

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Silk Screen Graphics, Inc ZONE ATLAS/DRNG. FILE #: D-17-2

LEGAL DESCRIPTION: Unit 4 Tract X-1 Interstate Industrial

CITY ADDRESS: 4100 Hawkins N.E.

ENGINEERING FIRM: Frank Lovelady CONTACT: Frank Lovelady

ADDRESS: 7408 Morrow N.E. PHONE: 883-7973

OWNER: Martin J. Haynes CONTACT: Martin J. Haynes

ADDRESS: P.O. Box 9043 Alb., NM 87119 PHONE: 898-6622

ARCHITECT: William McConnell CONTACT: William Mc Connell

ADDRESS: 11927 Menaul N.E. PHONE: 293-8777

SURVEYOR: Tyree Surveying CONTACT: Ronald Tyree

ADDRESS: 201-C Eubank N.E. PHONE: 293-7070

CONTRACTOR: Architectural Contractors, Inc CONTACT: Martin J. Haynes

ADDRESS: P.O. Box 9043 Alb., NM 87119 PHONE: 898-6622

PRE-DESIGN MEETING:

☒ YES per Bernie Montoya, (verbal) DRB NO. _____

☐ NO EPC NO. _____

☐ COPY OF CONFERENCE RECAP PROJ. NO. _____
SHEET PROVIDED

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE DEVELOPMENT PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ ROUGH GRADING PERMIT APPROVAL
- ☐ GRADING/PAVING PERMIT APPROVAL
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: September 5, 1989

BY: William McConnell



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 18, 1989

Martin J. Haynes
Post Office Box 9043
Albuquerque, New Mexico 871

RE: DRAINAGE PLAN FOR AN ADDITION TO SILK SCREEN GRAPHICS, INC.
(D-17/D55A) RECEIVED SEPTEMBER 11, 1989

Dear Mr. Haynes:

Based on the information provided on your submittal of September 11, 1989, no further requirements will be imposed. Please be advised that upon completion, an inspection must be requested.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+1291)

