Walla ENGINEERING LTD Structural Engineering • Civil Engineering

LETTER OF TRANSMITTAL

TO CITY OF ALBUQ

DATE 2/2/12 JOB NO.

ATTENTION HYDROLOGY

RE: MCT PAINT BOOTH

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover Via. _____ the following items:

☐ Plans ☐ Prints ☐ CD ☐ Specifications ☐ Calculations

☐ Report ☐ Copy of Letter ☐ Shop drawings ☐ Proposal Information

☐ Samples ☐ _____

COPIES	DATE	NO.	DESCRIPTION
1			INFORMATION SHEET
2			DRAINAGE REPORT W/GRAD PLAN

THESE ARE TRANSMITTED as checked below:

☒ For Your Use ☒ For Review and Comment ☐ Returned After Loan To Us

☐ As Requested ☐ Correct and Resubmit ☐ Resubmittal Not Required, Revise Per Corrections Noted, If Any

REMARKS

RECEIVED
FEB 02 2012
HYDROLOGY SECTION

COPIES TO : FILE SIGNED:

If enclosures are not as noted, kindly notify us at once

6100 Indian School Road NE • Suite 210
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

Walla ENGINEERING LTD
Structural Engineering • Civil Engineering

Drainage Report
For

MCT PAINT BOOTH REPLACEMENT

Prepared by:

Walla Engineering, Ltd.
6100 Indian School Rd. NE
Suite 105
Albuquerque, New Mexico 87110

Prepared for:
MCT, Inc
7451 Pan American Freeway NE
Albuquerque, New Mexico 87109

February, 2012

I certify that this report was prepared under my supervision, and I am a registered professional engineer in the state of New Mexico in good standing.

MIKE J. WALLA
NEW MEXICO
11030
REGISTERED
PROFESSIONAL ENGINEER

Mike J. Walla
PE No. 11030

RECEIVED
FEB 02 2012
HYDROLOGY SECTION

Project # M47-0111

TABLE OF CONTENTS

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025
Mike J. Walla P.E. • Larry E. Kennedy

SECTION I

REPORT

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

Introduction

The site is located on Albuquerque's far north industrial corridor at 7451 Pan American Freeway NE. The site is on the west side of Interstate 25 and has existed for over 30 years. It was one of the first developed sites in the area and has historic site drainage features which will be upgraded in this construction. The proposed development is the construction of a new building that will replace two existing smaller buildings that have been become antiquated. Some existing concrete paving will be replaced as well due to poor drainage issues causing some storm drainage directed back toward adjacent buildings. The site is bordered by two properties to the east, as well as properties north, south and west that are adjacent to this facility. The site is accessed from the southbound I-25 frontage road via an access drive. The attached City of Albuquerque Zone Atlas Map, D-17-Z indicates the site location. The purpose of this report is to describe onsite drainage conditions and how the new work will improve the handling of historically developed flows.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

Existing Drainage Conditions & Offsite Flows

The existing site is an industrial facility with 3 buildings and an outdoor crane that is partially paved with some dirt parking on a site sloping from east to west. The buildings are concentrated on the west end of the site and most of the runoff currently sheet flows across the site to the lowest end of the site along the west border. The east border is approximately 3 feet lower than the adjacent two (2) properties. These adjacent properties collect site drainage at their western border and direct runoff to the north thru a sloping concrete channel to downstream facilities in the property north of MCT where it continues north on the parking lot surface to COA facilities in Masthead Street and then Jefferson Blvd. All other properties adjacent to MCT are lower than the elevations of the MCT site and therefore do not influence MCT site drainage. Therefore, the only offsite drainage that affects the MCT site is a slim dirt area along the east border for approximately 150 feet at south end of the property and is not significant.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

PANEL # 137
MAP # 35001C0137F

TIBURON S
1% ANNUAL CHANCE FLOOD DISCHARGE CONTAINED IN CHANNEL
SAN FRANCISCO RD NE
SUN AVE NE
SUN LN NE
PINO
ZON
(DE
LIN
ZONE X
ZONE A
Nort
LIMIT OF DETAILED STUDY
MASTHEAD ST NE
ZONE A
REDWOOD NE
JUNIPER NE
LOCUST NE
HAWKINS ST NE
SITE
DEL REY AVE NE
LAUREL NE
WILLOW NE
OAK NE
BAYBERRY NE
CHESTNUT NE
CYPRESS NE
ALDER NE
SYCAMORE NE
WALNUT NE
JACGRANDE NE
ELLISON ST NE
JEFFERSON ST NE
1% ANNUAL CHANCE FLOOD DISCHARGE CONTAINED IN CHANNEL
25
ZONE A
LIMIT OF DETAILED STUDY
ZONE X
GRUBER AVE NE
ZONE X
ZONE X
PAN AMERICAN PL NE
Arroyo Del Pino
ZONE AO
(DEPTH 1')
FOREST HILLS DR N
LESLIE PL NE
JOINS P
BARNHART ST NE

