

January 6, 2021

Gordon Allan Hall, R.A.
Design 2 Function, LLC
P.O. Box 93368
Albuquerque, NM 87199


**Re: RXI Innovations
7209 Jefferson St. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 8-31-20 (D17D041)
Certification dated 1-4-21**

Dear Mr. Hall,

Based upon the information provided in your submittal received 1-4-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

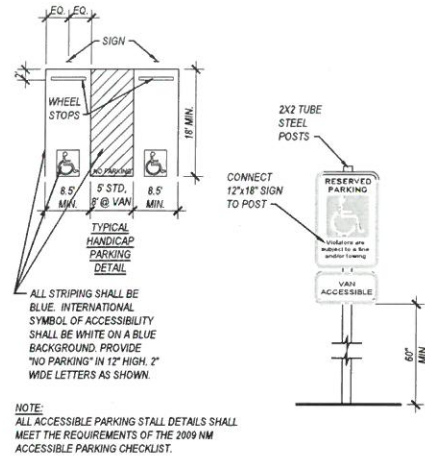
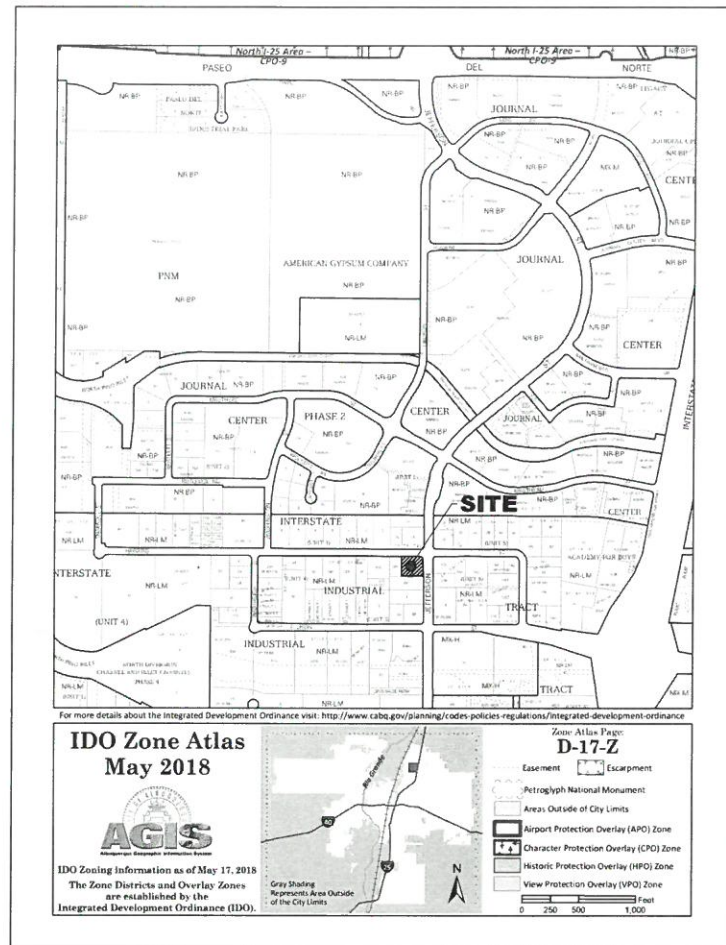
Sincerely,



Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

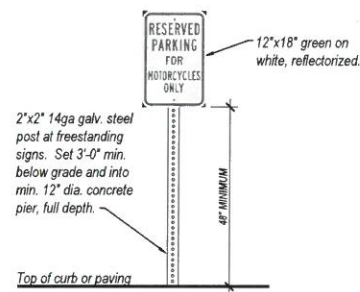
Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



1 ACCESSIBLE PARKING DETAILS

SCALE: NOT TO SCALE



2 MOTORCYCLE PARKING SIGN

SCALE: NOT TO SCALE

PARKING CALCULATIONS:

PARKING CALCULATIONS BELOW ARE BASED ON THE OFFICE PARKING REQUIREMENTS LISTED IN THE IDO TABLE 5-5-1 (3.5 SPACES / 1,000 SQ. FT. GFA).

