

September 25, 1997

Martin J. Chávez, Mayor

Dennis A. Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE
Bldg. 1 - Suite 210
Albuquerque, NM 87110

**RE: FIRST SECURITY BANK (D17-D59). GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED SEPTEMBER 5,
1997.**

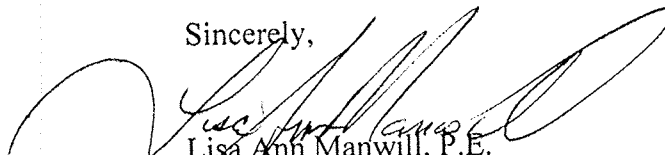
Dear Mr. Lorenz:

Based on the information provided on your September 8, 1997 submittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

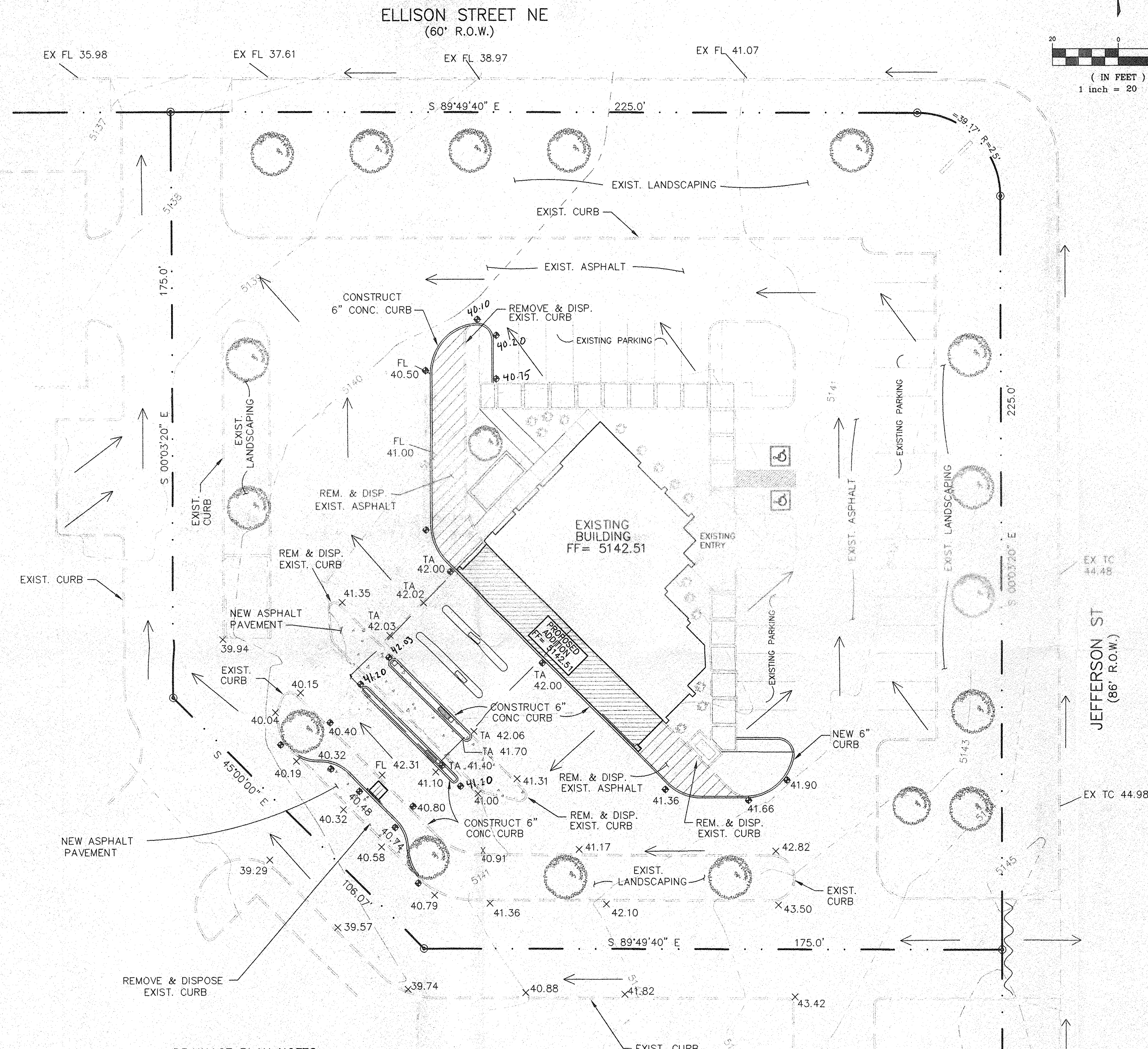


Lisa Ann Manwill, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!