5

PASEO NORTE

PASEO DEL NORTE

INDUSTRIAL PARK

LORRAINE CT

EL PUEBLO RD

JEFFERSON ST

LANG AV

HEADLINE

JOURNAL CENTER BLVD

SAN FRANCISCO DR

MASTHEAD

HAWKINS

ELLISON

SNAPROLL ST

KUIDIS

NORTH PINO INLET

TIJERAS ARROYO

DRAINAGE RIGHT-OF-WAY

INTERSTATE 25

IP

M-1

SU-1 IP PERM USES

SU-1 M-1 PERM USES

SU-1 HOSPITAL & RELATED USES

REEVES STATION

PNM

AMERICAN GYPSUM COMPANY

JOURNAL

CENTER

INTERSTATE

INDUSTRIAL

TRACT

ACADEMY FOR BOYS

CITY OF ALBUQ WELL SITE

(UNIT 3)

(UNIT 4)

(UNIT 5)

NORTH DIVERSION CHANNEL AND INLET CHANNELS PHASE 4

DRAINAGE ROW

SITE

NORTH ABQ ACRES

C-2

SU-1

CITY OF Albuquerque

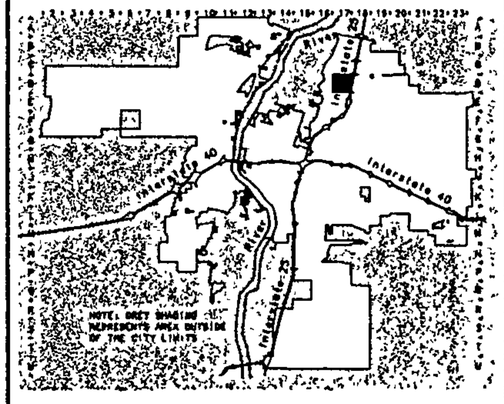
Albuquerque Geographic Information System

PLANNING DEPARTMENT

AGIS

GRAPHIC SCALE IN FEET

250 0 500 1000



Zone Atlas Page

D-17-Z

Map Amended through
December 20, 1999

Proposed Drainage Management

The proposed on-site drainage management plan is to continue the surface flow pattern from east to west across the site using surface grading and a new concrete valley gutter to direct runoff to retention ponds at the north and south ends of the site. Because the new work will affect the south pond the project will regrade this pond to hold more runoff. The pond will have an outfall swale that will direct overflow drainage to the north pond along the west side of the existing building. New grading will create dirt berms to protect adjacent properties west of the site from any runoff developed on the MCT site. The north retention pond has capacity for some runoff storage but has an existing concrete outfall/overflow structure which has historically directed runoff north to a downstream parking lot and then over the paved surface to Masthead Street and then Jefferson Blvd.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

Calculations

The weighted E method from the "City of Albuquerque Development Process Manual Volume 11 – Design Criteria, 1997 Revision" was used to calculate runoff volumes from the project site. The 6-hr, 100-yr storm volume of runoff was calculated to be 7,065 cubic feet for the south basin. The new south pond grading will provide approximately 7,475 CF of runoff storage. These volumes are calculated on the plan sheet C-101 and are included in the Appendix of this report.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025
Mike J. Walla P.E. • Larry E. Kennedy

Summary

The site will be graded to direct surface runoff from east to west to match historic flow conditions. The new construction on the site will not appreciably change the historic developed flow volumes or flow rate to downstream facilities, in fact the regarding along the west perimeter of the site may reduce flows to adjacent properties during large storm events. The area of impermeable surfaces will not increase as a result of this project. The south pond regrading will create more runoff capacity onsite and the proposed valley gutter should resolve some erosion issues onsite and prevent silt accumulation in the south pond.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

SECTION II

Runoff Calculations

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

PRECIPITATION ZONE 2

DESIGN STORM: (IN)	1hr	6hr	24hr	4day	10day
	2.01	2.35	2.75	3.30	3.95

EXISTING AND PROPOSED CONDITIONS - BASIN I

LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0	0
C	0.578	49%	1.13	3.14	1.81	2,371	2,371	2,371	2,371
D	0.610	51%	2.12	4.70	2.87	4,694	5,580	6,798	8,237
TOTALS	1.188	100%			4.68	7,065	7,951	9,169	10,608

EXISTING CONDITIONS - BASIN II

LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0	0
C	0.578	49%	1.13	3.14	1.81	2,371	2,371	2,371	2,371
D	0.610	51%	2.12	4.70	2.87	4,694	5,580	6,798	8,237
TOTALS	1.188	100%			4.68	7,065	7,951	9,169	10,608

CITY OF ALBUQUERQUE

February 7, 2012

Mike J. Walla, P.E.
Walla Engineering, LTD
6100 Indian School NE, Suite 105
Albuquerque, NM 87110

Re: MCT Industries Paint Booth Replacement
Grading and Drainage Plan
Engineer's Stamp Dated 2-~~12~~-2012 (D17/D047)
02

Dear Mr. Walla,

Based upon the information provided in your submittal dated 2-02-2012, the above referenced plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit and a Topsoil Disturbance Permit. If you have any questions about this permit, please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

~~Shahab Biazar, PE~~
Senior Engineer, Planning Dept.
Development and Building Services

C: RER/SB
E-Mail
file

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Walla ENGINEERING LTD
Structural Engineering • Civil Engineering

LETTER OF TRANSMITTAL

TO CITY OF ALBUQUERQUE

DATE 11/8/11 JOB NO.

