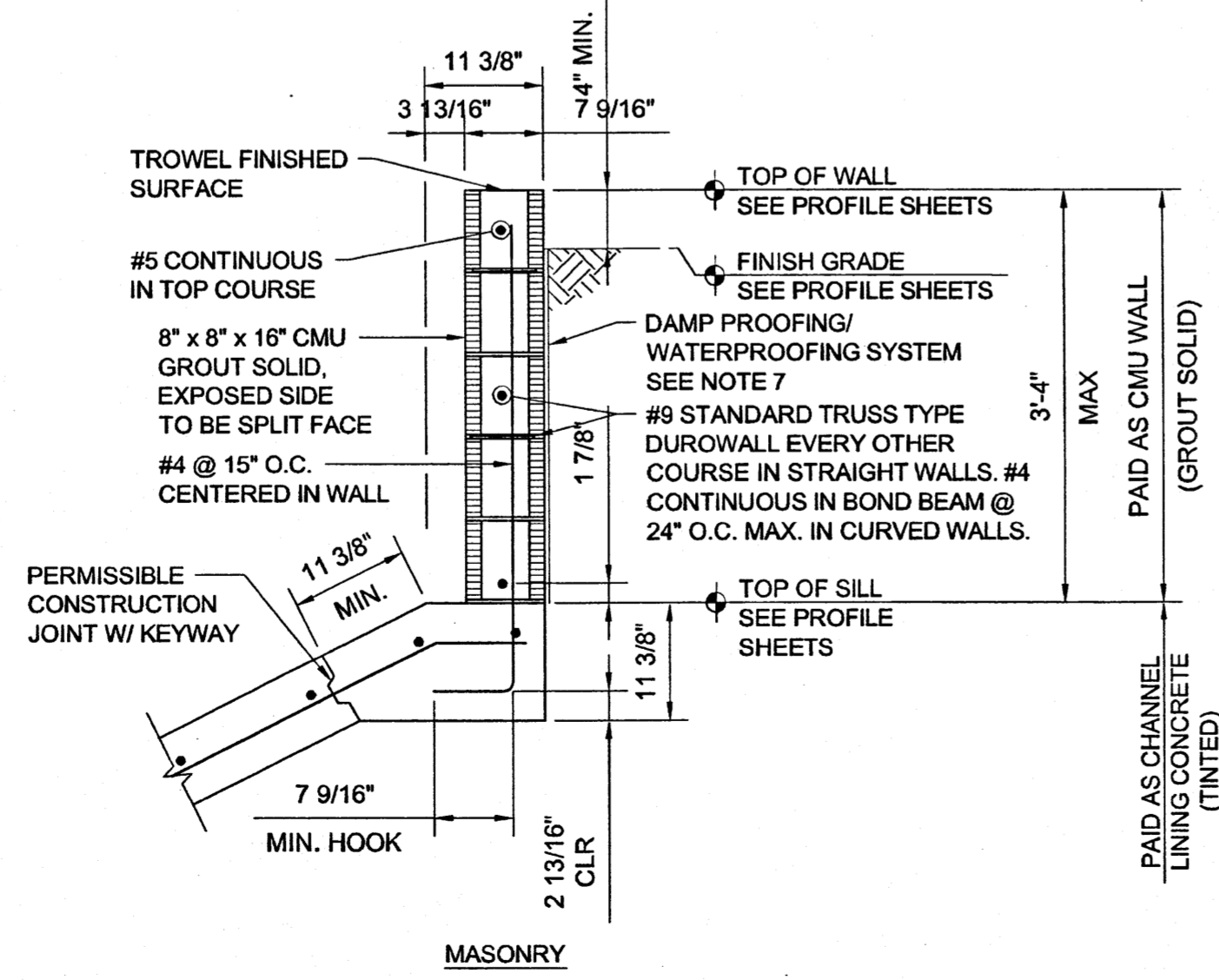
TYPICAL CHANNEL SECTION



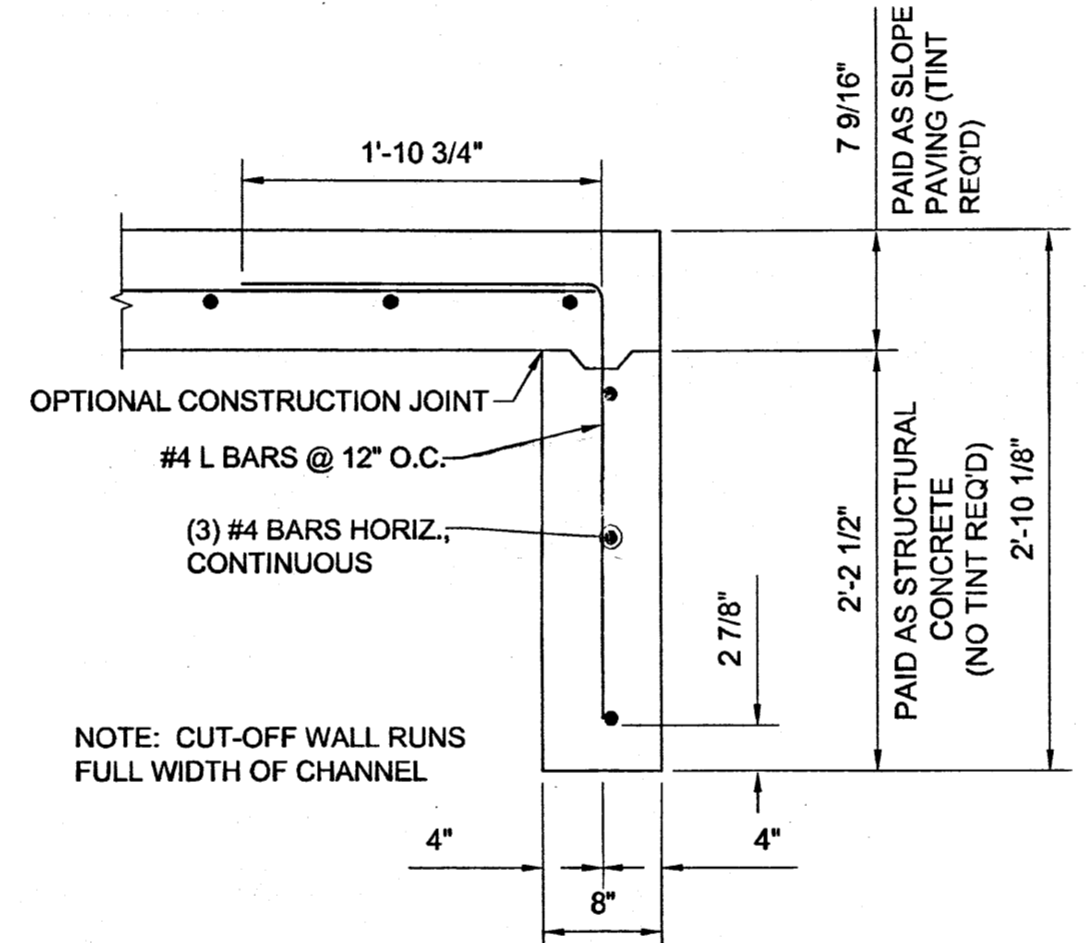
CONCRETE CHANNEL LINING



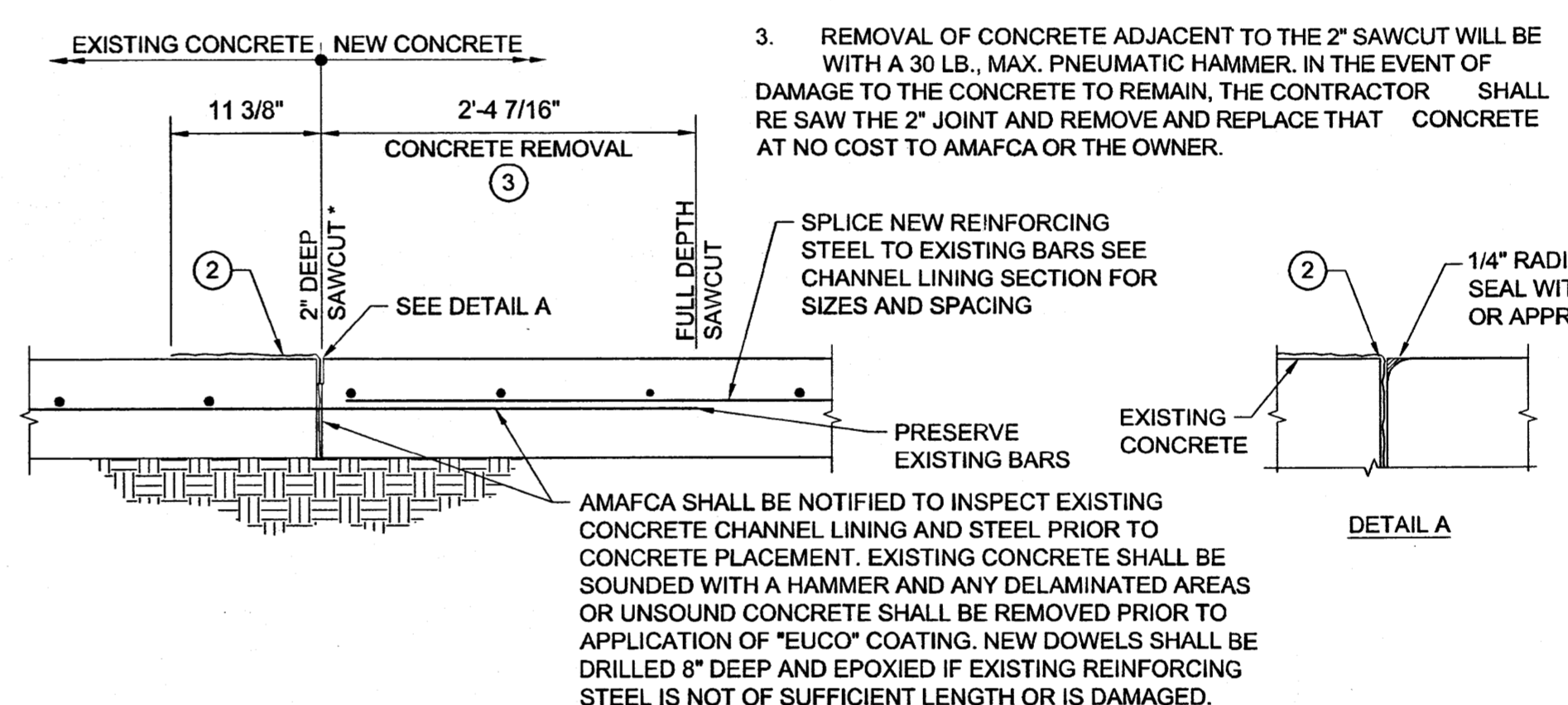
TYPICAL SILL WALL DETAIL



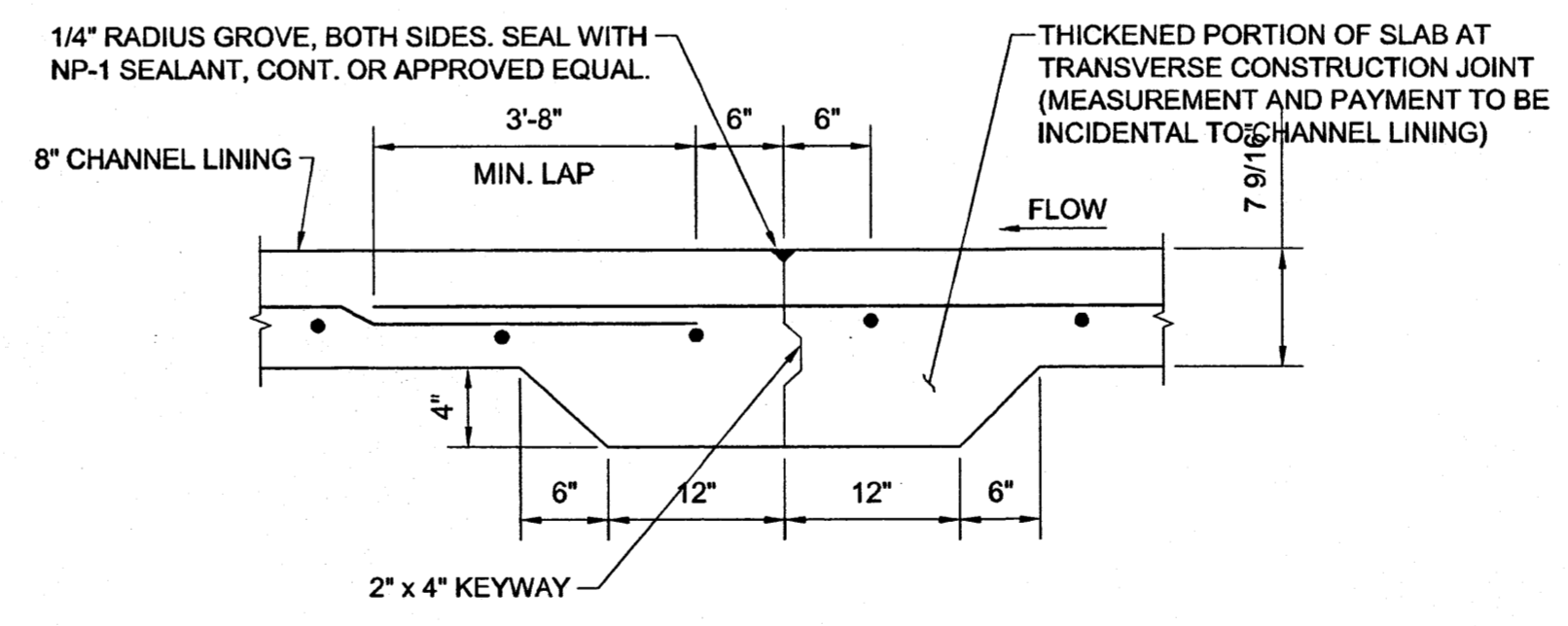
MASONRY



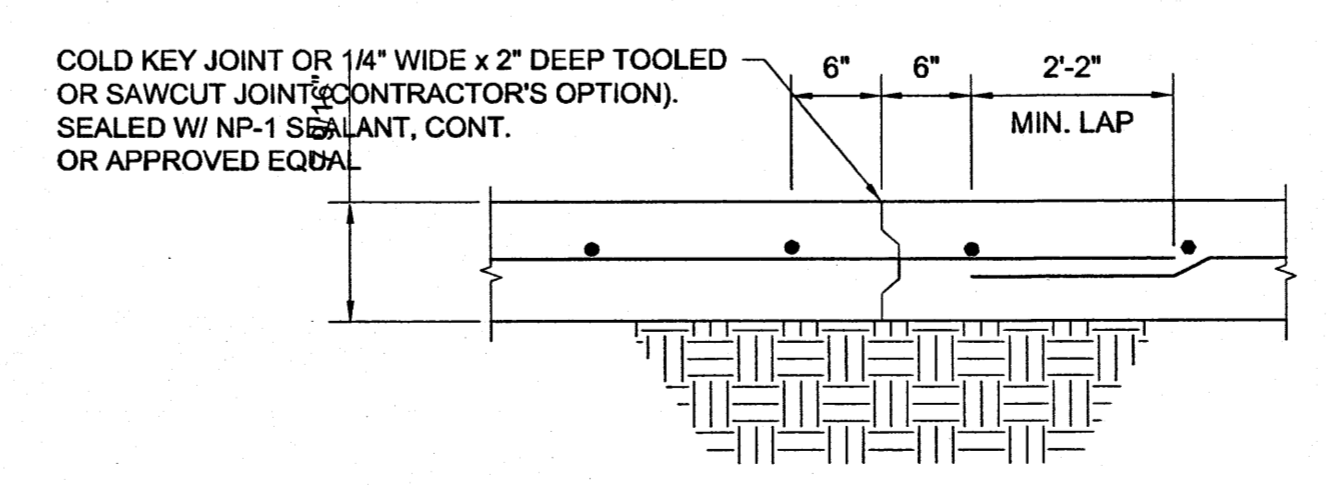
TYPICAL CUT-OFF WALL SECTION



NEW TO EXISTING CHANNEL LINING CONSTRUCTION JOINT DETAILS



TYPICAL TRANSVERSE CONSTRUCTION JOINT DETAIL



TYPICAL LONGITUDINAL CONSTRUCTION JOINT DETAIL

NOTES FOR CHANNEL CONSTRUCTION

- CAST-IN-PLACE CONCRETE: CONCRETE SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS. ( $f_c = 3000$  psi MINIMUM). 3/4" CHAMFER ON ALL EXPOSED FORMED EDGES UNLESS NOTED OTHERWISE.
- REINFORCING STEEL: STEEL REINFORCEMENT AND PLACEMENT SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND SHALL CONFORM TO ASTM A615, GRADE 60. ALL LAP SPLICES SHALL BE CLASS "B" UNLESS NOTED OTHERWISE. REINFORCING STEEL SHALL BE INCIDENTAL TO CONCRETE BID ITEMS.
- ALL EXPOSED CHANNEL SURFACES SHALL BE GIVEN A CLASS 3 FLOAT & TINE FINISH. TINE SHALL BE TRANSVERSE TO FLOW.
- ALL EXPOSED CONCRETE SHALL BE TINTED WITH SAN DIEGO BUFF (DAVIS COLOR 5237) AT THE REDUCED DOSAGE OF 1 lb PER SACK OF CEMENT, OR APPROVED EQUAL. TINT SHALL BE INCIDENTAL TO THE COST OF THE RESPECTIVE CONCRETE.
