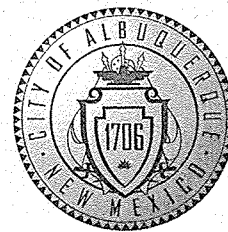


CITY OF ALBUQUERQUE



April 25, 2013

Devendra Narayan Contractor, R.A.
DNCA Architect
218 Girard SE
Albuquerque, NM 87106

Re: Renal Medicine Associates Clinic, 3821 Masthead St NE
Permanent Certificate of Occupancy – Transportation Development
DRB Project Number 1008878 (D17/D020)
Certification dated 4/24/13

Dear Mr. Contractor,

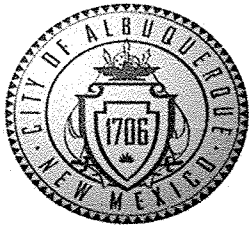
Based upon the information provided in your submittal received 4/24/13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Renal Medical Associates Building Permit #: T201192826 City Drainage #: D-17/D020
DRB#: 1008878 EPC#: _____ Work Order#: _____
Legal Description: Lot 3-A Journal Center Phase 2, Unit 2
City Address: 3821 Masthead NE

Engineering Firm: Bohannon Huston, Inc. Contact: Glenn Broughton
Address: 7500 Jefferson NE Albuquerque, NM 87109
Phone#: 505-823-1000 Fax#: 505-798-7988 E-mail: gbroughton@bhinc.com

Owner: Renal Medicine Associates Contact: Jayant Kumar
Address: 3821 Masthead NE, Albuquerque, 87109
Phone#: 505 554 9233 Fax#: 505 998 7741 E-mail: kumar@renalmed.com

Architect: DNCA llc Contact: Devendra N. Contractor
Address: 218 Girard SE
Phone#: 505 255 4033 Fax#: 505 266 0251 E-mail: devendra@mac.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION

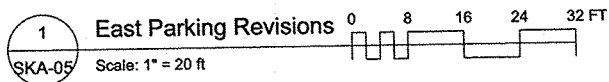
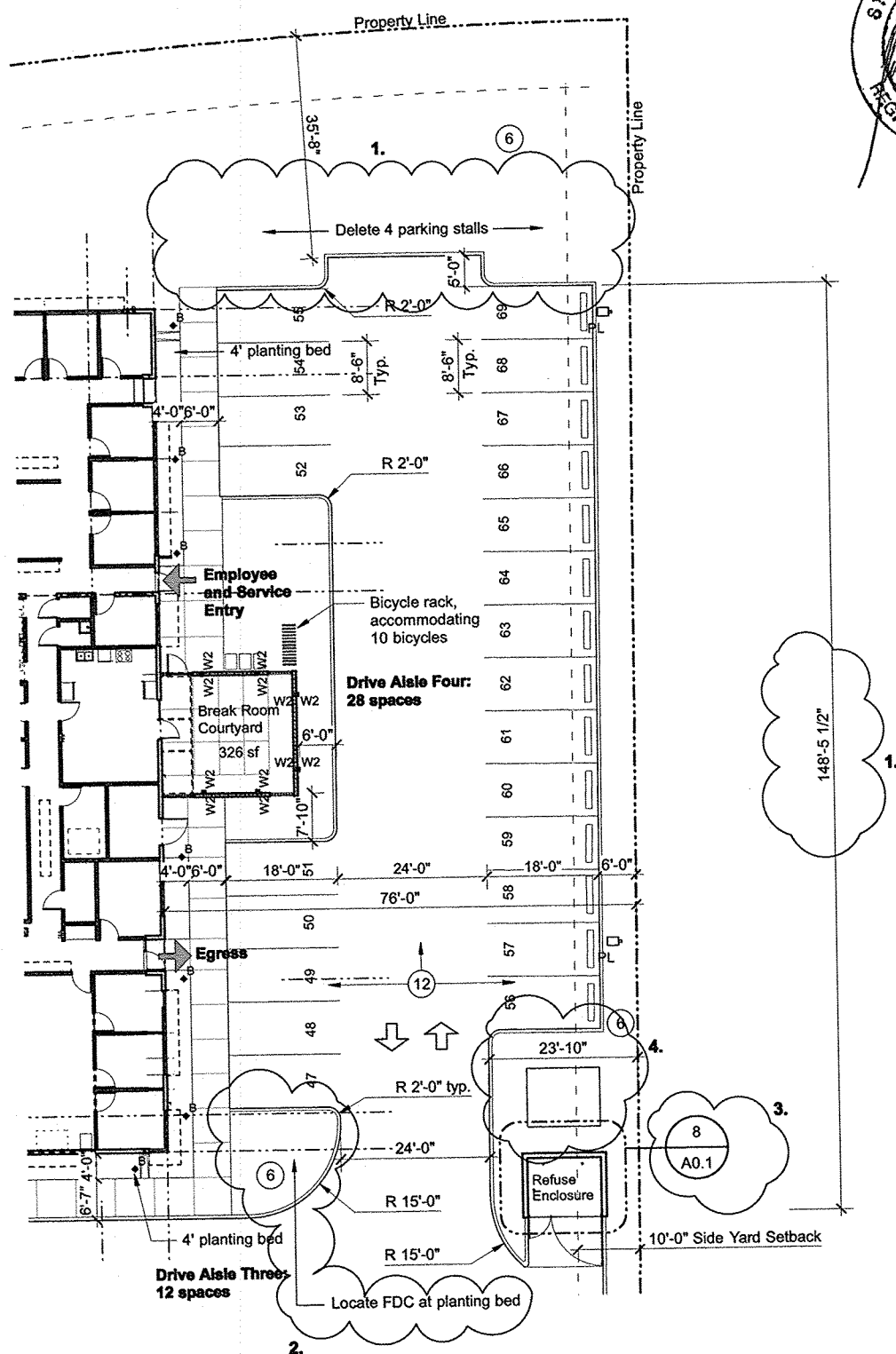
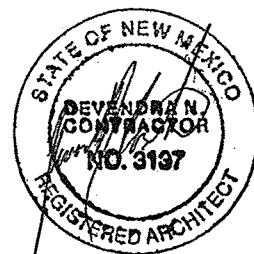
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY)