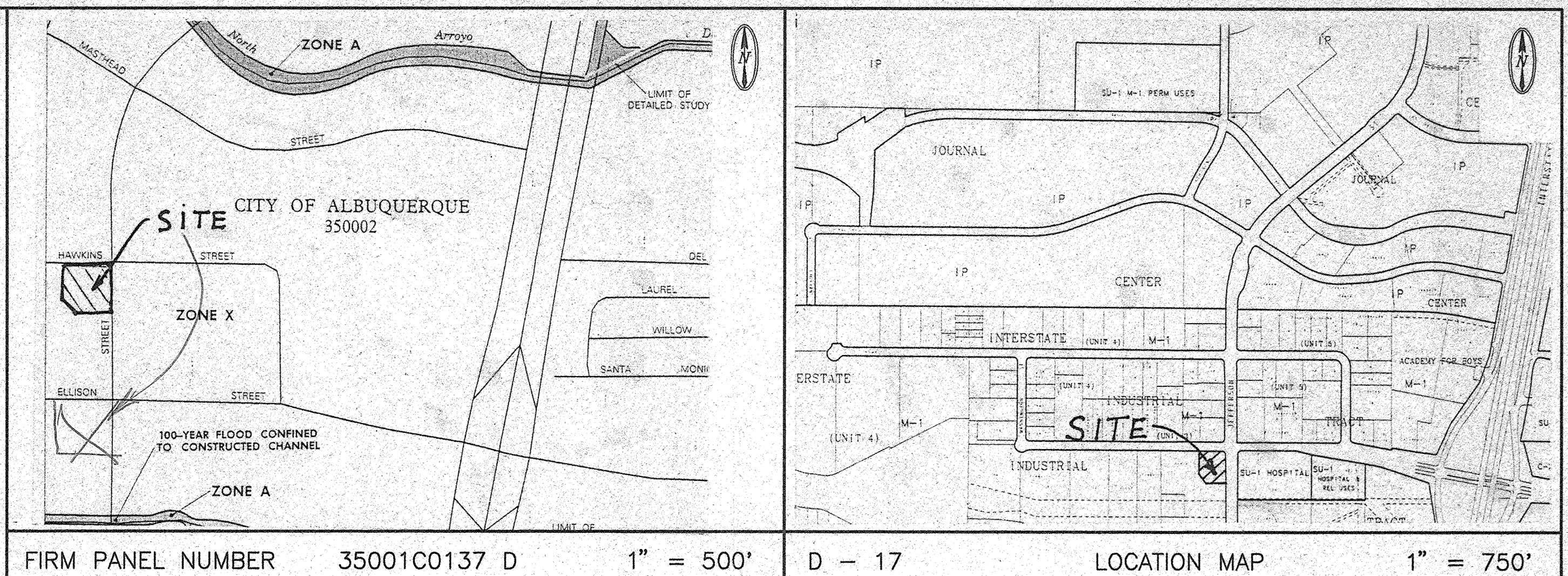




DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

ACS BRASS CAP
STAMPED "8-D17A"
ELEV= 5145.55



FIRM PANEL NUMBER 35001C0137 D 1" = 500' D - 17 LOCATION MAP 1" = 750'

GRADING AND DRAINAGE PLAN

SCOPE:

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage plan outlines the drainage management criteria for controlling developed runoff from the project site. The property is to be developed as an addition to the First Security Bank, with associated paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS:

The project site is approximately 1.36 acres in size and is located on the southwest corner of Jefferson Street NE and Ellison Street NE. The site address is 7021 Jefferson Street NE. This site is bounded on the west by an existing office complex, on the south by an existing parking lot, on the north by Ellison Street NE, and on the west by Jefferson Street NE. Presently the site is developed has a bank. The site slopes from east to west at approximately 2 percent. No off-site flows impact the site.

As shown by the attached FIRM Panel, this site does not lie within a designated flood hazard zone.

PROPOSED CONDITIONS:

As shown by the Plan, the project consists of the addition to the existing bank building, and construction of a drive up Automatic Teller Machine (ATM) and drive up parking lanes. The Plan shows the elevation required to properly grade and construct the required improvements. The direction of drainage flows are given by flow arrows and the project hydrology is tabulated for both existing and developed conditions. This is an infill site and the drainage basin is completely developed.

All drainage flows will be managed on-site by surface improvements: flows will discharge to Ellison Street. Ellison Street NE which conveys flows to an existing rundown located at the corner of Ellison Street NE and Washington Street NE.

CALCULATIONS:

The calculations shown hereon define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Section 22.2, Part A, Development Process Manual, Vol. 2," dated January 1993.

HYDROLOGY							
(HYMO)							
Precipitation Zone 2				P360 = 2.35 in.			
Basin	Basin	Land Treatment (acre)				Ew	V100 Q100
area (Ac)	A	B	C	D	(in)	(of)	(cfs)
Existing Conditions							
Site	1.36	0.16	0.05	1.15	1.93	0.22	5.93
Developed Conditions							
Site	1.36	0.14	0.05	1.17	1.95	0.22	5.98

LEGEND

- 6001 EXISTING CONTOUR ELEVATION
- 02.5 X EXISTING SPOT ELEVATION
- 01 PROPOSED CONTOUR ELEVATION
- ... PROPERTY LINE
- 01.5 PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- DRAINAGE SWALE
- DRAINAGE BASIN DIVIDE
- ASPHALT PAVEMENT TO BE REMOVED
- NEW ASPHALT PAVEMENT

PROPERTY ADDRESS

7021 Jefferson St NE

LEGAL DESCRIPTION

Portion of Lot D3,
Interstate Industrial Tract

PROJECT BENCHMARK

A standard ACS brass tablet, stamped "8-D17A" located on Jefferson Street N.E.

SURVEY

Topographic and Field Measurements by
Brasher & Lorenz, Inc.
Dated August 1997

FIRST SECURITY BANK
JEFFERSON BRANCH ADDITION
GRADING AND DRAINAGE PLAN
PROJECT# 9739

REVISION DATE



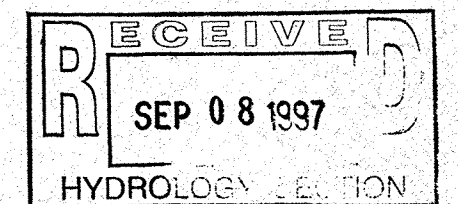
rick bennett
architect
1118 Park Avenue SW
Albuquerque, New Mexico
87102 242-1859
(505)

DATE

9/3/97

SHEET NUMBER

C-1



BLI BRASHER & LORENZ, INC.
Consulting Engineers
2201 San Pedro NE Building 1 Suite 210
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188