



September 7, 2020

Nick Pirkl, RA
Design 2 Function, LLC
P.O. Box 93368
Albuquerque NM 87199-3368

**Re: RXI Innovation
7209 Jefferson NE
Traffic Circulation Layout
Architect's Stamp 08-31-2020 (D17-D041)**

Dear Mr. Pirkl,

The TCL submittal received 09-03-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

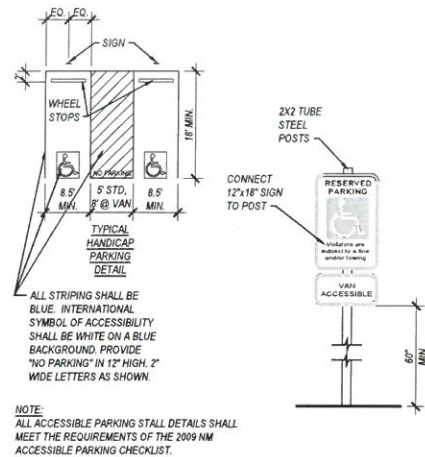
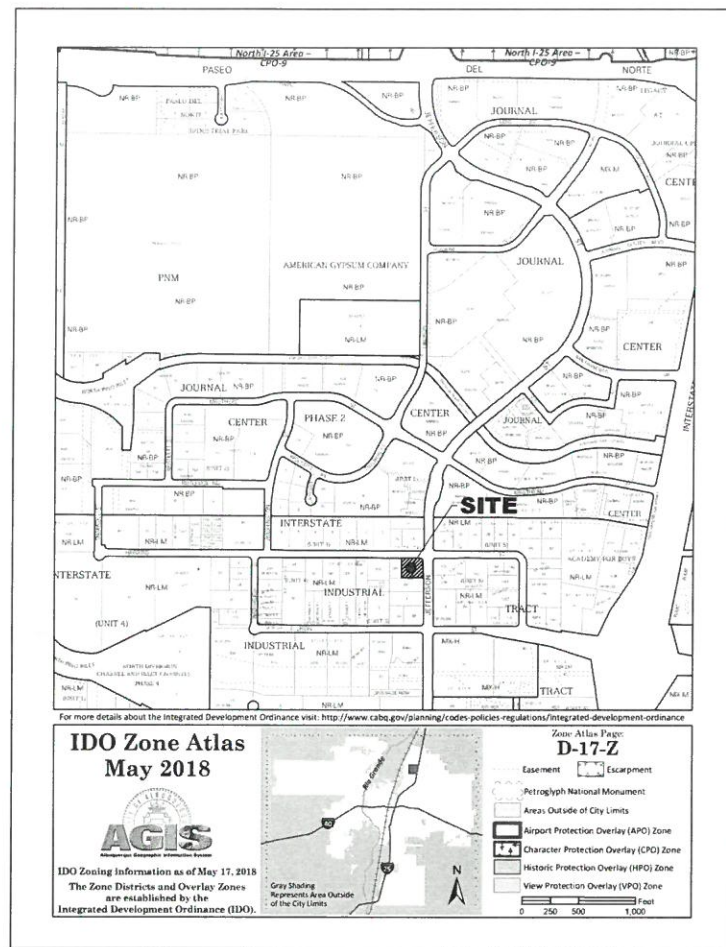
C: CO Clerk, File

PO Box 1293

Albuquerque

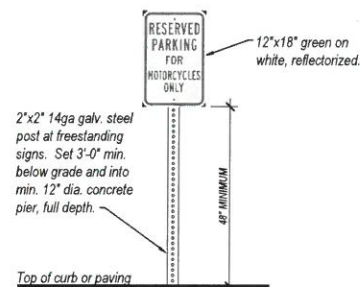
NM 87103

www.cabq.gov



1 ACCESSIBLE PARKING DETAILS

SCALE: NOT TO SCALE



2 MOTORCYCLE PARKING SIGN

SCALE: NOT TO SCALE

PARKING CALCULATIONS:

PARKING CALCULATIONS BELOW ARE BASED ON THE OFFICE PARKING REQUIREMENTS LISTED IN THE IDO TABLE 5-5-1 (3.5 SPACES / 1,000 SQ. FT. GFA).