RECEIVED
APR 24 2013

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided
DATE SUBMITTED: 4/24/13 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



NOTE:

Reference: Sheet A0.1

Make the following changes to A0.1, Site Plan:

1. Delete 4 parking spots and shorten parking lot as indicated.
2. Relocate FDC to planting bed. Provide bollards for protection of FDC.
3. Revise detail marker for Refuse Enclosure drawing.
4. Delete 1 parking spot, provide pad for PNM transformer.

Renal Medicine Associates Clinic
3821 Masthead Street NE (Journal Center Phase 2, Unit 2)
Albuquerque, New Mexico
dnca
218 girard s.e. albuquerque nm, 87106
ph (505) 265-4033 fx (505) 266-0251

January 30th, 2012

SKA-05

East Parking Lot Revisions

April 21, 2013

Nilo Salgado-Fernandez, P.E.
Sr. Transportation Engineer
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: **Renal Medicine Associates Clinic**
3821 Masthead St NE (Journal Center Phase 2, Unit 2), Albuquerque, NM

Dear Nilo:

Below is the Traffic Circulation Layout Certification for the Subject Project:

TRAFFIC CIRCULATION LAYOUT CERTIFICATION

I, DEVENDRA NARAYAN CONTRACTOR, AIA, OF THE FIRM DNCA LLC., HEREBY CERTIFY THAT THIS PROJECT'S TRAFFIC CIRCULATION AND LAYOUT ELEMENTS ARE IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-12-11, WITH FINAL APPROVAL BY DRB CHAIR DATED 1/20/12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-6-13 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS TO THE PLAN ARE NOTED BELOW (PLEASE REFER TO ATTACHED SKA-05):

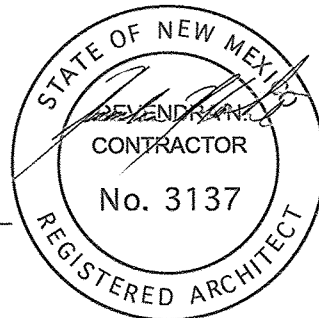
1. FOUR PARKING SPOTS WERE REMOVED IN DRIVE AISLE FOUR AT THE REQUEST OF THE FIRE MARSHAL.
2. ONE PARKING SPOT WAS REMOVED IN DRIVE AISLE FOUR IN ORDER TO ACCOMMODATE A PAD FOR PNM'S TRANSFORMER.