- NEW TO EXISTING CHANNEL CONSTRUCTION: EUCO ARC LITHIUM NITRATE TREATMENT IS REQUIRED FOR ANY EXISTING CONCRETE CHANNELS. SEE DETAILS FOR INSTALLATION REQUIREMENTS, THIS SHEET.
- MINIMUM REBAR LAP LENGTH (CLASS B LAPS):  
#5 = 22"  
#7 = 43"  
#8 = 54"
- THE EARTH SIDE OF SILL WALLS SHALL BE WATERPROOFED AT IRRIGATED AREAS AND DAMP PROOFED AT ALL OTHER AREAS. WATERPROOFING SHALL BE CONWRAP BARRIER CS-212 AS MANUFACTURED BY CONCRETE SEALANTS, INC. (MEMBRANE THICKNESS 0.100 INCHES MINIMUM) OR ENGINEER APPROVED EQUAL. DAMP PROOFING SHALL BE HYDROCODE 700B OR ENGINEER APPROVED EQUAL.
- ALL EXPOSED SURFACES OF THE CHANNEL SILL WALLS SHALL RECEIVE A "THOROCOAT" CLASS 4 FINISH. THE COLOR SHALL BE SIMILAR TO THE TINTED CHANNEL LINING AND SHALL BE APPROVED BY AMAFCA. "THOROCOAT" SHALL BE APPLIED TO THE BACK OF WALLS 6 INCHES BELOW GRADE.

KEYED NOTES

- NATIVE RE-VEGETATION. SEE CITY OF ALBUQUERQUE SPECIFICATION SECTION 1012. GRAVEL MULCH IS REQUIRED FOR SLOPES GREATER THAN 3H:1V.
- EUCO ARC LITHIUM NITRATE COATING OR APPROVED EQUAL APPLIED TO VERTICAL SURFACE AND 12" OF TOP SURFACE OF EXISTING CONCRETE TO REMAIN.
- REMOVAL OF CONCRETE ADJACENT TO THE 2" SAWCUT WILL BE WITH A 30 LB. MAX. PNEUMATIC HAMMER. IN THE EVENT OF DAMAGE TO THE CONCRETE TO REMAIN, THE CONTRACTOR SHALL RE SAW THE 2" JOINT AND REMOVE AND REPLACE THAT CONCRETE AT NO COST TO AMAFCA OR THE OWNER.

