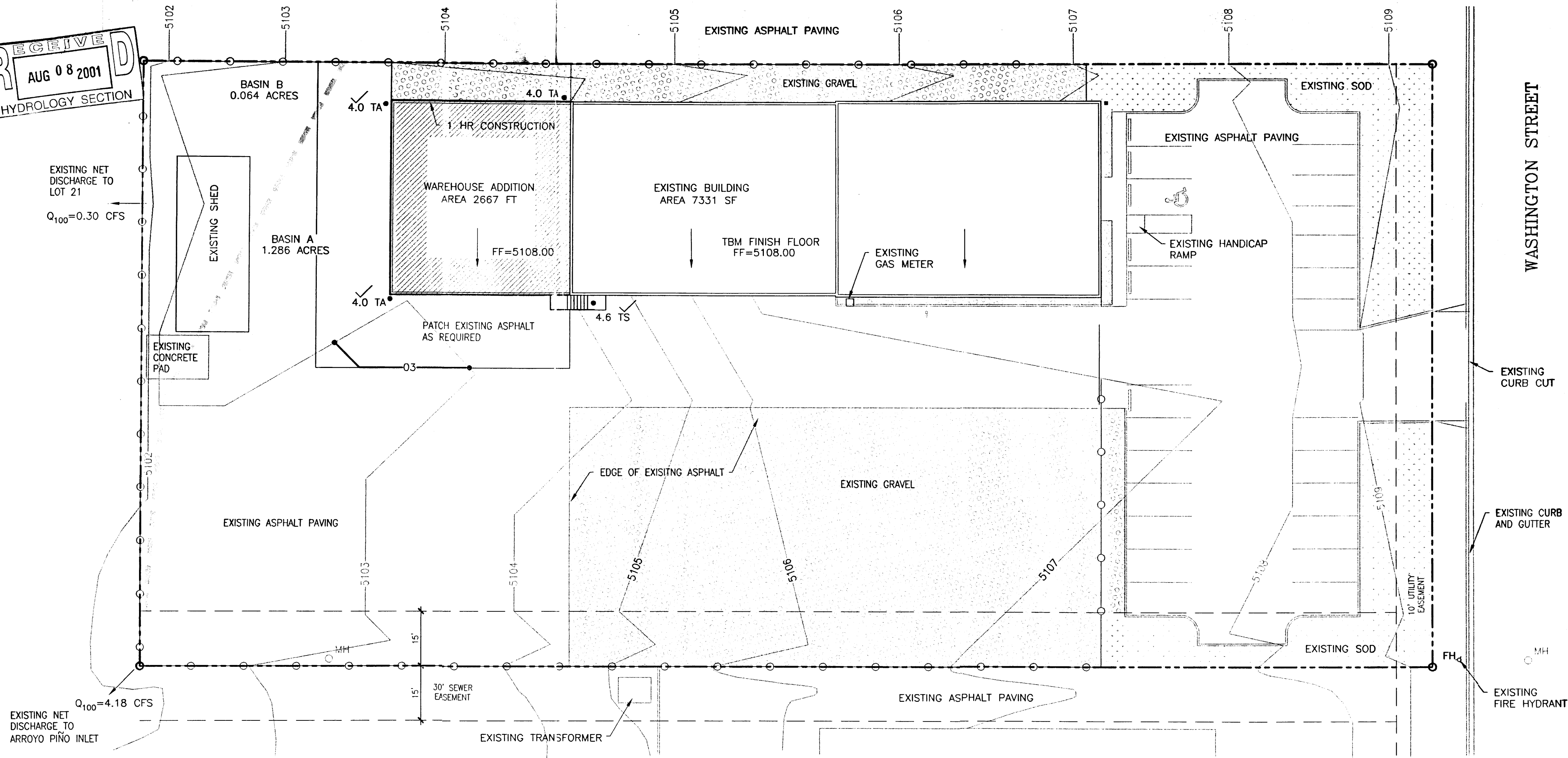


RECEIVED  
AUG 08 2001  
HYDROLOGY SECTION



LEGEND:

33.92 EP	EXISTING SPOT ELEVATION
51.00	NEW SPOT ELEVATION
51	EXISTING CONTOUR
51	NEW CONTOUR
SWALE	SWALE
✓	VERIFIED ELEVATION
AS BUILT ELEVATION	AS BUILT ELEVATION
BASIN BOUNDARY	BASIN BOUNDARY
PROPERTY LINE	PROPERTY LINE
EP	EXISTING PAVING
FL	FLOW LINE
GND	GROUND
INV	INVERT
TA	TOP OF ASPHALT
TC	TOP OF CURB
TG	TOP OF GRATE
TS	TOP OF CONCRETE SLAB
TW	TOP OF WALL
TBM	TEMPORARY BENCH MARK

CONSTRUCTION NOTES

1. TWO WORKING DAY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
2. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARD AND FROEDURE.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS A-D INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN THE PLANS AND THOSE OF THE EXISTING SITE.

BENCH MARK

10-D17 ALONG EAST X-MISSON IN AN OPEN FIELD 0.65 MILES WEST OF I-25 ON PROJECTED LINE OF SAN ANTONIO DRIVE, NE 40d MAIL IN SOUTH POLE OF Pylon #8

LEGAL DESCRIPTION

LOT 26, UNIT IV, INTERSTATE INDUSTRIAL TRACT ALBUQUERQUE NEW MEXICO. ADDRESS 7131 WASHINGTON NE

GRADING AND DRAINAGE PLAN  
LOT 26, UNIT IV INTERSTATE INDUSTRIAL TRACT

DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE LOT 26, UNIT IV INTERSTATE INDUSTRIAL TRACT GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED AT 7131 WASHINGTON, NE. THE SITE IS CURRENTLY DEVELOPED. THE LAND SLOPE TO THE SOUTHWEST AT AN APPROXIMATE SLOPE OF 2.5%. THE SITE IS NOT WITHIN A FLOOD HAZARD ZONE.

THE SITE IS HIGHER THAN THE LANDS TO THE NORTH AND WEST. THE LANDS TO THE SOUTH ARE DEVELOPED AND DISCHARGE INTO THE ARROYO PINO INLET. THE STREET ALONG THE EAST PREVENTS WATER FROM ENTERING THE SITE FROM THAT DIRECTION. THEREFORE OFF SITE FLOWS ARE NOT CONSIDERED SIGNIFICANT.

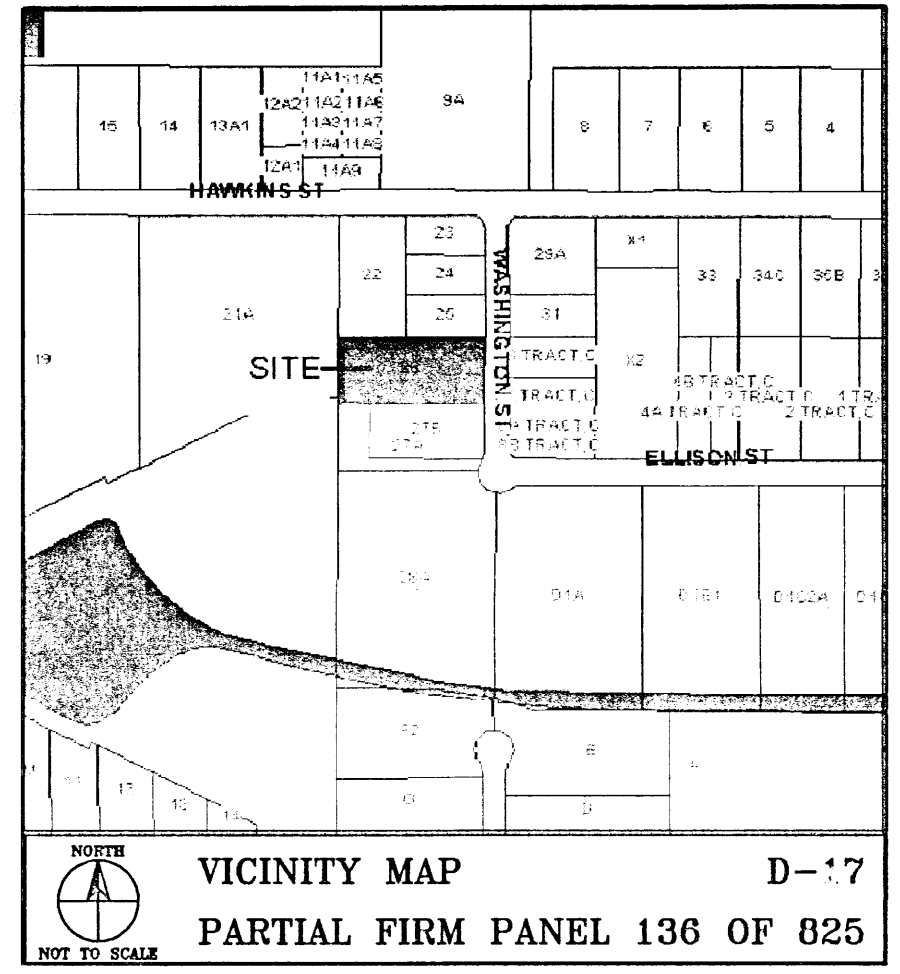
THE SITE IS DIVIDED INTO TWO SUB-BASINS. BASIN A (95.3%) OF THE SITE, DRAINS TO THE SOUTH WEST PROPERTY CORNER AND DISCHARGES INTO THE ARROYO PINO INLET. BASIN B DISCHARGES DRAINS TO THE WEST ON THE LOT 21.