ATTENTION HYDROLOGY

RE: MCT - ALBUQUERQUE
PAINT BOOTH REPL. BLDG

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover Via. _____ the following items:

☐ Plans ☐ Prints ☐ CD ☐ Specifications ☐ Calculations

☐ Report ☐ Copy of Letter ☐ Shop drawings ☐ Proposal Information

☐ Samples ☐ _____

COPIES	DATE	NO.	DESCRIPTION
1 EA			INFORMATION SHEET
2 EA			C-101 & C-201
1 EA			PLAN REVIEW FEE

THESE ARE TRANSMITTED as checked below:

☐ For Your Use ☐ For Review and Comment ☐ Returned After Loan To Us

☐ As Requested ☐ Correct and Resubmit ☐ Resubmittal Not Required, Revise Per Corrections Noted, If Any

REMARKS

RECEIVED
NOV 08 2011
HYDROLOGY SECTION

COPIES TO : FILE SIGNED:

If enclosures are not as noted, kindly notify us at once

6100 Indian School Road NE • Suite 210
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

Drainage Report
For

MCT PAINT BOOTH REPLACEMENT

Prepared by:

Walla Engineering, Ltd.
6100 Indian School Rd. NE
Suite 105
Albuquerque, New Mexico 87110

Prepared for:
MCT, Inc
7451 Pan American Freeway NE
Albuquerque, New Mexico 87109

February, 2012

I certify that this report was prepared under my supervision, and I am a registered professional engineer in the state of New Mexico in good standing.

MIKE J. WALLA NEW MEXICO 11030 PROFESSIONAL ENGINEER

Mike J. Walla
PE No. 11030

Project # M47-0111

TABLE OF CONTENTS

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

SECTION I

REPORT

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

Introduction

The site is located on Albuquerque's far north industrial corridor at 7451 Pan American Freeway NE. The site is on the west side of Interstate 25 and has existed for over 30 years. It was one of the first developed sites in the area and has historic site drainage features which will be upgraded in this construction. The proposed development is the construction of a new building that will replace two existing smaller buildings that have been become antiquated. Some existing concrete paving will be replaced as well due to poor drainage issues causing some storm drainage directed back toward adjacent buildings. The site is bordered by two properties to the east, as well as properties north, south and west that are adjacent to this facility. The site is accessed from the southbound I-25 frontage road via an access drive. The attached City of Albuquerque Zone Atlas Map, D-17-Z indicates the site location. The purpose of this report is to describe onsite drainage conditions and how the new work will improve the handling of historically developed flows.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025
Mike J. Walla P.E. • Larry E. Kennedy

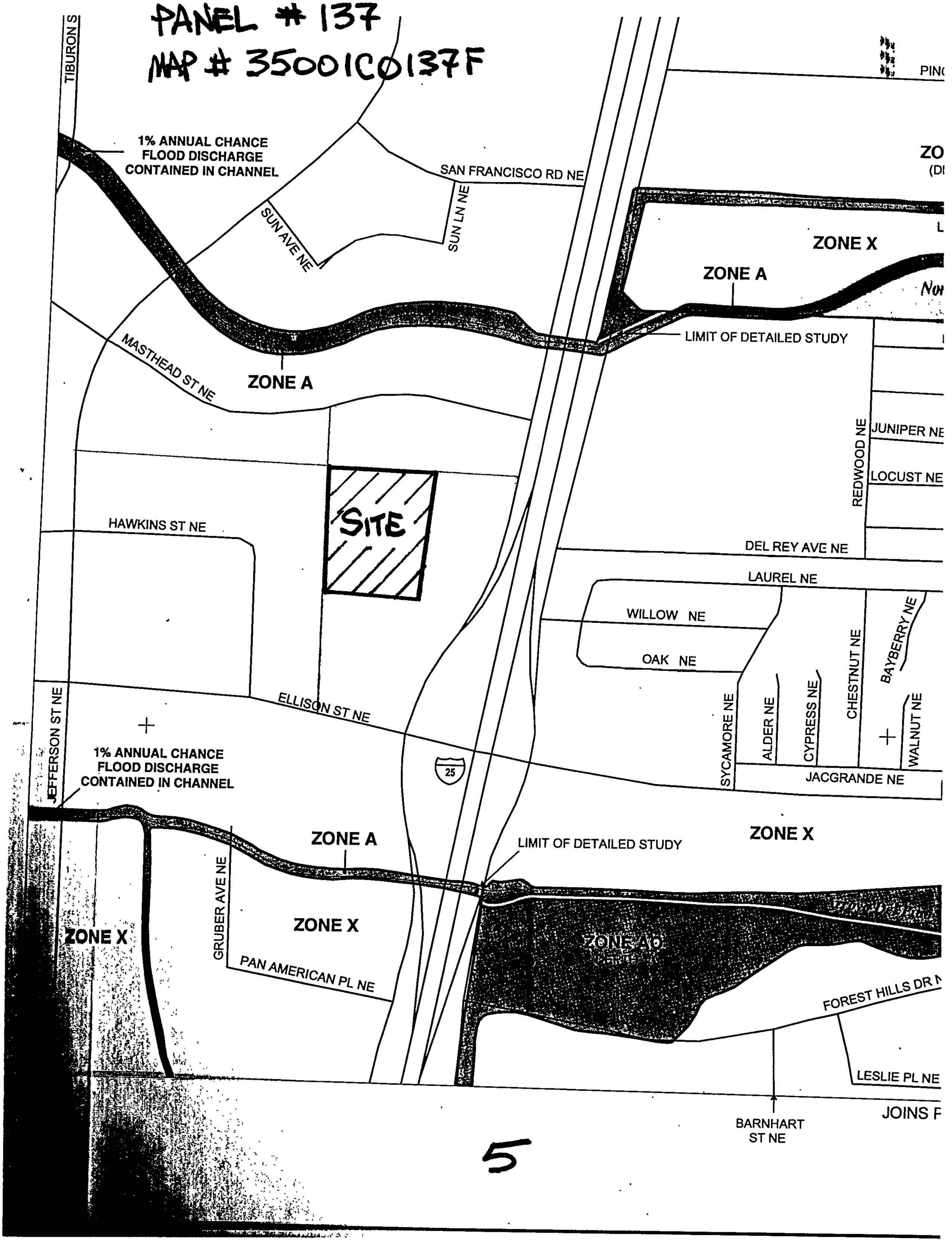
Existing Drainage Conditions & Offsite Flows