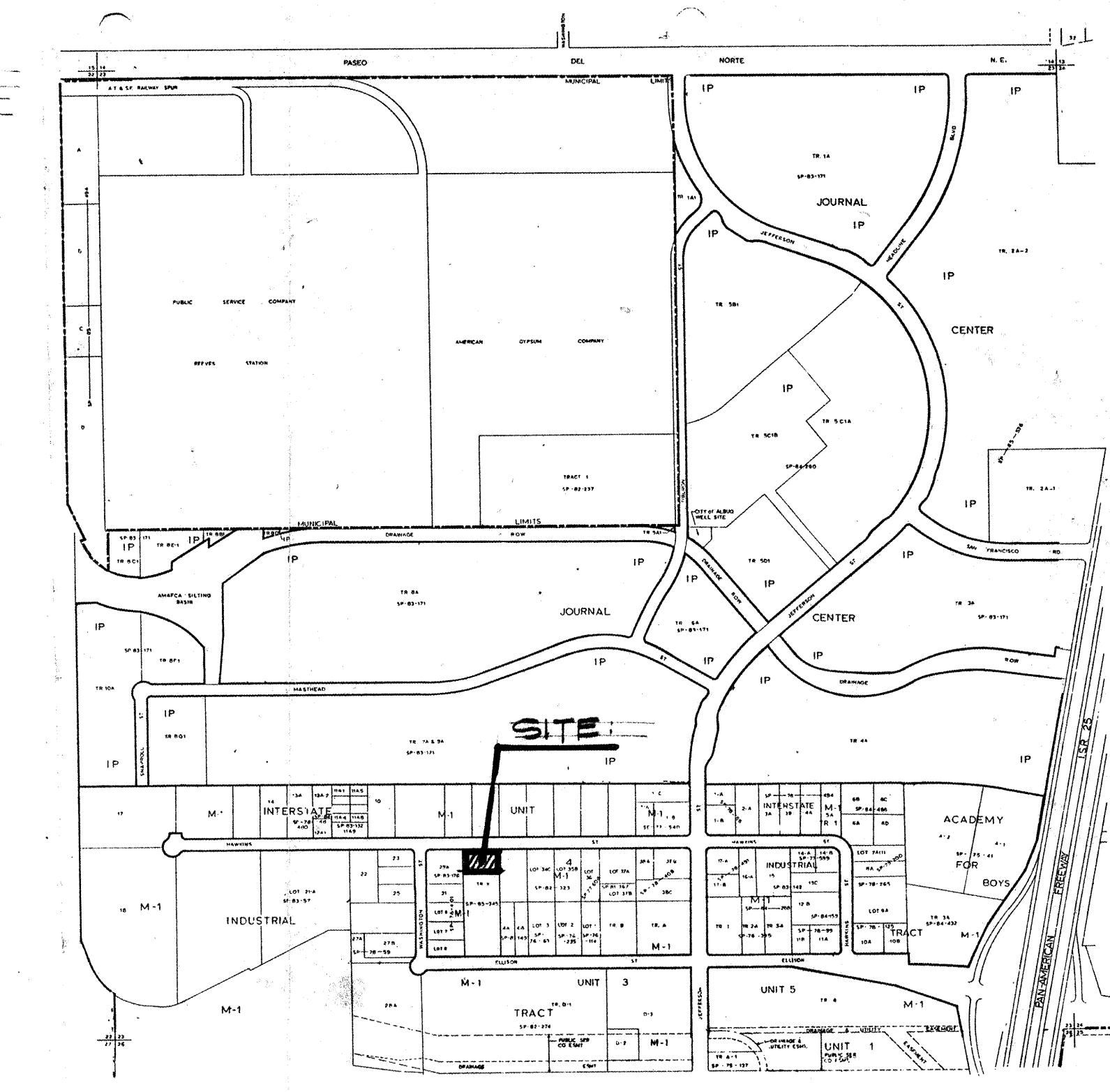
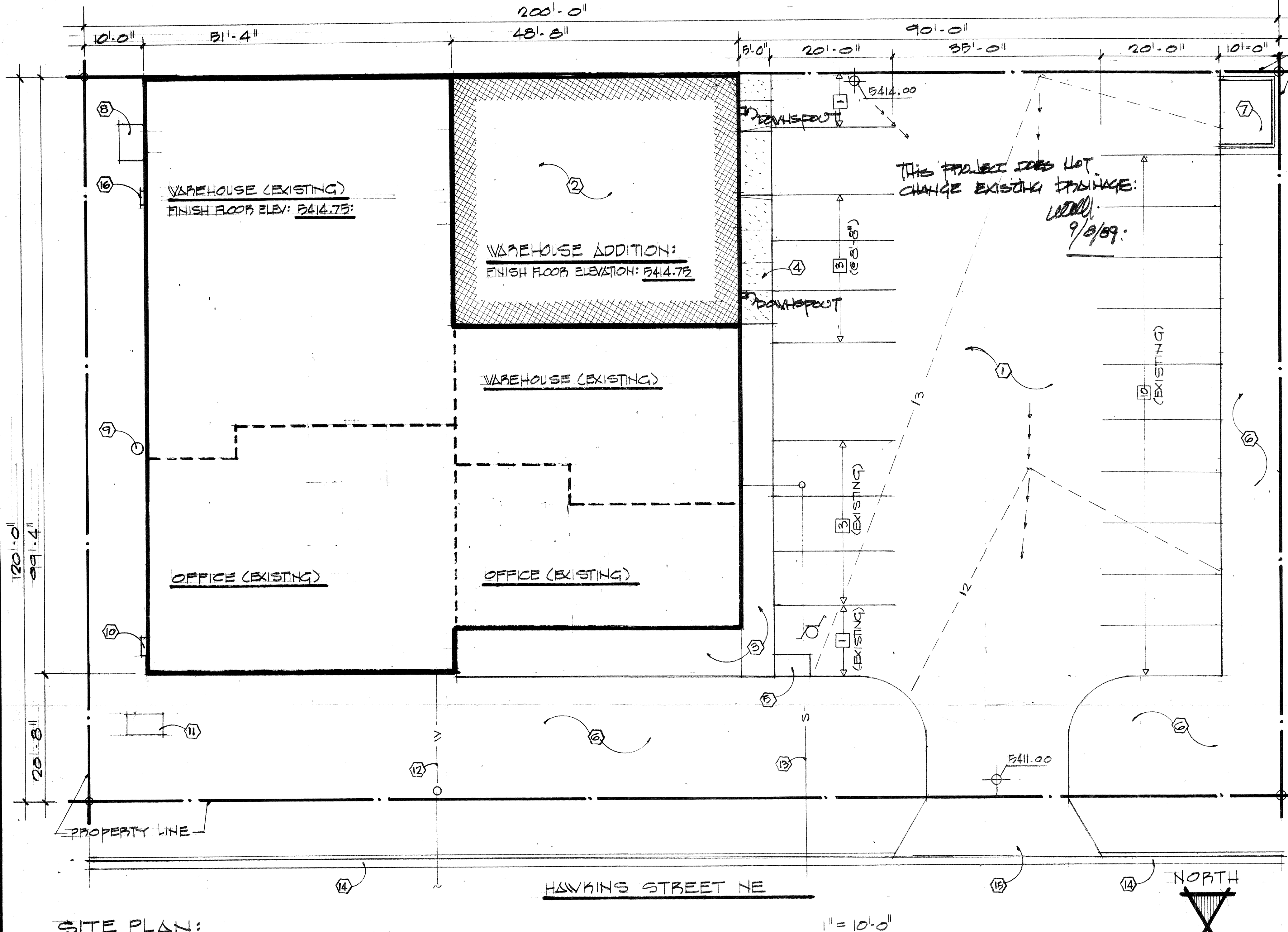
PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