ALBUQUERQUE METROPOLITAN  
ARROYO FLOOD CONTROL AUTHORITY

AMAFCA STANDARD DETAILS			
CHANNEL STRUCTURE SECTIONS AND DETAILS			
REV	DATE	DESCRIPTION	CHKD
DRAWING NO.	102	MAP NO.	SHEET OF

P:\20120120\CDP\Plans\General\20120120md03.dwg  
November 21, 2011 - 4:41pm

P:\20120120\CDP\Plans\General\20120120md03.dwg  
Mon, 21-Nov-2011 - 4:41:pm, Plotted by: BORTEGA

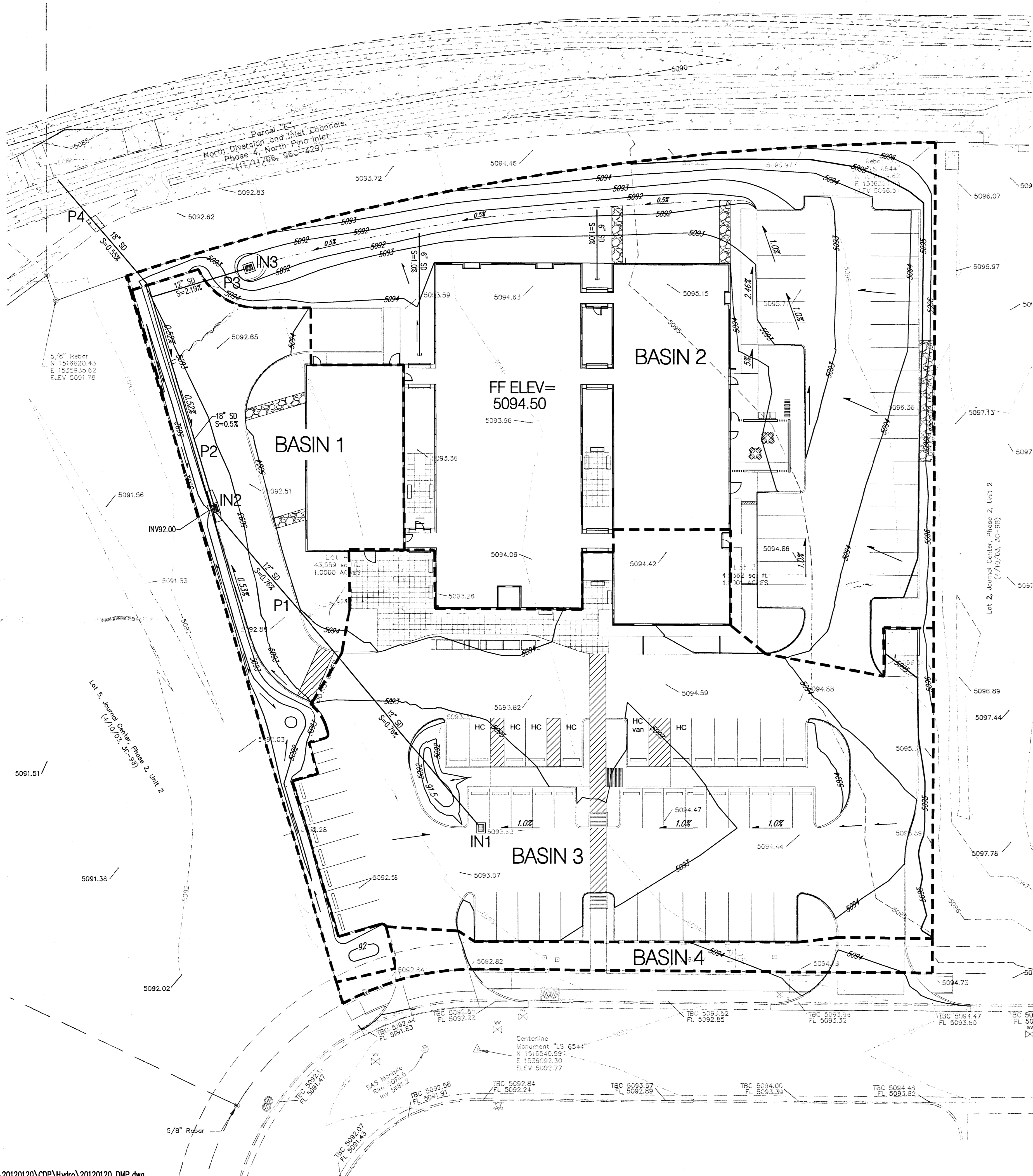
FOR INFORMATION ONLY

218. girard s.e., albuquerque n.m. 87108  
ph (505) 255-4033  
dnca

Renal Medicine Associates Clinic  
Journal Center  
Albuquerque, New Mexico

November 10, 2011

C3.2  
AMAFCA  
Standard  
Detail



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION  
THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A FINAL DRAINAGE MANAGEMENT PLAN AND FINAL GRADING PLAN FOR DEVELOPMENT OF THE RENAL MEDICAL ASSOCIATES BUILDING LOCATED IN THE JOURNAL CENTER, PHASE 2, UNIT 2, LOT 3 AND A PORTION OF LOT 4 IN NE ALBUQUERQUE.

II. SITE LOCATION  
THE SITE IS CURRENTLY LEGALLY DESCRIBED AS LOT 3A JOURNAL CENTER PHASE 2 UNIT 2 (+/- 1.8 ACRES). THE SITE IS LOCATED WITHIN ZONE ATLAS MAP #0-17, AND IS IN HYDROLOGIC ZONE 2. THE SITE IS LOCATED ON WASTHEAD IMMEDIATELY EAST OF BARTLETT.