The existing site is an industrial facility with 3 buildings and an outdoor crane that is partially paved with some dirt parking on a site sloping from east to west. The buildings are concentrated on the west end of the site and most of the runoff currently sheet flows across the site to the lowest end of the site along the west border. The east border is approximately 3 feet lower than the adjacent two (2) properties. These adjacent properties collect site drainage at their western border and direct runoff to the north thru a sloping concrete channel to downstream facilities in the property north of MCT where it continues north on the parking lot surface to COA facilities in Masthead Street and then Jefferson Blvd. All other properties adjacent to MCT are lower than the elevations of the MCT site and therefore do not influence MCT site drainage. Therefore, the only offsite drainage that affects the MCT site is a slim dirt area along the east border for approximately 150 feet at south end of the property and is not significant.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

PANEL # 137
MAP # 35001C0137F



6

PASEO NORTE

PASEO DEL NORTE INDUSTRIAL PARK

LORRAINE CT

EL PUEBLO RD

JEFFERSON ST

JOURNAL

LANG AV

SU-1 IP PERM USES

HEADLINE

BLVD

NORTH ABQ ACRES

CENTER

JOURNAL CENTER BLVD

KUIDIS

M-1

REEVES STATION

PNM

AMERICAN GYPSUM COMPANY

SU-1 M-1 PERM USES

CITY OF ALBUQ WELL SITE

DRAINAGE RIGHT-OF-WAY

NORTH PINO INLET

TIJERAS

SAN FRANCISCO DR

SUN

INTERSTATE 25

MASTHEAD

SHARROLL

HAWKINS

INTERSTATE (UNIT 4)

M-1

CENTER

INDUSTRIAL

WASHINGTON

ELLISON

JEFFERSON

(UNIT 5)

(UNIT 3)

TRACT

ACADEMY FOR BOYS

SITE

SU-1 HOSPITAL & RELATED USES

C-2

NORTH DIVERSION CHANNEL AND INLET CHANNELS PHASE 4

DRAINAGE ROW

IP

CITY OF Albuquerque

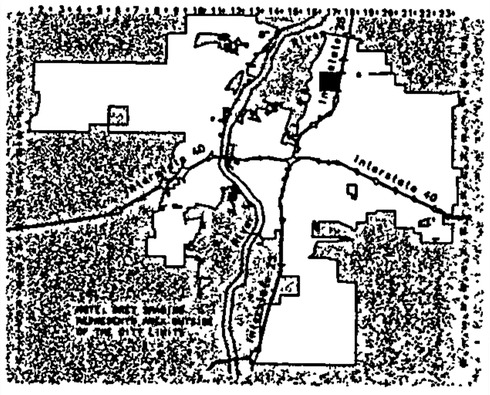
Albuquerque Geographic Information System

PLANNING DEPARTMENT

AGIS

GRAPHIC SCALE IN FEET

250 0 500 1000



Zone Atlas Page

D-17-Z

Map Amended through
December 20, 1999

Proposed Drainage Management

The proposed on-site drainage management plan is to continue the surface flow pattern from east to west across the site using surface grading and a new concrete valley gutter to direct runoff to retention ponds at the north and south ends of the site. Because the new work will affect the south pond the project will regrade this pond to hold more runoff. The pond will have an outfall swale that will direct overflow drainage to the north pond along the west side of the existing building. New grading will create dirt berms to protect adjacent properties west of the site from any runoff developed on the MCT site. The north retention pond has capacity for some runoff storage but has an existing concrete outfall/overflow structure which has historically directed runoff north to a downstream parking lot and then over the paved surface to Masthead Street and then Jefferson Blvd.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

Calculations

The weighted E method from the "City of Albuquerque Development Process Manual Volume 11 – Design Criteria, 1997 Revision" was used to calculate runoff volumes from the project site. The 6-hr, 100-yr storm volume of runoff was calculated to be 7,065 cubic feet for the south basin. The new south pond grading will provide approximately 7,475 CF of runoff storage. These volumes are calculated on the plan sheet C-101 and are included in the Appendix of this report.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

Summary

The site will be graded to direct surface runoff from east to west to match historic flow conditions. The new construction on the site will not appreciably change the historic developed flow volumes or flow rate to downstream facilities, in fact the regarding along the west perimeter of the site may reduce flows to adjacent properties during large storm events. The area of impermeable surfaces will not increase as a result of this project. The south pond regrading will create more runoff capacity onsite and the proposed valley gutter should resolve some erosion issues onsite and prevent silt accumulation in the south pond.