VICINITY PLAN:

NOTES: (SITE PLAN):

- ① EXISTING PAVED PARKING AREA:
- ② REMOVE EXISTING BITUMINOUS PAVING AND CONCRETE APRON, (SAWCUT), AS REQUIRED FOR CONSTRUCTION:
- ③ EXISTING CONCRETE WALK:
- ④ NEW CONCRETE WALK TO MATCH EXISTING: PATCH PAVING TO MATCH EXISTING:
- ⑤ EXISTING RAMP:
- ⑥ EXISTING LANDSCAPED AREA:
- ⑦ EXISTING TRASH RECEPTACLE ENCLOSURE:
- ⑧ EXISTING CONCRETE PAD AT EXISTING DOOR:
- ⑨ EXISTING GAS METER:
- ⑩ EXISTING ELECTRICAL SERVICE:
- ⑪ EXISTING ELECTRICAL TRANSFORMER:
- ⑫ EXISTING WATER METER / SERVICE:
- ⑬ EXISTING SEWER LINE / CLEANOUT:
- ⑭ EXISTING CONCRETE CURB AND GUTTER:
- ⑮ EXISTING CURB CUT AND CONCRETE DRIVE:
- ⑯ EXISTING LADDER TO ROOF:

SITE PLAN:

SITE:

- DESCRIPTION: NORTH 120', LOTS 5 & 32: INTERSTATE INDUSTRIAL TRACT: UNIT 4, TRACT X-1: ALBUQUERQUE, NEW MEXICO:
- ADDRESS: 4100 HAWKINS STREET NE ALBUQUERQUE, NEW MEXICO:
- ZONED: M-1:
- ZONE ATLAS: D-17-Z:

PROJECT:

- OCCUPANCY: B2 (OFFICE/WAREHOUSE)
- CONSTRUCTION: V-N (EXISTING)
- AREA: EXISTING: 7,573 SF
ADDITION: 2,011 SF
TOTAL: 9,583 SF
- ALLOWABLE: 8,000 SF
ALLOWABLE THROPEASE: 4,000 SF
(SEPARATION TWO (2) SIDES)
TOTAL ALLOWABLE: 12,000 SF
- PARKING:
 - REQUIRED:
 - OFFICE (EXISTING) — 2,568 SF (HLA) — 13 SPACES
 - WAREHOUSE (EXISTING) — 4,100 SF
 - WAREHOUSE ADDITION — 2,011 SF
 - WAREHOUSE TOTAL: 6,111 SF — 4 SPACES
 - TOTAL: 17 SPACES
 - PROVIDED: 18 SPACES: (1 HANDICAPPED)
- LANDSCAPING:
 - REQUIRED: 7,980 SF x .07 = 559 SF
 - PROVIDED: 4,500 SF (EXISTING)

LEGEND: (SITE PLAN)

- NEW CONSTRUCTION: (WAREHOUSE ADDITION)
- CONCRETE: (NEW WALKS, ETC.)
- EXISTING GRADE (PAVING) CONTOUR:
- FINISHED GRADE (PAVING) CONTOUR: (EXISTING MODIFIED)
- EXISTING SPOT ELEVATION:
- FINISHED SPOT ELEVATION: (NEW)
- DIRECTION OF DRAINAGE: (EXISTING)
- KEYED NOTE: (SEE NOTES THIS SHEET)
- DENOTES NUMBER OF PARKING SPACES PER ROW SHOWN: (9'-0" WIDE UNLESS NOTED OTHERWISE) (4" LINES, PAINTED)

DRAWINGS:

- 1. SITE PLAN:
- 2. FOUNDATION PLAN:
- ROOF FRAMING PLAN:
- 3. FOUNDATION DETAILS:
- 4. FLOOR PLAN:
- 5. ELEVATIONS / DETAILS:
- 6. SECTIONS / DETAILS:
- 7. MECHANICAL / ELECTRICAL:

RECEIVED
SEP 11 1989
HYDROLOGY SECTION