PARKING REQUIRED:	7,157 S.F. TOTAL 7,157 ÷ 3.5 = 2,494 - 25 SPACES
PARKING PROVIDED:	27 TOTAL SPACES PROVIDED 2 MOTORCYCLE SPACES PROVIDED (1 REQ'D 1:1-25 PER TABLE 5-5-4) 3 BICYCLE SPACES PROVIDED (3 REQUIRED PER TABLE 5-5-5)

GENERAL SITE NOTES

- ALL SITE LIGHTING IS EXISTING TO REMAIN.
- ALL SIDEWALKS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. NEW SIDEWALKS TO BE 4" THICK MINIMUM, 4000 PSI CONCRETE, BROOM FINISH WITH 1/8" PER 1'-0" MAXIMUM CROSS SLOPE. OVER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLAN. PROVIDE EXPANSION JOINTS EVERY 4'-0" LINEAR FEET AND CONTROL JOINTS EVERY 20'-0" LINEAR FEET. TOOL EDGES WITH 1/4" Ø FINISHING TOOL. PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURNDOWNS WITH #4 BAR CONTINUOUS.
- ALL STRIPING TO BE PER MUTCD STANDARDS FOR TRAFFIC PAINT AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED WHITE ON BLUE IN EACH ACCESSIBLE PARKING STALL. ALL STRIPING IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL NEW HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2415A AND #2415B.
- CONCRETE PARKING BUMPERS TO BE 7'-0" WIDE MINIMUM, SLOT BOTTOM AND REINFORCED WITH AT LEAST (2) #3 BARS TYPICAL. ANCHOR TO PAVING WITH WITH (2) 1/8" LONG #6 DOWELS TYPICAL.

PROJECT INFORMATION:

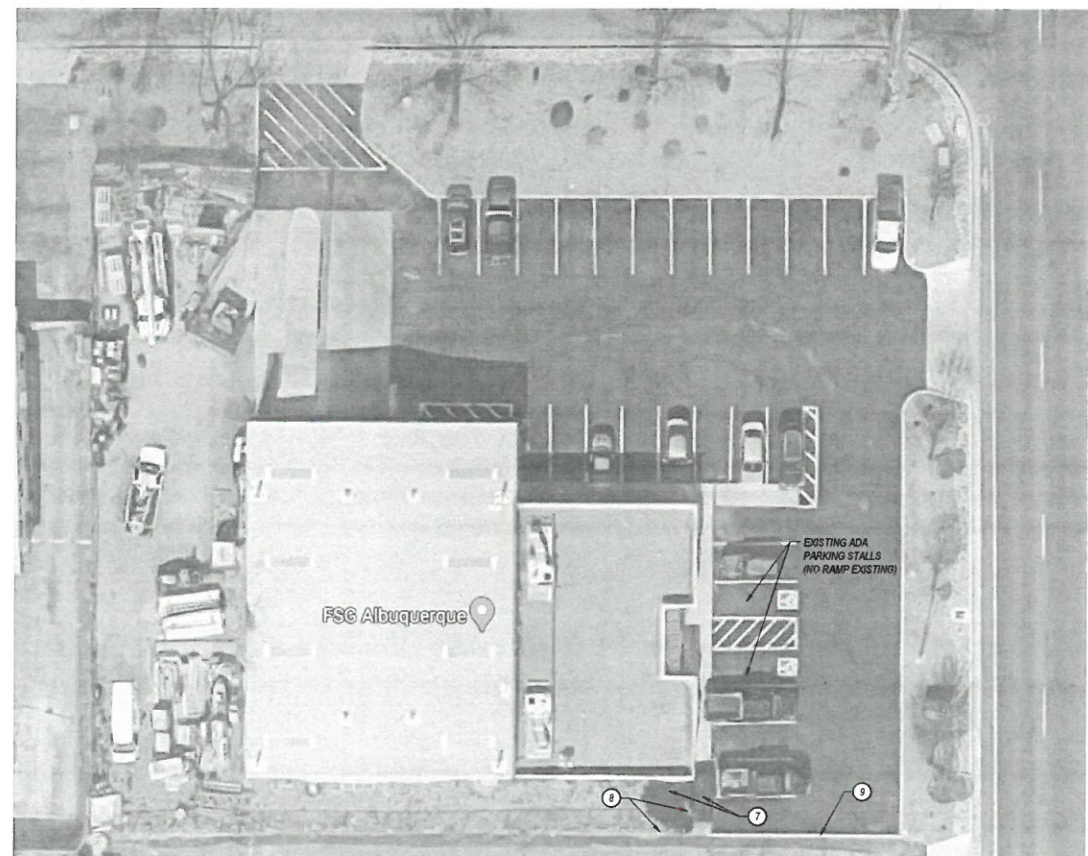
Site Address: 7209 JEFFERSON ST NE, ALBUQUERQUE NM 87109
UPC: 10170633099330341
Owner: RX INNOVATIONS, LLC
Owner Address: 7215 WASHINGTON ST. NE, ALBUQUERQUE NM 87109
Legal Description: LOT 38-B (1) REPLAT OF LOTS 38-B & 38-C UNIT #4 INTERSTATE INDUSTRIAL TRACT
Acres: 0.8233
Zone Atlas Page: D-17
IDO Zone District: NR-LM (Old M-1)
Case History: SP-78-408