III. EXISTING HYDROLOGIC CONDITIONS  
CURRENTLY THE SITE (1.8 AC.) IS UNDEVELOPED LAND. THE SURROUNDING STREETS AND INFRASTRUCTURE ARE IN PLACE. THE SITE DRAINS FROM NORTHEAST TO SOUTHWEST IN A SHEET FLOW CONDITION. THE APPROVED DRAINAGE PLAN OF JOURNAL CENTER - PHASE 2 (FILE NUMBER D17/D3AA) INDICATES THAT LOT 3 WILL DRAIN SOUTH TO WASTHEAD AND LOT 4 WILL DRAIN NORTH TO THE NORTH PINO ARROYO. THESE LOTS HAVE BEEN APPROVED FOR FREE DISCHARGE TO THE ADJACENT PUBLIC STREET AND THE NORTH PINO ARROYO. THE SITE IS ADJACENT TO THE NORTH PINO ARROYO WHICH IS DESIGNATED AS ZONE 'A' ON FLOOD INSURANCE RATE MAP, PANEL 35001C0136G.

IV. PROPOSED HYDROLOGIC CONDITIONS  
THE PROPOSED CONDITIONS FOR THE RENAL MEDICAL ASSOCIATES BUILDING ARE SHOWN ON THE GRADING PLAN. THE HYDROLOGIC ANALYSIS FOR THIS AREA IS BASED ON DRAINAGE REQUIREMENTS FOR THE 100-YR, 6-HR STORM EVENT IN ACCORDANCE WITH CHAPTER 22.2 OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL. THE APPROVED DRAINAGE PLAN FOR JOURNAL CENTER - PHASE 2 ASSUMED LAND TREATMENTS OF 85% D, 10% C AND 5% B. IN THE 100 YEAR, 6 HOUR STORM THIS RESULTS IN A PEAK FLOW RATE OF 4.42 CFS PER ACRE. WITH THIS DEVELOPMENT, A STORM DRAIN COLLECTION SYSTEM IS PROPOSED. THIS STORM DRAIN WILL CONVEY DRAINAGE FROM THE ENTIRE SITE, EXCEPT A SMALL DRAINAGE BASIN (BASIN B4) ADJACENT TO WASTHEAD, TO THE NORTH PINO ARROYO. INLETS AND STORM DRAIN PIPES ARE DESIGNED TO CONVEY THE DESIGN STORM EVENT. THE NORTHEAST PORTION OF THE SITE DRAINS TO A SHALLOW WATER HARVESTING / WATER QUALITY POND BEFORE BEING INTERCEPTED BY A STORM DRAIN INLET. A WATER QUALITY SCREEN WILL BE INCORPORATED INTO THE DESIGN TO INTERCEPT FLOATABLES AND TRASH. LAND TREATMENTS FOR INDIVIDUAL DRAINAGE BASINS ARE SHOWN ON THE PROPOSED CONDITIONS BASIN DATA TABLE, STORM DRAIN PIPE TABLE AND INLET TABLE SHOWS ACTUAL FLOWS AND CAPACITY FOR EACH INLET AND REACH OF THE STORM DRAIN. BASED ON THE PROPOSED LAND TREATMENTS THE DEVELOPED FLOWS ARE SLIGHTLY LESS THAN THE PEAK FLOW RATES SHOWN ON THE APPROVED DRAINAGE PLAN FOR JOURNAL CENTER - PHASE 2.

V. CONCLUSION  
THIS DRAINAGE MANAGEMENT PLAN PROVIDES FOR GRADING AND DRAINAGE ELEMENTS WHICH ARE CAPABLE OF SAFELY PASSING THE 100 YEAR STORM IN ACCORDANCE WITH CITY REQUIREMENTS AND ARE IN CONFORMANCE WITH THE PREVIOUSLY APPROVED MASTER DRAINAGE PLAN FOR JOURNAL CENTER, PHASE 2. WITH THIS SUBMITTAL WE ARE REQUESTING GRADING AND DRAINAGE PLAN APPROVAL FOR BUILDING PERMIT.

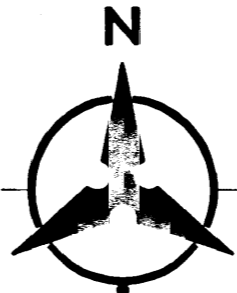
LEGEND

--- DRAINAGE BASIN

RENAL MEDICINE ASSOCIATES CLINIC											
Proposed Conditions Basin Data Table											
This table is based on the DPM Section 22.2, Zone: 2											
BASIN ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (cfs)	WT E (inches)	V(100) <sub>360</sub> (CF)	V(100) <sub>440</sub> (CF)
			A	B	C	D					
PROPOSED CONDITIONS											
B1	11084	0.25	0.0%	0.0%	38.0%	62.0%	4.11	1.05	1.74	1611	1874
B2	35603	0.82	0.0%	1.0%	34.0%	65.0%	4.15	3.39	1.77	5251	6139
B3	29165	0.67	0.0%	0.0%	29.0%	71.0%	4.25	2.84	1.83	4455	5248
B4	2536	0.06	0.0%	0.0%	69.0%	31.0%	3.62	0.21	1.44	304	334
TOTAL	78388	1.80	-	-	-	-	4.16	7.49	6.78	11620.51	11621

RENAL MEDICINE ASSOCIATES CLINIC STORM DRAIN PIPE TABLE							
PIPE #	Contributing Basins & Pipes	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs	PIPE LENGTH ft	INVERT IN
STORM DRAIN PIPE							
P1	B3	12	0.76%	3.1	2.8	152.10	5088.35
P2	B1 & B3	18	0.56%	7.8	3.9	80.80	5087.90
P3	B2	12	2.19%	5.3	3.4	36.60	5088.20
P4	B1, B2 & B3	18	0.46%	7.1	7.3	56.20	5087.64
*CAPACITY IS BASED ON GRAVIT FLOW, USING MANNING'S EQUATION WITH n=0.013							

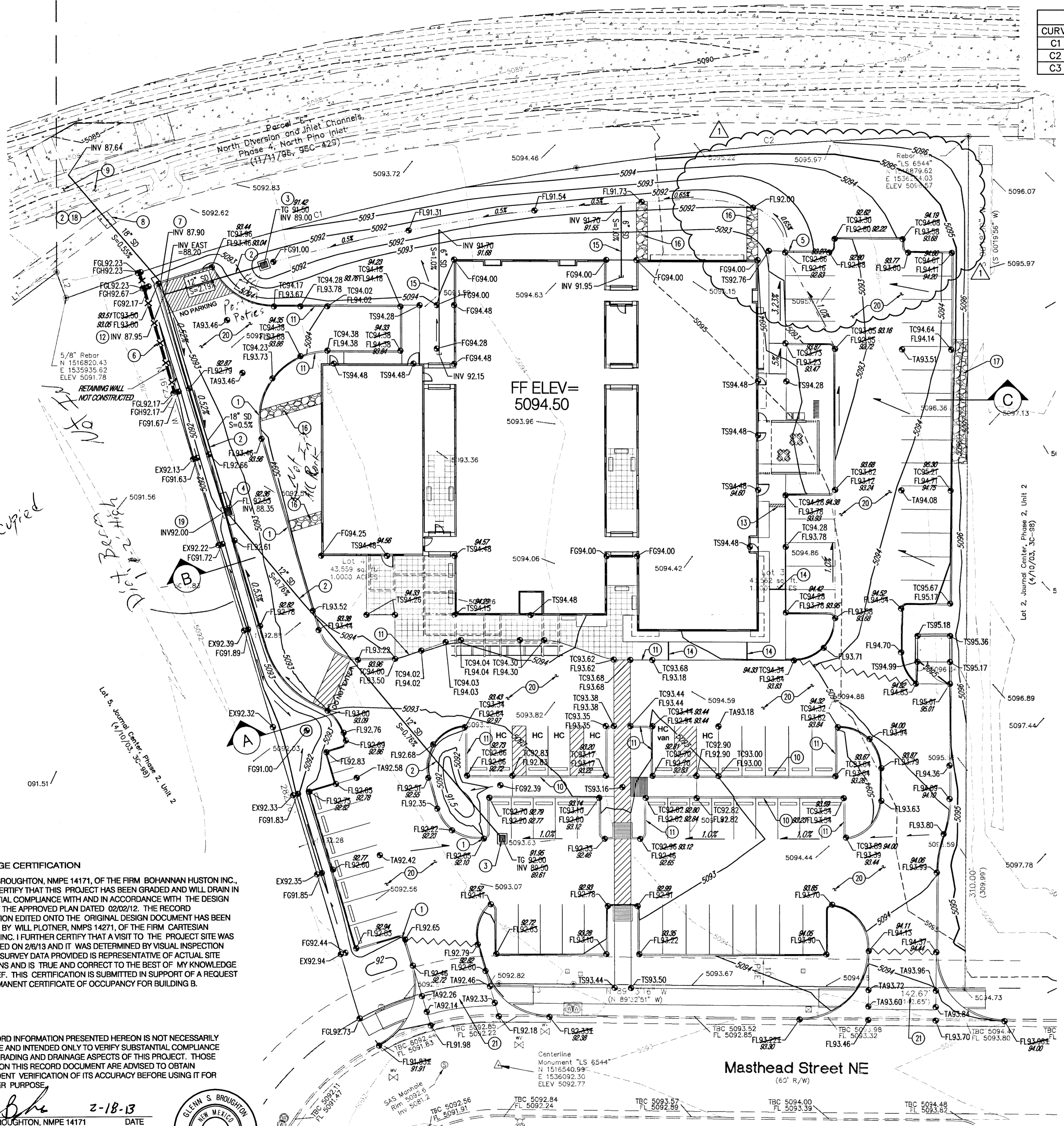
RENAL MEDICINE ASSOCIATES CLINIC INLET TABLE							
INLET #	CONTRIBUTING BASIN	INLET TYPE	TOP OF GRATE	ACTUAL FLOW	AVAIL HEAD FT	CAPACITY	Grate Calculation
IN1	B3	1-SGL D	51.59	2.8	0.65	11.8	Sump
IN2	B1 & B3	1-SGL C	50.70	3.9	0.5	5.1	Sump
IN3	B2	1-SGL D	46.19	3.4	0.5	8.0	Sump