PARKING REQUIRED:	7,157 S.F. TOTAL 7,157 ÷ 3.5 = 2494 - 25 SPACES
PARKING PROVIDED:	27 TOTAL SPACES PROVIDED 2 MOTORCYCLE SPACES PROVIDED (1 REQ'D 1:1-25 PER TABLE 5-5-4) 3 BICYCLE SPACES PROVIDED (3 REQUIRED PER TABLE 5-5-5)

GENERAL SITE NOTES

- ALL SITE LIGHTING IS EXISTING TO REMAIN.
- ALL SIDEWALKS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. NEW SIDEWALKS TO BE 4" THICK MINIMUM, 4000 PSI CONCRETE, BROOM FINISH WITH 1/8" PER 1'-0" MAXIMUM CROSS SLOPE. OVER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLAN. PROVIDE EXPANSION JOINTS EVERY 4' LINEAR FEET AND CONTROL JOINTS EVERY 20' LINEAR FEET. TOOL EDGES WITH 1/4" Ø FINISHING TOOL. PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURNDOWNS WITH #4 BAR CONTINUOUS.
- ALL STRIPING TO BE PER MUTCD STANDARDS FOR TRAFFIC PAINT AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED WHITE ON BLUE IN EACH ACCESSIBLE PARKING STALL. ALL STRIPING IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL NEW HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2415A AND #2415B.
- CONCRETE PARKING BUMPERS TO BE 7'-0" WIDE MINIMUM, SLOT BOTTOM AND REINFORCED WITH AT LEAST (2) #3 BARS TYPICAL. ANCHOR TO PAVING WITH WITH (2) 1/8" LONG #6 DOWELS TYPICAL.

CITY OF ALBUQUERQUE NOTES

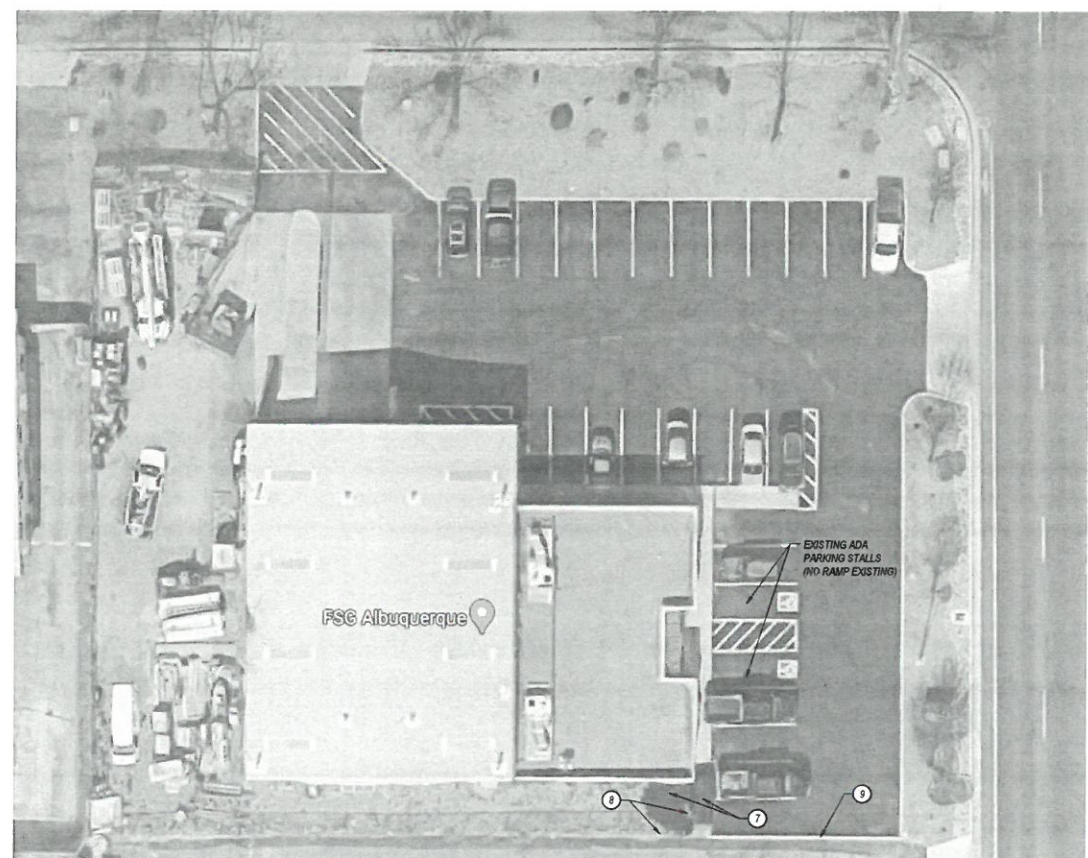
- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION, FOR TEMPORARY C.O., WILL BE SCHEDULED.
- ALL BROKEN OR CRACKED SIDEWALKS SHALL BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAILS 2430 AND 2415A & B.
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