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

SECTION II

Runoff Calculations

6100 Indian School Road NE • Suite 105
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

PRECIPITATION ZONE 2

DESIGN STORM: (IN)	1hr	6hr	24hr	4day	10day
	2.01	2.35	2.75	3.30	3.95

EXISTING AND PROPOSED CONDITIONS - BASIN I

LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.00	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0	0
C	0.578	49%	1.13	3.14	1.81	2,371	2,371	2,371	2,371
D	0.610	51%	2.12	4.70	2.87	4,694	5,580	6,798	8,237
TOTALS	1.188	100%			4.68	7,065	7,951	9,169	10,608

EXISTING CONDITIONS - BASIN II

LAND TRTMNT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)
A	0.000	0%	0.53	1.56	0.00	0	0	0	0
B	0.000	0%	0.78	2.28	0.00	0	0	0	0
C	0.578	49%	1.13	3.14	1.81	2,371	2,371	2,371	2,371
D	0.610	51%	2.12	4.70	2.87	4,694	5,580	6,798	8,237
TOTALS	1.188	100%			4.68	7,065	7,951	9,169	10,608

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: MCT - PAINT BOOTH REPLACEMENT ZONE MAP/DRG. FILE #: D-17/D047
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PARCEL "A-2" PORTION OF LANDS OF ACADEMY FOR BOYS W/IN ELENA GALLEGOS, BERNALILLO COUNTY, NM
CITY ADDRESS: 7451 PAN AMERICAN FRWY NE, ALBUQ., NM

ENGINEERING FIRM: WALLA ENGINEERING, LTD CONTACT: MIKE WALLA
ADDRESS: 6100 WILSHIRE SCHOOL RD. NE PHONE: 881-3008
CITY, STATE: ALBUQ., NM ZIP CODE: 87110

OWNER: MCT INDUSTRIES CONTACT: BENNY MARTINEZ
ADDRESS: 7451 PAN AMERICAN FRWY NE PHONE: 345-8651
CITY, STATE: ALBUQ., NM ZIP CODE: 87109

ARCHITECT: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: CARTESIAN SURVEYS, INC. CONTACT: WILL MOSTLER JR.
ADDRESS P.O. BOX 44414 PHONE: 896-3050
CITY, STATE: RIO RANCHO, NM ZIP CODE: 87174

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- X DRAINAGE REPORT
- ___ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- X DRAINAGE PLAN RESUBMITTAL
- ___ CONCEPTUAL GRADING & DRAINAGE PLAN
- X GRADING PLAN
- ___ EROSION CONTROL PLAN
- ___ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ___ CLOMR/LOMR
- ___ TRAFFIC CIRCULATION LAYOUT (TCL)
- ___ ENGINEERS CERTIFICATION (TCL)
- ___ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ___ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ___ SIA / FINANCIAL GUARANTEE RELEASE
- ___ PRELIMINARY PLAT APPROVAL
- ___ S. DEV. PLAN FOR SUB'D. APPROVAL
- ___ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ___ SECTOR PLAN APPROVAL
- ___ FINAL PLAT APPROVAL
- ___ FOUNDATION PERMIT APPROVAL
- X BUILDING PERMIT APPROVAL
- ___ CERTIFICATE OF OCCUPANCY (PERM.)
- ___ CERTIFICATE OF OCCUPANCY (TEMP.)
- ___ GRADING PERMIT APPROVAL
- ___ PAVING PERMIT APPROVAL
- ___ WORK ORDER APPROVAL
- ___ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ___ YES
- ___ NO
- ___ COPY PROVIDED

RECEIVED
FEB 02 2012
HYDROLOGY SECTION

DATE SUBMITTED: 2/2/12 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature , location and scope ot the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF
Albuquerque

Martin J. Chávez, Mayor

June 10,1997

R.G. Lee
Lee Engineering
2316 Calle De Rafael NE
Albuquerque, New Mexico 87122

RE: DRAINAGE PLAN FOR AN ADDITION TO MCT INDUSTRIES (D17-D47)
ENGINEER'S STAMP DATED 6/5/97

Dear Mr. Lee:

Based on the information provided on your June 9,1997 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Please be advised that any further development within the site will require downstream analysis for discharge.

If I can be of further assistance, please feel free to contact me 924-3986.