THESE CHANGES DID NOT ALTER OR IMPACT THE TRAFFIC FLOW ON THE SITE. THE DELETION OF THESE FIVE PARKING SPACES LEFT 69 SPACES PROVIDED, WHICH IS STILL IN EXCESS OF THE 55 SPACES REQUIRED.

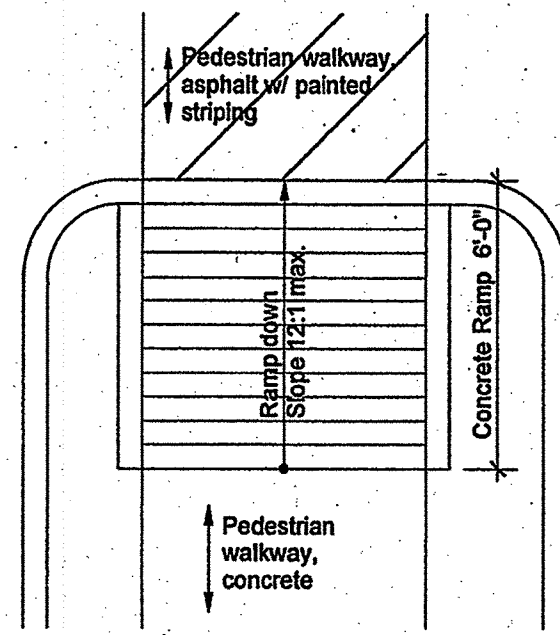
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