PROJECT INFORMATION:

Site Address: 7209 JEFFERSON ST NE, ALBUQUERQUE NM 87109
 UPC: 10170633099330341
 Owner: MRX PROPERTIES, LLC
 Owner Address: 7215 WASHINGTON ST. NE, ALBUQUERQUE NM 87109
 Legal Description: LOT 38-B (1) REPLAT OF LOTS 38-B & 38-C UNIT #4 INTERSTATE INDUSTRIAL TRAC
 Acres: 0.8233
 Zone Atlas Page: D-17
 IDO Zone District: NR-UM (Old M-1)
 Case History: SP-78-468

SITE PLAN KEYED NOTES:

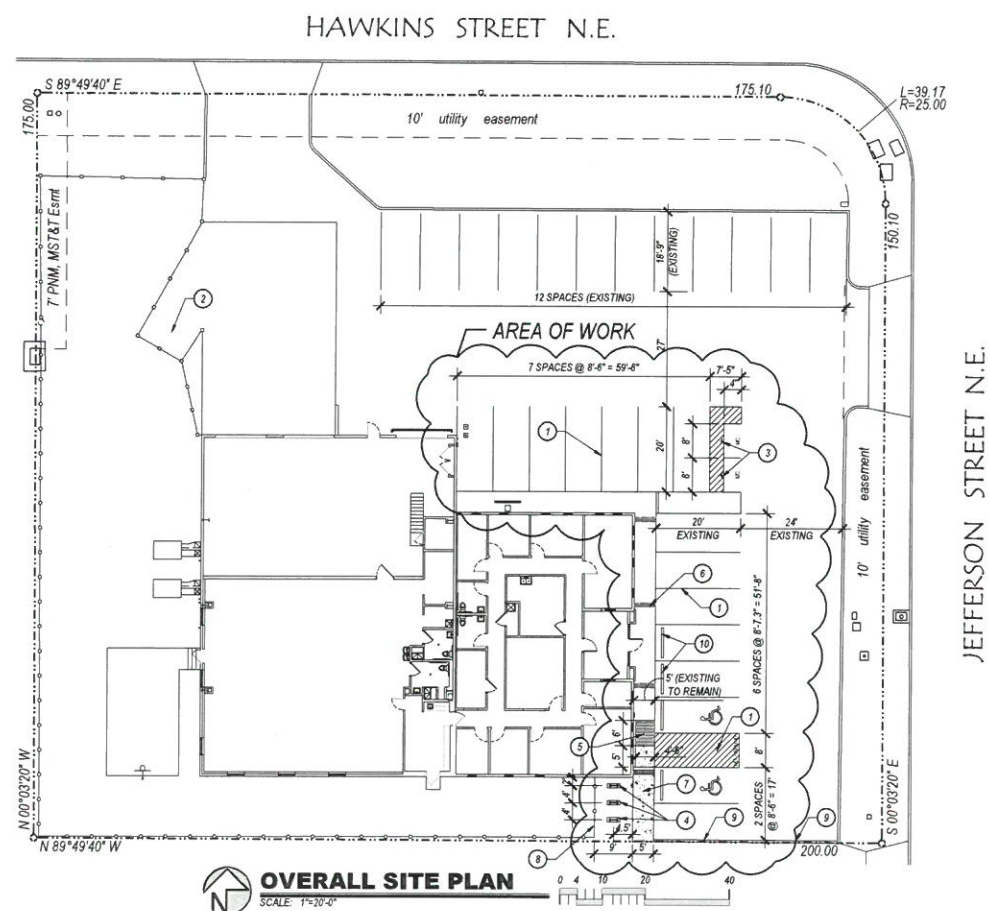
- RE-STRIPED PARKING SPACES IN THE AREA OF WORK AS SHOWN. ALL OTHER AREAS ARE EXISTING TO REMAIN.
- EXISTING REFUSE ENCLOSURE TO REMAIN.
- NEW MOTORCYCLE PARKING SPACES WITH POST MOUNTED SIGNAGE. SEE DETAIL 2C1. PROVIDE "MC" IN 12" HIGH PAINTED LETTERS ON PAVEMENT CENTERED ON PARKING SPACE AS SHOWN.
- (3) 22" WIDE X 38" HIGH INVERTED U-STYLE BICYCLE RACKS (BELSON OUTDOORS MODEL CBBR-2UR-BK OR EQUAL) BOLTED TO 12X36X4" THICK CONCRETE PAD. SPACING AS SHOWN. PROVIDE CRUSHER FINES SURFACE FLUSH WITH NEW SIDEWALK.
- REMOVE EXISTING SIDEWALK AND ADD A NEW ACCESSIBLE RAMP @ 1:12 MAXIMUM SLOPE UP FROM PARKING AREA.
- SAW CUT EXISTING SLAB AND INSTALL NEW DIAMOND PLATE COVERED CONCRETE SIDEWALK CULVERT AT ALL (4) DOWNSPOUT LOCATIONS. PROVIDE NEW DOWNSPOUTS AT EACH LOCATION. 6"x3" LEADERS. CUT DIAMOND PLATE AS NECESSARY FOR LEADER PENETRATION.
- REMOVE EXISTING JUMPER AND INSTALL NEW SIDEWALK.
- REMOVE FENCE BACK APPROXIMATELY 9' WEST TO NEW LOCATION SHOWN TO CREATE BICYCLE PARKING AREA.
- EXISTING CURB TO REMAIN, NO SHARED ACCESS.
- PROVIDE ADDITIONAL PARKING BUMPERS TO ENSURE ADA ACCESS FROM ACCESSIBLE PARKING SPACES IS MAINTAINED. SET BUMPERS 24" FROM FACE OF CURB TO OUTER FACE OF PARKING BUMPER.



TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]*

Date: 9/7/2020



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STATE OF NEW MEXICO
GORDON ALLAN HARRIS
No. 1005
6/31/20
REGISTERED ARCHITECT

RX INNOVATIONS
7209 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

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Due to variation in printing techniques, only printed dimension shall be used. Construction shall verify all points, dimensions and other related information prior to building or construction.

DRAWING ISSUE DATES:
7/31/20 Review Set
8/5/20 Permit Set
8/31/20 Permit Revisions

DRAWING REVISION DATES:
8/3/20 TCL Revisions

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
TCL SITE PLAN

C1.1
SHEET: 2 OF 19