CITY OF ALBUQUERQUE NOTES

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION, FOR TEMPORARY C.O., WILL BE SCHEDULED.
- ALL BROKEN OR CRACKED SIDEWALKS SHALL BE REPLACE WITH SIDEWALK AND CURB & GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAILS 2430 AND 2415A & B.
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

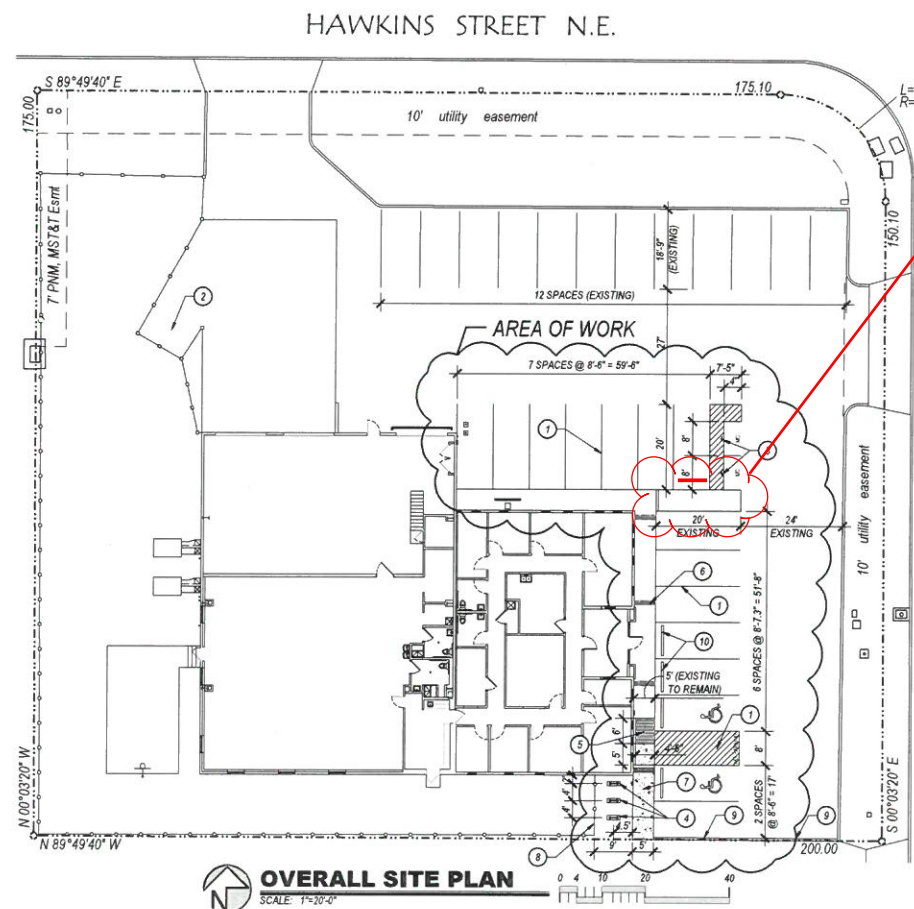
SITE PLAN KEYED NOTES:

- RE-STRIPE PARKING SPACES IN THE AREA OF WORK AS SHOWN. ALL OTHER AREAS ARE EXISTING TO REMAIN.
- EXISTING REFUSE ENCLOSURE TO REMAIN.
- NEW MOTORCYCLE PARKING SPACES WITH POST MOUNTED SIGNAGE. SEE DETAIL 2C1. PROVIDE "M" IN 12" HIGH PAINTED LETTERS ON PAVEMENT CENTERED ON PARKING SPACE AS SHOWN.
- (3) 22" WIDE X 36" HIGH INVERTED U-STYLE BICYCLE RACKS (BELSON OUTDOORS MODEL CBBR-2UR-BK OR EQUAL) BOLTED TO 12X36X4" THICK CONCRETE PAD. SPACING AS SHOWN. PROVIDE CRUSHER FINES SURFACE FLUSH WITH NEW SIDEWALK.
- REMOVE EXISTING SIDEWALK AND ADD A NEW ACCESSIBLE RAMP @ 1:12 MAXIMUM SLOPE UP FROM PARKING AREA.
- SAW CUT EXISTING SLAB AND INSTALL NEW DIAMOND PLATE COVERED CONCRETE SIDEWALK CULVERT AT ALL (4) DOWNSPOUT LOCATIONS. PROVIDE NEW DOWNSPOUTS AT EACH LOCATION. 6"x3" LEADERS. CUT DIAMOND PLATE AS NECESSARY FOR LEADER PENETRATION.
- REMOVE EXISTING JUMPER AND INSTALL NEW SIDEWALK.
- REMOVE FENCE BACK APPROXIMATELY 9' WEST TO NEW LOCATION SHOWN TO CREATE BICYCLE PARKING AREA.
- EXISTING CURB TO REMAIN, NO SHARED ACCESS.
- PROVIDE ADDITIONAL PARKING BUMPERS TO ENSURE ADA ACCESS FROM ACCESSIBLE PARKING SPACES IS MAINTAINED. SET BUMPERS 24" FROM FACE OF CURB TO OUTER FACE OF PARKING BUMPER.



TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: _____
Date: 9/7/2020



RX INNOVATIONS
7209 JEFFERSON ST NE
ALBUQUERQUE, NM 87109

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DRAWING ISSUE DATES:
7/31/20 Review Set
8/5/20 Permit Set
8/31/20 Permit Revisions

DRAWING REVISION DATES:
8/3/20 TCL Revisions

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
NAP

SHEET TITLE:
TCL SITE PLAN

C1.1
SHEET: 2 OF 19



DESIGN 2 FUNCTION, LLC

P. O. Box 93368, Albuquerque, N.M. 87199-3368

Info@design2functionllc.com * (505) 823-6481

January 4, 2021

City of Albuquerque
Transportation Division

Re: RXI Innovation – 7209 Jefferson St. NE, Albuquerque, NM 87109

TRAFFIC CERTIFICATION

I, Gordon Allan Hall, NMRA, of the firm Design 2 Function, LLC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved TCL with stamp date 8-31-20 approved on 9/7/2020. This certification is submitted in support of a request for a Final Certificate of Occupancy.

The record information presented here on is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Design 2 Function, LLC

Gordon Allan Hall





City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: RXI Innovations Building Permit #: BP-2020-34014 Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 38-B (1) Replat of Lots 38-B & 38-C Unit #4 Interstate Industrial Trac
City Address: 7209 Jefferson St NE, Albuquerque NM 87109

Applicant: Design 2 Function, LLC Contact: Nick Pirkl
Address: P.O. Box 93368, Albuquerque NM 87199-3368
Phone#: 505-823-6481 Fax#: _____ E-mail: nick@d2flc.com

Other Contact: MJRX Properties, LLC Contact: Jake Kocherhans
Address: 7215 Washington St. NE, Albuquerque NM 87109
Phone#: 505-610-3422 Fax#: _____ E-mail: jake@rxinnovations.net

TYPE OF DEVELOPMENT: 1 PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes XX No

DEPARTMENT XX TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)**
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY**
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 1/4/21 By: Nick Pirkl

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____