SCALE: 1"=20'



Bohannon & Huston



PROPERTY BOUNDARY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	987.76'	192.00'	11°08'13"	N 75°36'40" E	191.69'
C2	987.76'	143.32'	8°18'47"	N 85°20'10" E	143.19'
C3	105.00'	53.14'	28°59'50"	S 75°54'51" W	52.57'

PROPERTY BOUNDARY LINE TABLE		
LINE	LENGTH	BEARING
L1	34.19	N 53°34'24" E
L2	9.94	S 19°55'19" E
L3	27.14	N 89°33'16" W

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TS=TOP OF SIDEWALK
- EX=EXISTING, FG=FINISHED GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED INTER CONTOURS
- PROPOSED CURB
- EASEMENT
- AS-BUILT GRADE

GRADING KEYED NOTES

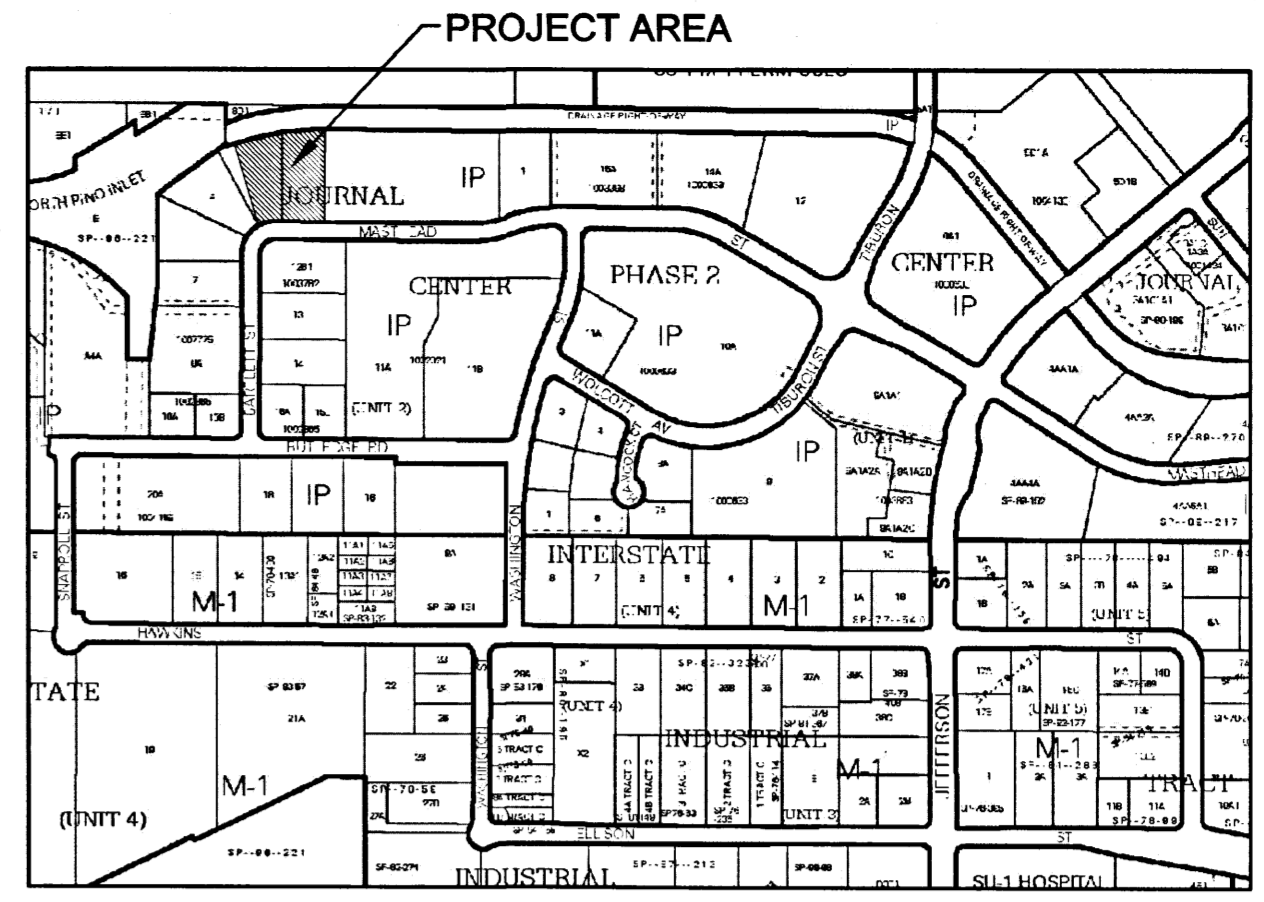
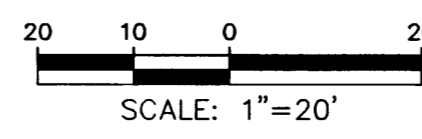
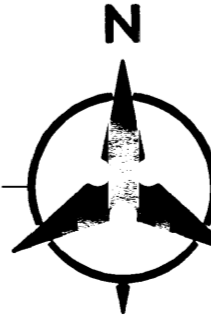
- INSTALL 12" WIDE CURB OPENING.
- INSTALL STORM DRAIN. SEE PLAN FOR SIZE, SLOPE & INVERT ELEVATIONS.
- INSTALL TYPE 'D' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
- INSTALL TYPE 'C' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
- INSTALL 36" WIDE CURB OPENING WITH WATER QUALITY SCREEN.
- BUILD SEGMENTAL RETAINING WALL AT PROPERTY LINE.
- INSTALL 22.5" PRE-FABRICATED BEND.
- SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL FOR INSTALLATION OF NEW STORM DRAIN. MATCH EXISTING. SEE DETAIL ON SHEET C3.0.
- SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL & HEADER CURB AT TOP OF CHANNEL. SEE AMAFCA STD DETAILS 102 & 104 FOR RCP CHANNEL PENETRATION.
- INSTALL FLUSH CURB.
- TRANSITION FROM FLUSH CURB TO 6" CURB.
- INSTALL 18"x18"x12" PRE-FABRICATED TEE.
- INSTALL 8" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 3" SCHEDULE 40 PVC PIPE THROUGH CURB.
- INSTALL 6" STORM DRAIN. SEE PLAN FOR SLOPE AND INVERT ELEVATIONS. SEE PLUMBING PLAN FOR CONTINUATION.
- INSTALL CRUSHED ROCK DRAINAGE SWALE. SEE SECTION 'D' ON SHEET C3.0 FOR DETAILS.
- INSTALL 4"-6" CRUSHED ROCK, 12" DEEP, IN AREAS GREATER THAN 3:1 SLOPE. PLACE OVER FILTER FABRIC.
- ALL STORM DRAIN PIPE WITHIN AMAFCA RIGHT OF WAY SHALL BE RCP.
- INSTALL 6" DIA PVC SLEEVE THROUGH BACK OF INLET BOX.
- INSTALL ASPHALT PAVEMENT SECTION PER DETAIL ON SHEET C3.0.
- PROVIDE PEDESTRIAN ROUTE ACROSS DRIVEWAY. 6' WIDE BY 2% CROSS SLOPE (MAX.)