C: Andrew Garcia
File

Sincerely

Bernie J. Montoya

Bernie J. Montoya CE
Associate Engineer

CITY OF ALBUQUERQUE

August 23, 2012

Mike J. Walla, P.E.
Walla Engineering, LTD
6100 Indian School Rd. NE Ste. 210
Albuquerque, NM 87110

mikew@wallaengineering.com

Re: MCT Paint Booth, 7451 Pan American FrwyNE,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 02-02-12, (D17/D047)
Certification dated: 08-20-12

Dear Mr. Walla,

Based upon the information provided in the Certification received 08-21-12, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: MCT - PAINT BOOTH REPLACEMENT ZONE MAP/DRG. FILE #: D-17 / D047
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PARCEL "A-2" PORTION OF LANDS OF ACADEMY FOR BOYS W/IN ELENA GALLEGOS, BERNALILLO COUNTY NM
CITY ADDRESS: 7451 PAN AMERICAN FRWY NE, ALBUQ., NM

ENGINEERING FIRM: WILLA ENGINEERING, LTD — CONTACT: MIKE WILLA
ADDRESS: 6100 HANNA SCHOOL RD. NE — PHONE: 881-3005
CITY, STATE: ALBUQ., NM — ZIP CODE: 87110

OWNER: MCT INDUSTRIES — CONTACT: RENY MARTINEZ
ADDRESS: 7451 PAN AMERICAN FRWY NE — PHONE: 345-8651
CITY, STATE: ALBUQ., NM — ZIP CODE: 87109

ARCHITECT: N/A — CONTACT: _____
ADDRESS: _____ — PHONE: _____
CITY, STATE: _____ — ZIP CODE: _____

SURVEYOR: CARTESIAN SURVEYS, INC. — CONTACT: WILL MONTOYA JR.
ADDRESS: P.O. BOX 44414 — PHONE: 896-3050
CITY, STATE: RIO RANCHO, NM — ZIP CODE: 87174

CONTRACTOR: _____ — CONTACT: _____
ADDRESS: _____ — PHONE: _____
CITY, STATE: _____ — ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

___ DRAINAGE REPORT
___ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
___ DRAINAGE PLAN RESUBMITTAL
___ CONCEPTUAL GRADING & DRAINAGE PLAN
___ GRADING PLAN
___ EROSION CONTROL PLAN
X ENGINEER'S CERTIFICATION (HYDROLOGY)
___ CLOMR/LOMR
___ TRAFFIC CIRCULATION LAYOUT (TCL)
___ ENGINEERS CERTIFICATION (TCL)
___ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
___ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

___ SIA / FINANCIAL GUARANTEE RELEASE
___ PRELIMINARY PLAT APPROVAL
___ S. DEV. PLAN FOR SUB'D. APPROVAL
___ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
___ SECTOR PLAN APPROVAL
___ FINAL PLAT APPROVAL
___ FOUNDATION PERMIT APPROVAL
___ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY (PERM.)
___ CERTIFICATE OF OCCUPANCY (TEMP.)
___ GRADING PERMIT APPROVAL
___ PAVING PERMIT APPROVAL
___ WORK ORDER APPROVAL
___ OTHER (SPECIFY)

mike@willengr.com

WAS A PRE-DESIGN CONFERENCE ATTENDED:

___ YES
___ NO
___ COPY PROVIDED

RECEIVED
AUG 21 2012

DATE SUBMITTED: 8/21/12 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature , location and scope ot the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Walla ENGINEERING LTD
Structural Engineering • Civil Engineering

LETTER OF TRANSMITTAL

TO CITY OF ALBUQ
HYDROLOGY

DATE 8/21/12 JOB NO.
ATTENTION
RE: MCT PAINT BOOTH

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover Via. _____ the following items:

☐ Plans ☐ Prints ☐ CD ☐ Specifications ☐ Calculations

☐ Report ☐ Copy of Letter ☐ Shop drawings ☐ Proposal Information

☐ Samples ☐ _____

COPIES	DATE	NO.	DESCRIPTION
1 EA			ENGINEER'S CERTIFICATION DRAWING
1 EA			INFORMATION SHEET

THESE ARE TRANSMITTED as checked below:

☒ For Your Use ☐ For Review and Comment ☐ Returned After Loan To Us

☐ As Requested ☐ Correct and Resubmit ☐ Resubmittal Not Required, Revise Per Corrections Noted, If Any

REMARKS _____

COPIES TO : FILE SIGNED: _____

If enclosures are not as noted, kindly notify us at once

RECEIVED
AUG 21 2012

6100 Indian School Road NE • Suite 210
Albuquerque • New Mexico • 87110
(505) 881-3008 • Facsimile (505) 881-4025

Mike J. Walla P.E. • Larry E. Kennedy

CITY OF ALBUQUERQUE

November 30, 2011

Mike J. Walla, P.E.
Walla Engineering, LTD
6100 Indian School NE, Suite 105
Albuquerque, NM 87110

Re: MCT Industries Paint Booth Replacement, Grading and Drainage Plan, Engineer's Stamp Dated 11-07-2011 (D17/D047)

Dear Mr. Walla,

Based upon the information provided in your submittal dated 11-08-2011, the above referenced plan can not be approved for Building Permit until the following comments are addressed:

- Include all the offsite runoffs and explain how it will impact this site.
- Provide proposed pond calculations. Show the 100-Yr WSEL. Provide emergency overflow and calculations.
- Are there any slope protection being proposed for the pond at the end of the valley gutter and the 8" pipe.
- The top of pond elevation is "FG 79.90" next to a proposed contour with an elevation of 76.00. Please correct this elevation.
- There is existing hatch area to the east of the retention pond. Please note on the plan what this area is and were to and how does it drain.
- Another hatch area is shown on the east side of the building. Please indicate what this hatch area is.
- There is an area just west of the new building where the runoff ponds against the existing wall. Will this area be regarded?
- Does the pond to the north have adequate volume for the existing developed runoff for the northerly portion of this site?
- If ¾ acre or more is being disturbed Topsoil Disturbance Permit will be required.
- If one acre or more is being disturbed this project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, PE
Senior Engineer, Planning Dept.
Development and Building Services

C: file

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: MCT - PAINT BOOTH REPLACEMENT ZONE MAP/DRG. FILE #: D-17/D047
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: PARCEL "A-2" PORTION OF LANDS OF ACADEMY FOR BOYS W/IN ELENA GALLEGOS, BERNALILLO COUNTY, NM
CITY ADDRESS: 7451 PAN AMERICAN FRWY NE, ALBUQ., NM

ENGINEERING FIRM: WALLA ENGINEERING, LTD — CONTACT: MIKE WALLA
ADDRESS: 6100 INDIAN SCHOOL RD. NE — PHONE: 881-3006
CITY, STATE: ALBUQ., NM — ZIP CODE: 87110

OWNER: MCT INDUSTRIES — CONTACT: BENNY MARTINEZ
ADDRESS: 7451 PAN AMERICAN FRWY NE — PHONE: 345-8651
CITY, STATE: ALBUQ., NM — ZIP CODE: 87109

ARCHITECT: N/A — CONTACT: _____
ADDRESS: _____ — PHONE: _____
CITY, STATE: _____ — ZIP CODE: _____

SURVEYOR: CARTESIAN SURVEYS, INC. — CONTACT: WILL AUSTNER JR.
ADDRESS: P.O. BOX 44414 — PHONE: 896-3050
CITY, STATE: RIO RANCHO, NM — ZIP CODE: 87174

CONTRACTOR: _____ — CONTACT: _____
ADDRESS: _____ — PHONE: _____
CITY, STATE: _____ — ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ____ DRAINAGE REPORT
- X DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ____ DRAINAGE PLAN RESUBMITTAL
- ____ CONCEPTUAL GRADING & DRAINAGE PLAN
- X GRADING PLAN
- ____ EROSION CONTROL PLAN
- ____ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ____ CLOMR/LOMR
- ____ TRAFFIC CIRCULATION LAYOUT (TCL)
- ____ ENGINEERS CERTIFICATION (TCL)
- ____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ____ SIA / FINANCIAL GUARANTEE RELEASE
- ____ PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D. APPROVAL
- ____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ____ SECTOR PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- X BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY (PERM.)
- ____ CERTIFICATE OF OCCUPANCY (TEMP.)
- ____ GRADING PERMIT APPROVAL
- ____ PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- ____ OTHER (SPECIFY)

RECEIVED
NOV 08 2011
HYDROLOGY SECTION

WAS A PRE-DESIGN CONFERENCE ATTENDED:

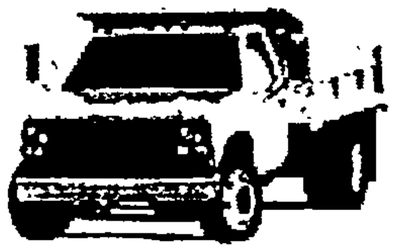
- ____ YES
- ____ NO
- ____ COPY PROVIDED

$59.00

DATE SUBMITTED: 11/8/11 BY: _____

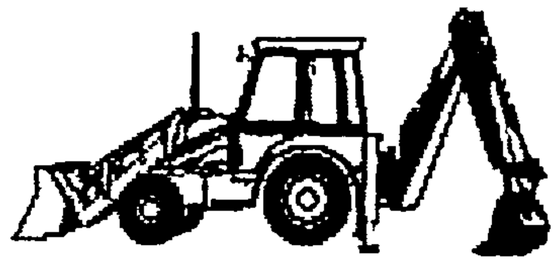
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature , location and scope ot the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Victor Corral

Specializing



In all concrete and gravel work

Including:

Demolition and replacement
Driveways
Sidewalks
Patios
All type of gravel for front and backyards

We also raise block walls and new block walls

Call for a free estimate at:

Cell: 261-2641
Home: 341-0614
Thank You

BACKHOE & DUMP TRUCK WORK

ALL TYPES OF DEMOLITION & EXCAVATING

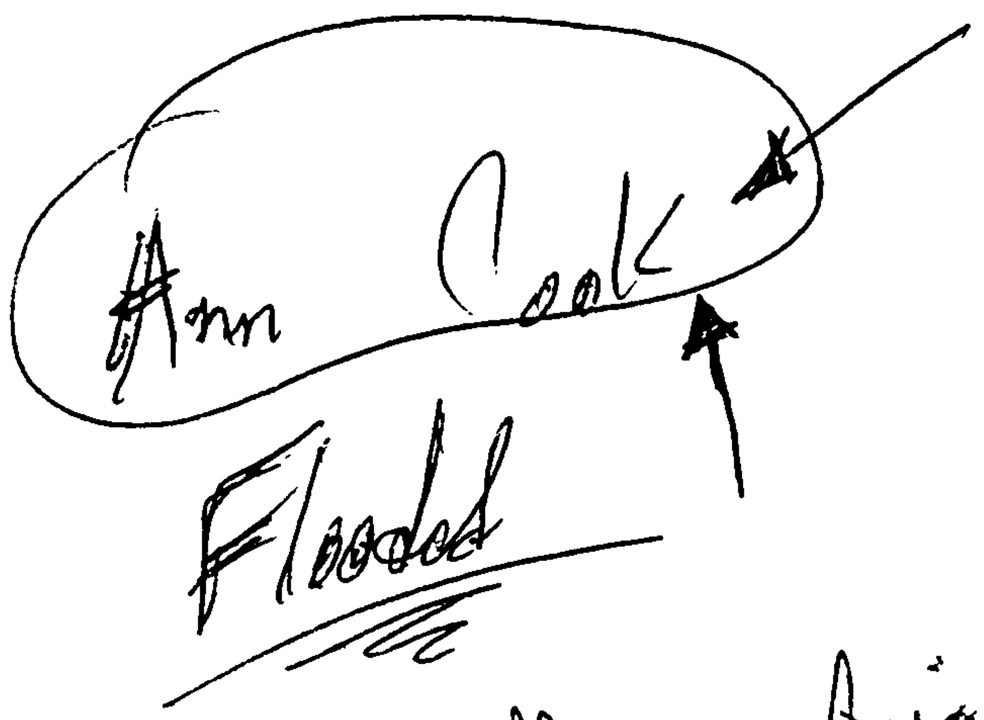
WE ALSO DO HAULING:
DIRT
GRAVEL
SAND

VICTOR CORRAL
Owner

OLD CONCRETE & ASPHALT
Cell: 261-2641
Home: 341-0614
VictorCorral1@hotmail.com

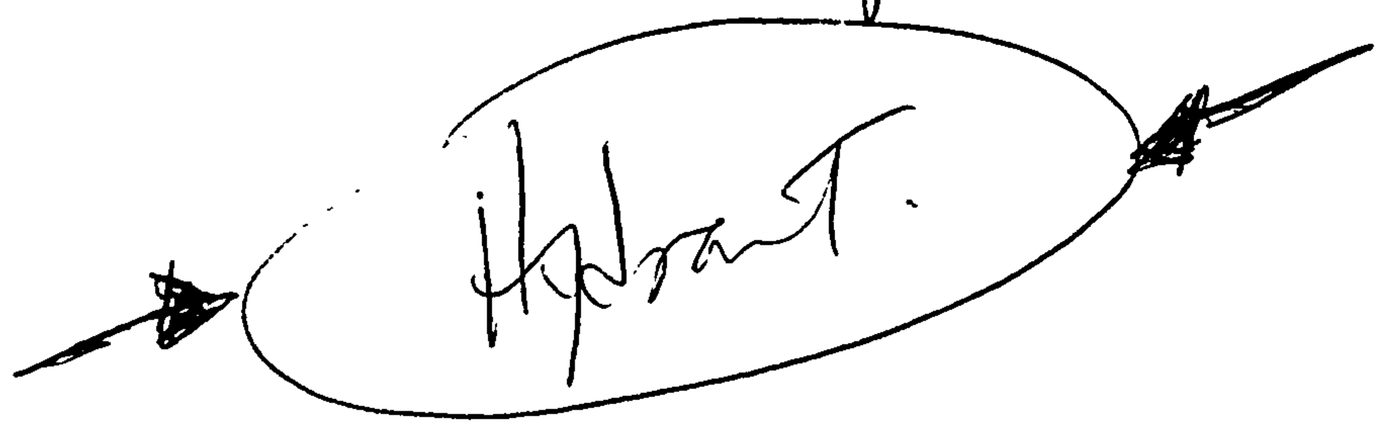
292-4024

40

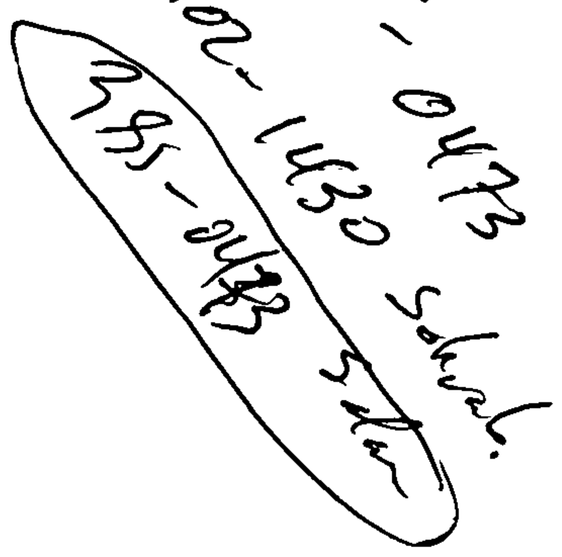


Mike Arias.

Patrick Grady



1097 Miss Manuelitas



Mikew@wallsengineering.com

Gibson
Fire

Lago Gils