DEVENDRA NARAYAN CONTRACTOR

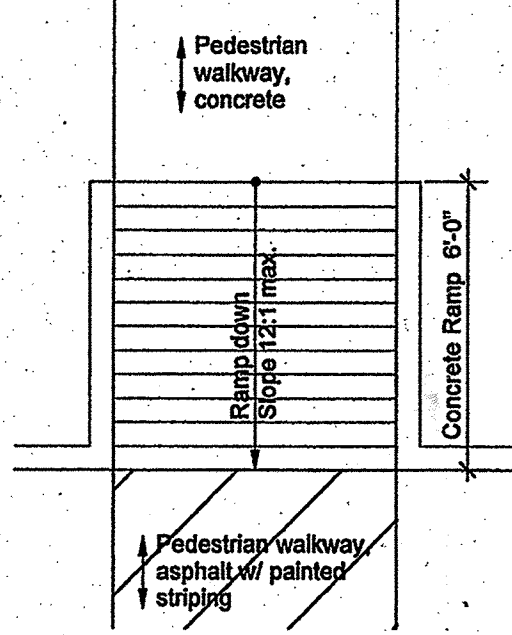
April 21, 2013
DATE



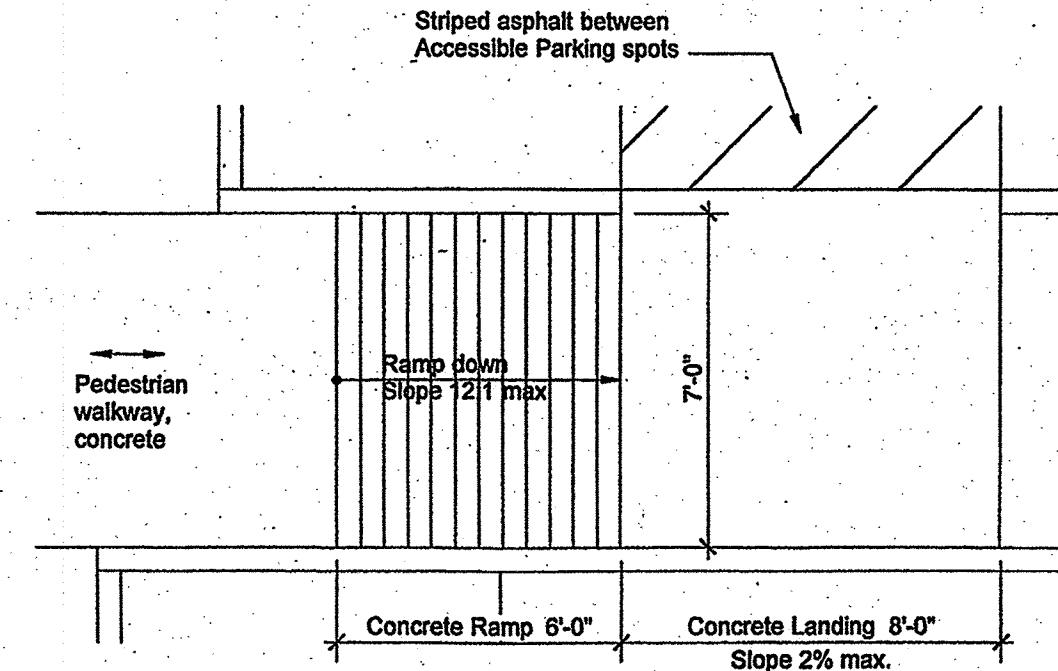
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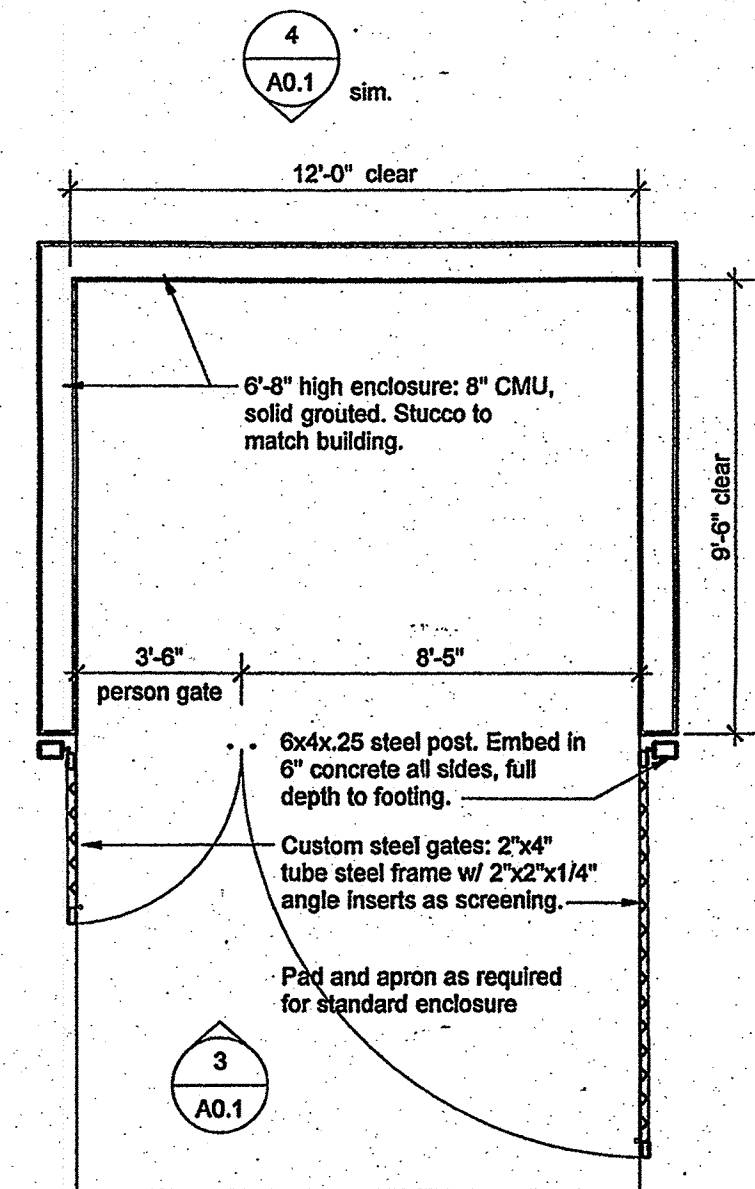
6 Ramp 1
Scale: 1/4" = 1'-0"



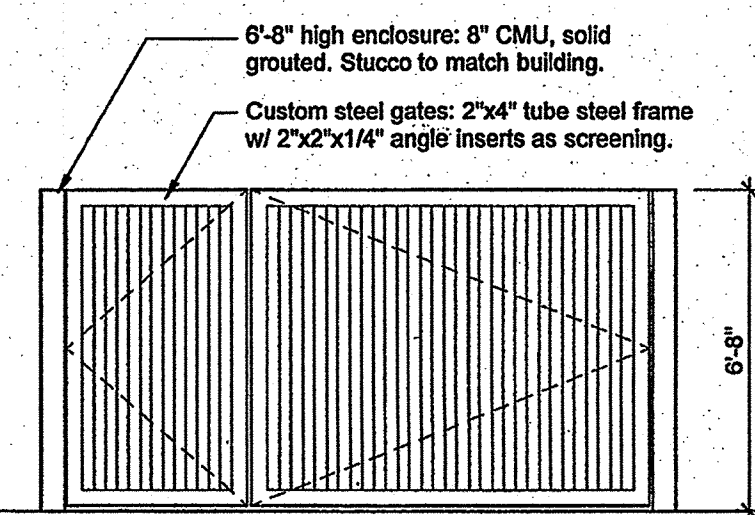
7 Ramp 2
Scale: 1/4" = 1'-0"