LEGAL DESCRIPTION

LOT 3A JOURNAL CENTER PHASE 2 UNIT 2

SITE ADDRESS

3821 MASTHEAD NE  
ALBUQUERQUE, NM 87109



VICINITY MAP  
ZONE ATLAS PAGE D-17-2

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

**DRAINAGE CERTIFICATION**

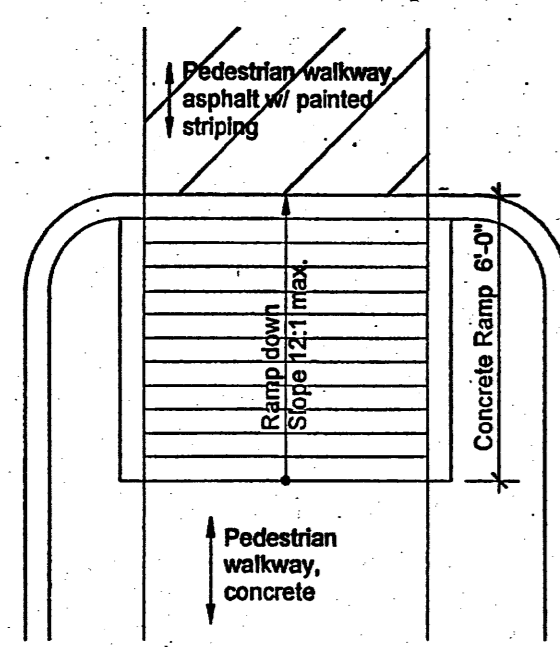
I, GLENN BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02/02/12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER, NMPS 14271, OF THE FIRM CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT A VISIT TO THE PROJECT SITE WAS CONDUCTED ON 2/6/13 AND IT WAS DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY FOR BUILDING B.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

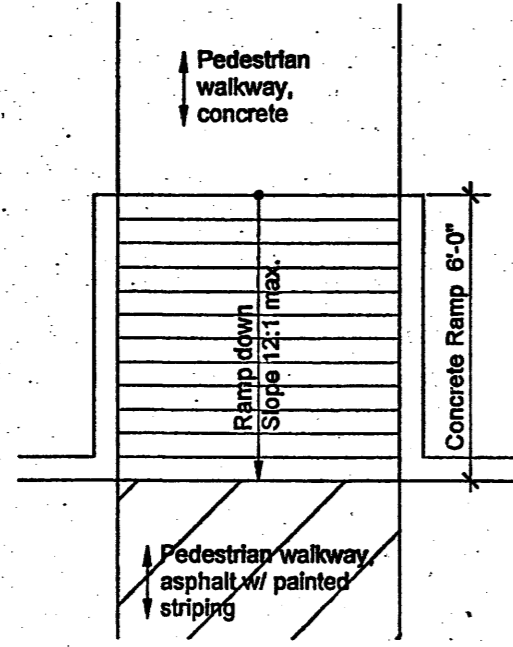
*Glenn S. Broughton*  
GLENN BROUGHTON, NMPE 14171  
DATE 2-18-13  
NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
14171

NOTE: AS A CONDITION OF APPROVAL FOR TEMPORARY AND PERMANENT CERTIFICATE OF OCCUPANCY, A GRADING AND DRAINAGE CERTIFICATION MUST BE SUBMITTED TO THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT FOR APPROVAL. THE CONTRACTOR IS RESPONSIBLE TO RETAIN A SURVEYOR LICENSED IN NEW MEXICO TO OBTAIN AS-BUILT SURVEY DATA AND RETAIN AN ENGINEER LICENSED IN NEW MEXICO TO PREPARE/CERTIFY AND SUBMIT THE GRADING CERTIFICATION TO THE CITY FOR APPROVAL.

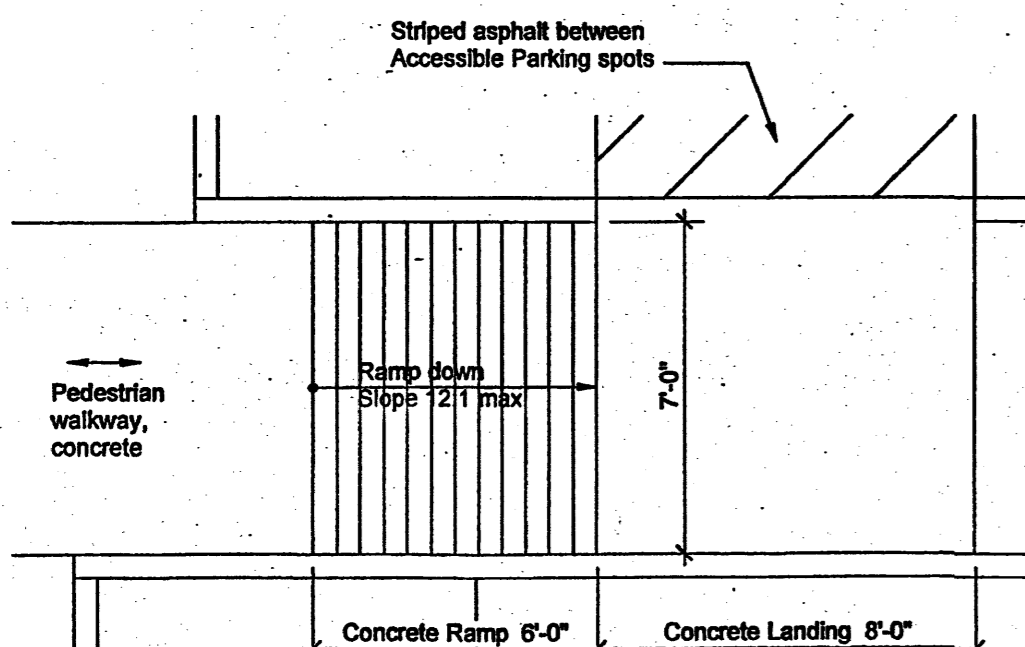
Date 2/2/12  
Issue  
REVISD GRADING DUE TO SITE PLAN REVISION



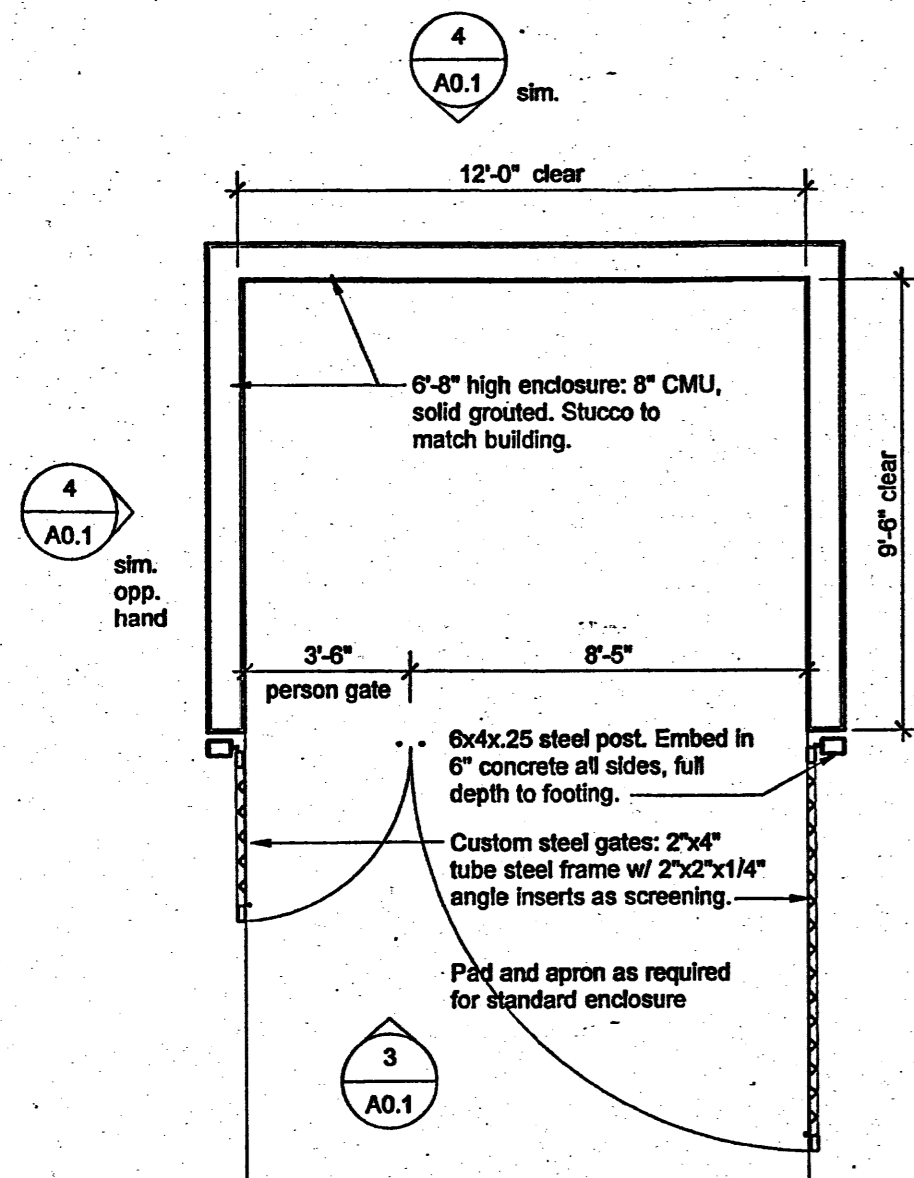
6 Ramp 1  
\*A0.1 Scale: 1/4" = 1'-0"