THE GRADING PLAN SHOWS:

- THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
- THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST AN WAREHOUSE ADDITION TO THE EXISTING BUILDING, AND ASSOCIATED PARKING AND LANDSCAPING.

THE PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED OVER THE EXISTING ASPHALT PAVING. THEREFORE THERE WILL BE NO INCREASE IN RUNOFF. THE FLOOD DRAINAGE PLAN FOR THIS SITE INCLUDED A FUTURE BUILDING ON THE SOUTH SIDE OF THE LOT, AND A FUTURE PARKING AREA. THE PARKING AREA HAS BEEN CONSTRUCTED. THE APPROVED RUNOFF FOR BASIN A IS 4.81 CFS/ACRE. THE PROPOSED/EXISTING RUNOFF FOR BASIN A OF 3.25 CFS/ACRE IS LESS THAN THE APPROVED RUNOFF.



VICINITY MAP  
D-17  
PARTIAL FIRM PANEL 136 OF 825

THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II. AS SHOWN BY THESE CALCULATIONS.

CALCULATIONS  
PRECIPITATION ZONE = 2  
TOTAL SITE AREA = 1.35 ACRES

BASIN A EXISTING  
AREA = 1.286 ACRES

EXISTING CONDITIONS  
LAND TREATMENT B=8% C=21% D=71%  
E = 0.78(0.08)+1.13(0.21)+ 2.12(0.71)=1.80 INCHES  
V = 1.80(1.286) / 12 = 0.193 ACRE FEET  
Q = [2.28(0.08)+3.14(0.21)+4.70(0.71)](1.286)=4.18 CFS

DEVELOPED CONDITIONS  
NO CHANGE  
PRIOR APPROVED RUNOFF  
Q = 6.19 CFS

BASIN B  
AREA = 1.286 ACRES

EXISTING CONDITIONS  
LAND TREATMENT D=100%  
E = 2.12(1.00)= 2.12 INCHES  
V = 2.12(0.064) / 12 = 0.011 ACRE FEET  
Q = 4.70(1.00)(0.064) = 0.30 CFS

DEVELOPED CONDITIONS  
NO CHANGE  
PRIOR APPROVED RUNOFF  
Q = 0.33 CFS



GRADING PLAN

APRIL 16, 2001

1"=20'-0"

Engineer's Certification for  
Permanent Certificate of Occupancy  
LOT 26, UNIT IV INTERSTATE INDUSTRIAL TRACT

I hereby certify that I have inspected the site grading and drainage improvements and that they have been completed in substantial compliance with the approved grading and drainage plan; and are expected to function as intended. Proposed contours have not been revised to reflect the as-constructed information and should be considered approximate. Spot elevations which have not been revised should be considered approximate.

Arthur Elessen, PE 8/0/01  
NM PE# 13481 date

CLAUDIO VIGIL ARCHITECTS

GAMBLIN & RODGERS  
ELECTRICAL CONTRACTORS ADDITION  
7131 WASHINGTON N.E.  
ALBUQUERQUE, NEW MEXICO

SHEET  
C-1  
PROJECT NUMBER  
01140

OWNERSHIP OF INSTRUMENTS OF SERVICE  
All design concepts, details, plans, specifications, computer files, field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

1301 Rio Grande NW, #2, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330