8 Ramp 3
Scale: 1/4" = 1'-0"

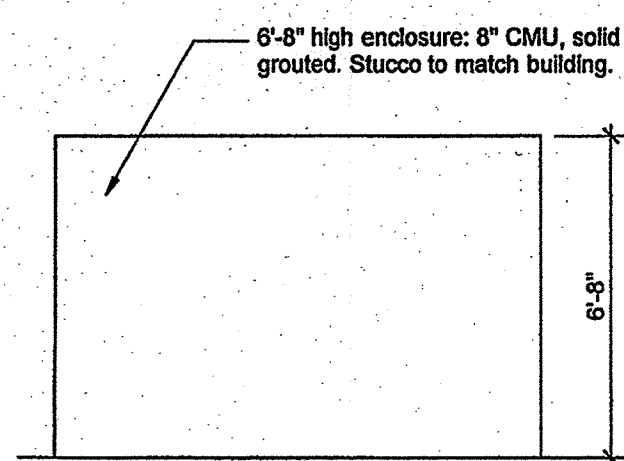


2 Plan: Refuse Enclosure
Scale: 1/4" = 1'-0"

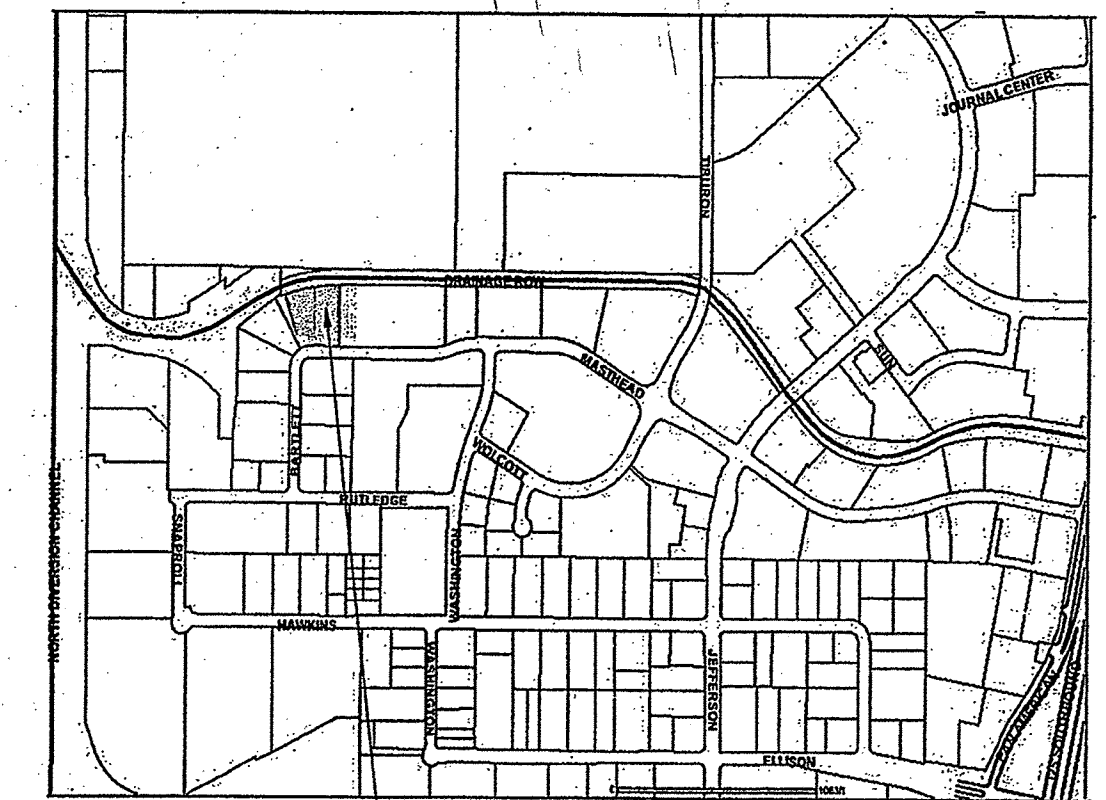
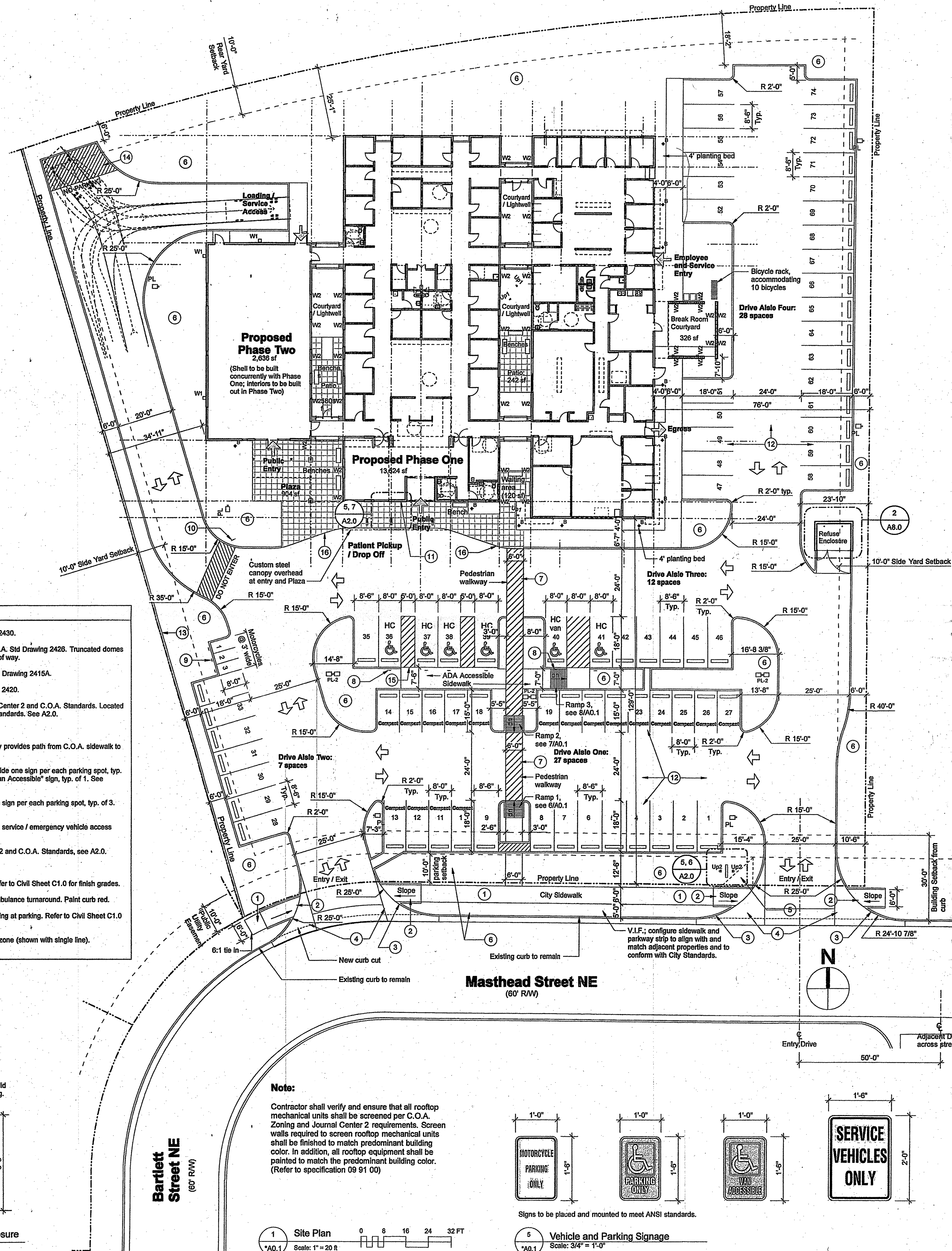