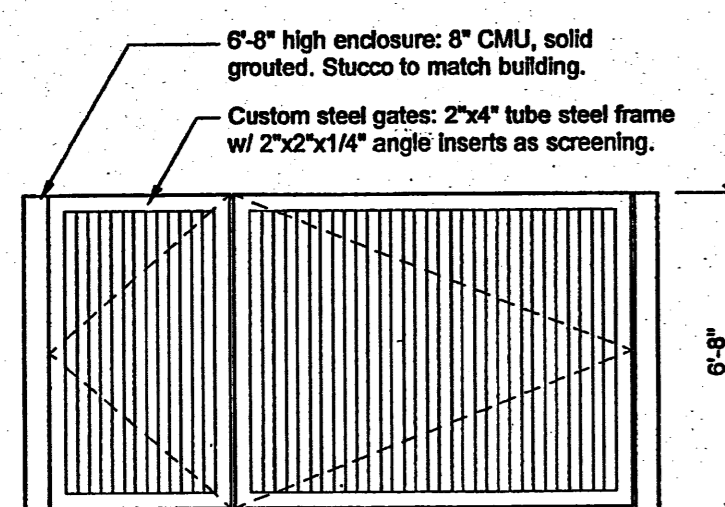
7 Ramp 2  
\*A0.1 Scale: 1/4" = 1'-0"



8 Ramp 3  
\*A0.1 Scale: 1/4" = 1'-0"

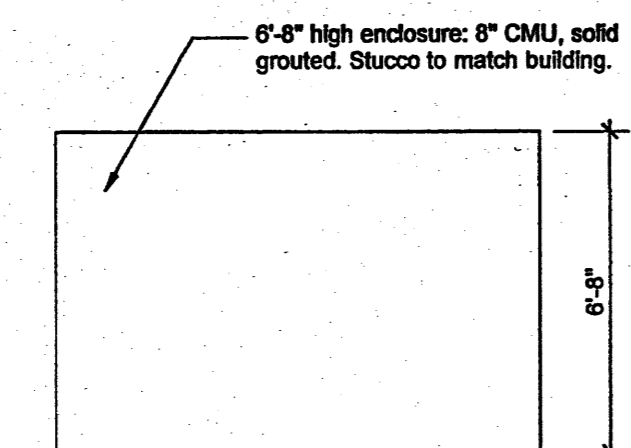


2 Plan: Refuse Enclosure  
\*A0.1 Scale: 1/4" = 1'-0"

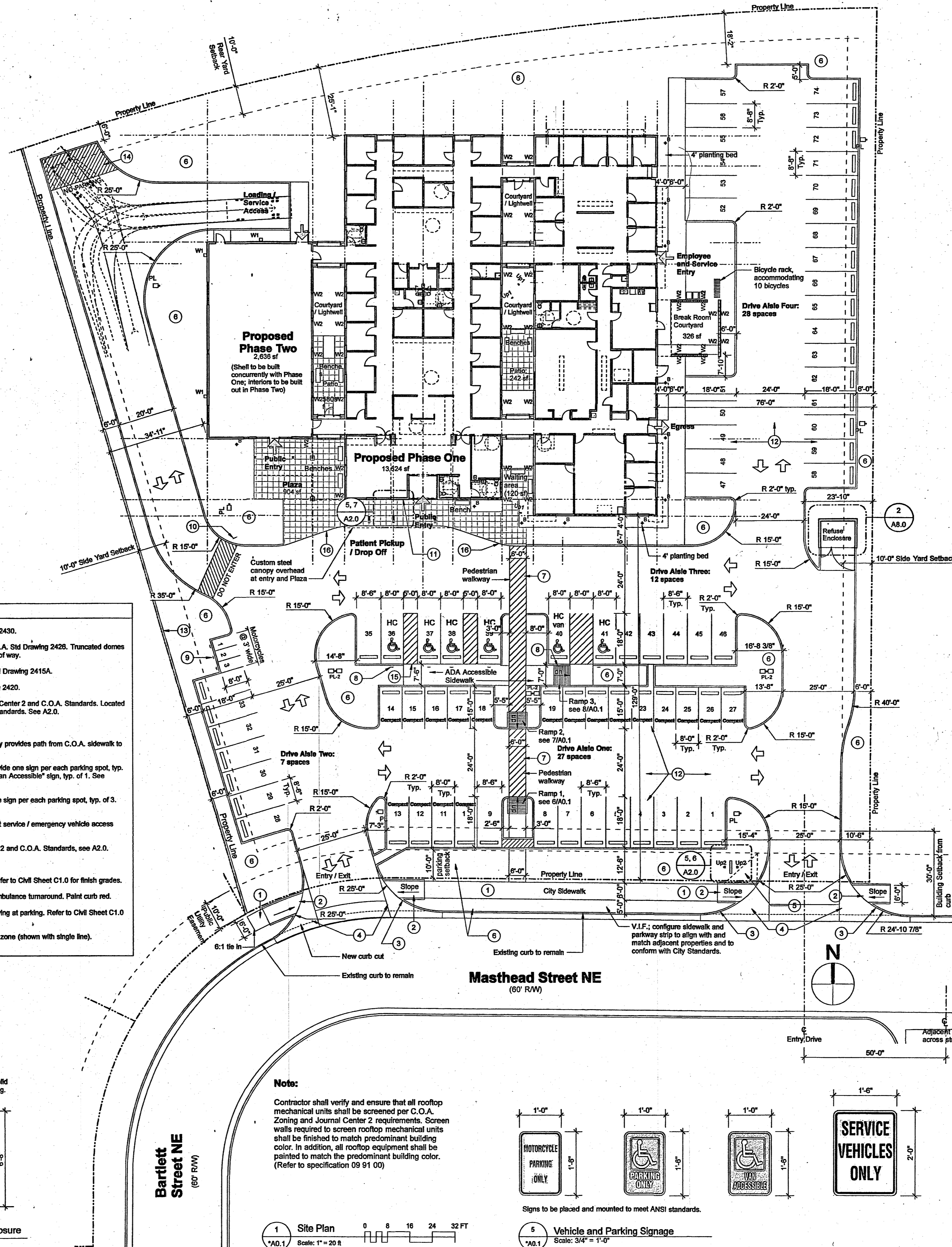


3 South Elevation: Refuse Enclosure  
\*A0.1 Scale: 1/4" = 1'-0"

- Drawing Notes**
- Construct new sidewalk per C.O.A. Std Drawing 2430.
  - Construct unidirectional curb access ramp per C.O.A. Std Drawing 2426. Truncated domes shall be installed at all ramps within C.O.A. right of way.
  - Construct new curb & gutter per C.O.A. Standard Drawing 2415A.
  - Construct 6" valley gutter per C.O.A. Std Drawing 2420.
  - Business and address number sign, per Journal Center 2 and C.O.A. Standards. Located outside 11'x11' clear sight triangle, per C.O.A. Standards. See A2.0.
  - Landscaped area, see Landscape Plan.
  - Striped 6' wide pedestrian walkway, typ. Walkway provides path from C.O.A. sidewalk to building entrance.
  - Signage for accessible access only parking. Provide one sign per each parking spot, typ. of 5. See 5/A1.0. At van parking spot, provide "Van Accessible" sign, typ. of 1. See 5/A1.0.
  - Signage for motorcycle only parking. Provide one sign per each parking spot, typ. of 3. See 5/A1.0.
  - Provide "Service Vehicles Only" sign, typ. of 1, at service / emergency vehicle access drive. See 5/A1.0.
  - Wall-mounted business sign, per Journal Center 2 and C.O.A. Standards, see A2.0.
  - Asphalt drive aisles and parking spots, typ.
  - Build segmental retaining wall at property line, refer to Civil Sheet C1.0 for finish grades.
  - Stripe pavement and mark "NO PARKING" at ambulance turnaround. Paint curb red.
  - Flush edge at concrete sidewalk and asphalt paving at parking. Refer to Civil Sheet C1.0 for finish grades.
  - Flush curb at paving edge at passenger drop-off zone (shown with single line).

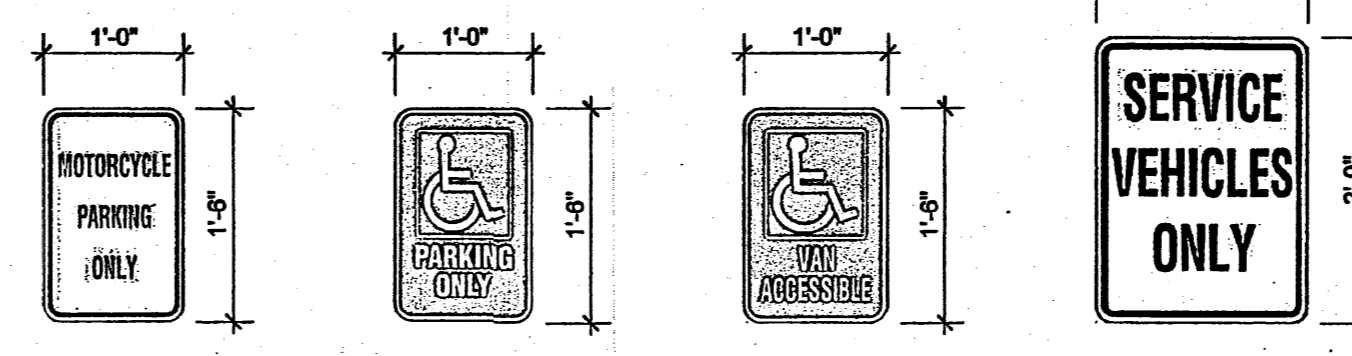


4 South Elevation: Refuse Enclosure  
\*A0.1 Scale: 1/4" = 1'-0"



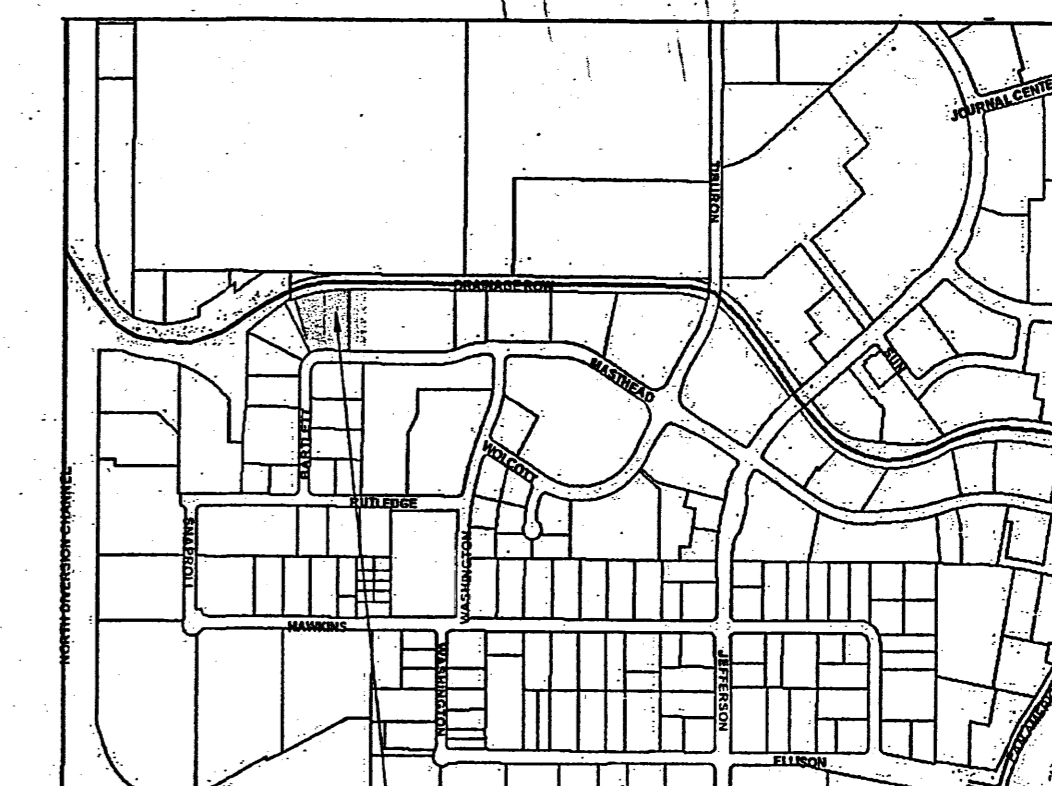
**Note:**  
Contractor shall verify and ensure that all rooftop mechanical units shall be screened per C.O.A. Zoning and Journal Center 2 requirements. Screen walls required to screen rooftop mechanical units shall be finished to match predominant building color. In addition, all rooftop equipment shall be painted to match the predominant building color. (Refer to specification 09 91 00)

1 Site Plan  
\*A0.1 Scale: 1" = 20 ft



Signs to be placed and mounted to meet ANSI standards.

5 Vehicle and Parking Signage  
\*A0.1 Scale: 3/4" = 1'-0"



**VICINITY MAP**  
Project location: Lots 384, Journal Center 2, Phase 2.

**Drawing Directory**

Sheet #1:	A0.1	Site Plan and Refuse Enclosure
Sheet #2:	L1.0	Landscape Plan
Sheet #3:	C1.0	Conceptual Grading Plan
Sheet #4:	C2.0	Conceptual Utility Plan
Sheet #5:	A2.0	Building Elevations and Signage
Sheet #6:	A3.0	Renderings

**Areas and Phasing**

Total Site Area:	78,463 sf
Circulation and Parking:	40,795 sf
Net Site Area:	62,203 sf
Landscaping:	21,408 sf (34% of Net Site Area)
Phase One Building (Medical Clinic):	13,524 sf
Phase Two Building Shell to be built concurrently with Phase One:	2,636 sf
Total Building Area:	16,160 sf
Phase Two Build-out (Interventional Nephrology Clinic):	(2,636 sf, included in total above)

**Parking Requirements**

Required parking: 5 spaces per 1 physician.  
(11 physicians) x (5 spaces) = 55 spaces required.

Spaces provided:

- Drive Aisle One: 27 spaces
- Drive Aisle Two: 7 spaces
- Drive Aisle Three: 12 spaces
- Drive Aisle Four: 28 spaces
- Total Parking Spaces: 74

Compact spaces allowed: 25%. 74 x .25 = 18.5. Compact spaces provided: 18.

Accessible spaces required: for 51 - 100 spaces, 4 required plus 1 accessible van space.

Accessible spaces provided = 5 regular + 1 van.

Motorcycle spaces required: 3. Provided: 3

Bicycle spaces required: 1 per 20 parking spaces = 4 required. Provided: 10

**Preliminary Lighting Schedule \***

PL PL-2	Pole light fixture for parking lot, 20' height
B	24" tall bollard fixture for pathway and landscape accent lighting
U1	Aimable uplight for vegetation, landscape accent lighting
U2	In-ground uplight for signage
W1	Wall-mounted area light at loading and service area
W2	Recessed wall fixture, step light

\* Note: All fixtures will comply with Night Lighting Ordinance

**PROJECT NUMBER 1008878**

**Application Number**

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL**

*Handwritten signature*  
Traffic Engineering, Transportation Division  
Date: 10-19-11

*Handwritten signature*  
ABC/VUA  
Date: 10/19/11

*Handwritten signature*  
Parks and Recreation Department  
Date: 10/19/11

*Handwritten signature*  
City Engineer  
Date: 10-19-11

\* Environmental Health Department (Conditional)

Solid Waste Management

*Handwritten signature*  
DRB Chairperson, Planning Department  
Date: 1-20-12

218 Gloralee, Albuquerque, NM 87106  
ph (505) 255-4033 fx (505) 266-0251  
**dnc**

**Renal Medicine Associates Clinic**  
3821 Masthead Street NE (Journal Center Phase 2, Unit 2)  
Albuquerque, New Mexico

September 8th, 2011

**RECEIVED**  
APR 24 2013

**A0.1**  
Site Plan