3 South Elevation: Refuse Enclosure
Scale: 1/4" = 1'-0"

- Drawing Notes**
- Construct new sidewalk per C.O.A. Std Drawing 2430.
 - Construct unidirectional curb access ramp per C.O.A. Std Drawing 2426. Truncated domes shall be installed at all ramps within C.O.A. right of way.
 - Construct new curb & gutter per C.O.A. Standard Drawing 2415A.
 - Construct 6" valley gutter per C.O.A. Std Drawing 2420.
 - Business and address number sign, per Journal Center 2 and C.O.A. Standards. Located outside 11'x11' clear sight triangle, per C.O.A. Standards. See A2.0.
 - Landscaped area, see Landscape Plan.
 - Striped 6' wide pedestrian walkway, typ. Walkway provides path from C.O.A. sidewalk to building entrance.
 - Signage for accessible access only parking. Provide one sign per each parking spot, typ. of 5. See 5/A1.0. At van parking spot, provide "Van Accessible" sign, typ. of 1. See 5/A1.0.
 - Signage for motorcycle only parking. Provide one sign per each parking spot, typ. of 3. See 5/A1.0.
 - Provide "Service Vehicles Only" sign, typ. of 1, at service / emergency vehicle access drive. See 5/A1.0.
 - Wall-mounted business sign, per Journal Center 2 and C.O.A. Standards, see A2.0.
 - Asphalt drive aisles and parking spots, typ.
 - Build segmental retaining wall at property line, refer to Civil Sheet C1.0 for finish grades.
 - Stripe pavement and mark "NO PARKING" at ambulance turnaround. Paint curb red.
 - Flush edge at concrete sidewalk and asphalt paving at parking. Refer to Civil Sheet C1.0 for finish grades.
 - Flush curb at paving edge at passenger drop-off zone (shown with single line).



4 South Elevation: Refuse Enclosure
Scale: 1/4" = 1'-0"



VICINITY MAP
Project location: Lots 384, Journal Center 2, Phase 2.

Drawing Directory

Sheet #1:	A0.1	Site Plan and Refuse Enclosure
Sheet #2:	L1.0	Landscape Plan
Sheet #3:	C1.0	Conceptual Grading Plan
Sheet #4:	C2.0	Conceptual Utility Plan
Sheet #5:	A2.0	Building Elevations and Signage
Sheet #6:	A3.0	Renderings

Areas and Phasing

Total Site Area:	78,463 sf
Circulation and Parking:	40,705 sf
Net Site Area:	62,203 sf
Landscaping:	21,408 sf (34% of Net Site Area)
Phase One Building (Medical Clinic):	13,624 sf
Phase Two Building Shell to be built concurrently with Phase One:	2,636 sf
Total Building Area:	16,160 sf
Phase Two Build-out (Interventional Nephrology Clinic):	(2,636 sf, included in total above)

Parking Requirements

Required parking: 5 spaces per 1 physician.
(11 physicians) x (5 spaces) = 55 spaces required.

Spaces provided:

Drive Aisle One:	27 spaces
Drive Aisle Two:	7 spaces
Drive Aisle Three:	12 spaces
Drive Aisle Four:	28 spaces
Total Parking Spaces:	74

Compact spaces allowed: 25%. 74 x .25 = 18.5. Compact spaces provided: 18.

Accessible spaces required: for 51 - 100 spaces, 4 required plus 1 accessible van space.

Accessible spaces provided = 5 regular + 1 van.

Motorcycle spaces required: 3 Provided: 3

Bicycle spaces required: 1 per 20 parking spaces = 4 required. Provided: 10

Preliminary Lighting Schedule *

PL1	Pole light fixture for parking lot, 20' height
PL2	24" tall bollard fixture for pathway and landscape accent lighting
U1	Altimable uplight for vegetation, landscape accent lighting
U2	In-ground uplight for signage
W1	Wall-mounted area light at loading and service area
W2	Recessed wall fixture, step light

* Note: All fixtures will comply with Night Lighting Ordinance

PROJECT NUMBER 1008878

Application Number

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL

Handwritten signature 10-19-11
Traffic Engineering, Transportation Division Date

Handwritten signature 10/19/11
ABCWUA Date

Handwritten signature 10/19/11
Parks and Recreation Department Date

Handwritten signature 10-19-11
City Engineer Date

* Environmental Health Department (Conditional) Date

Solid Waste Management Date

Handwritten signature 1-20-12
DRB Chairperson, Planning Department Date

Renal Medicine Associates Clinic
3821 Masthead Street NE (Journal Center Phase 2, Unit 2)
Albuquerque, New Mexico

September 8th, 2011
RECEIVED
APR 24 2013
A0.1
Site Plan