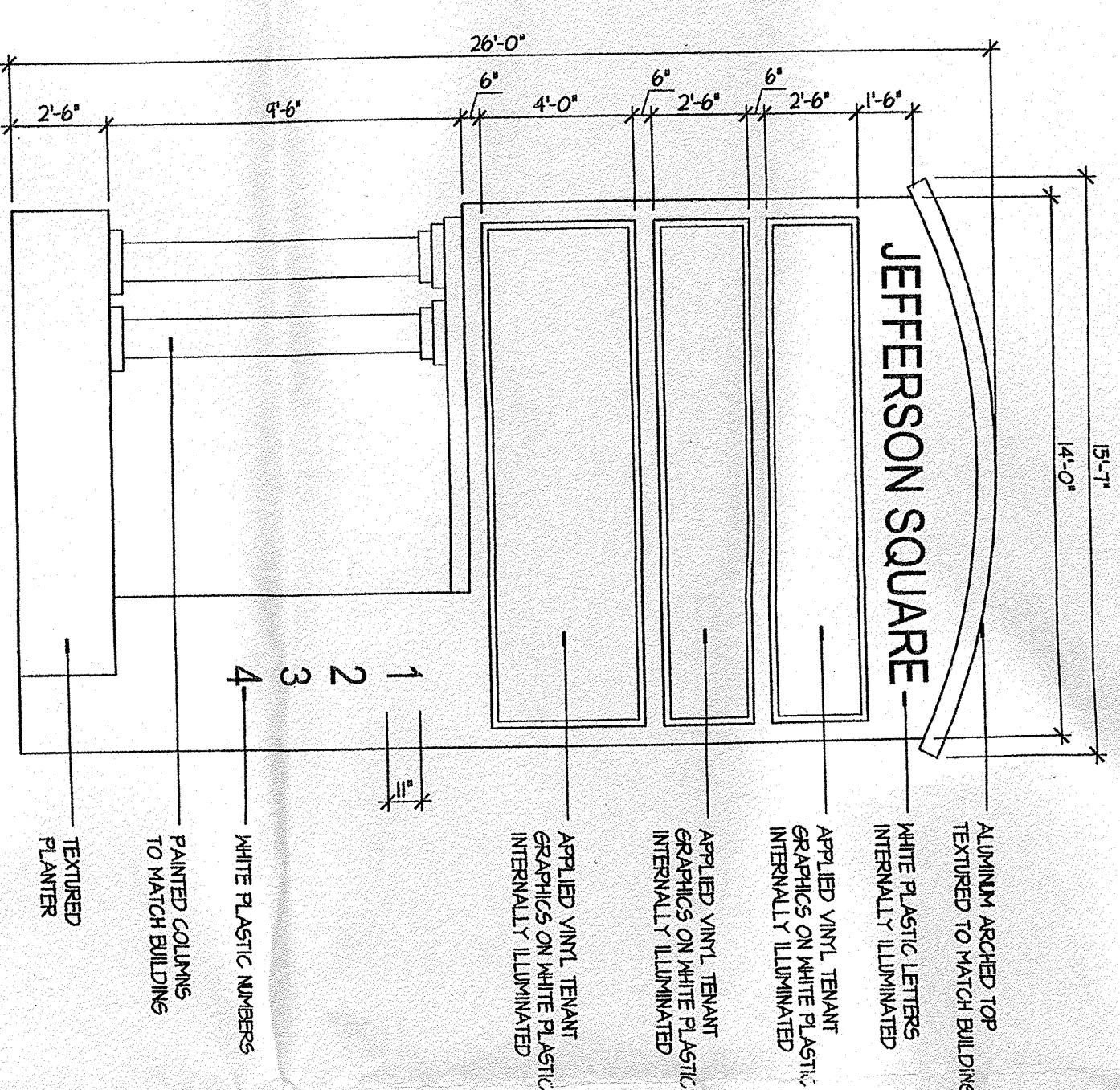
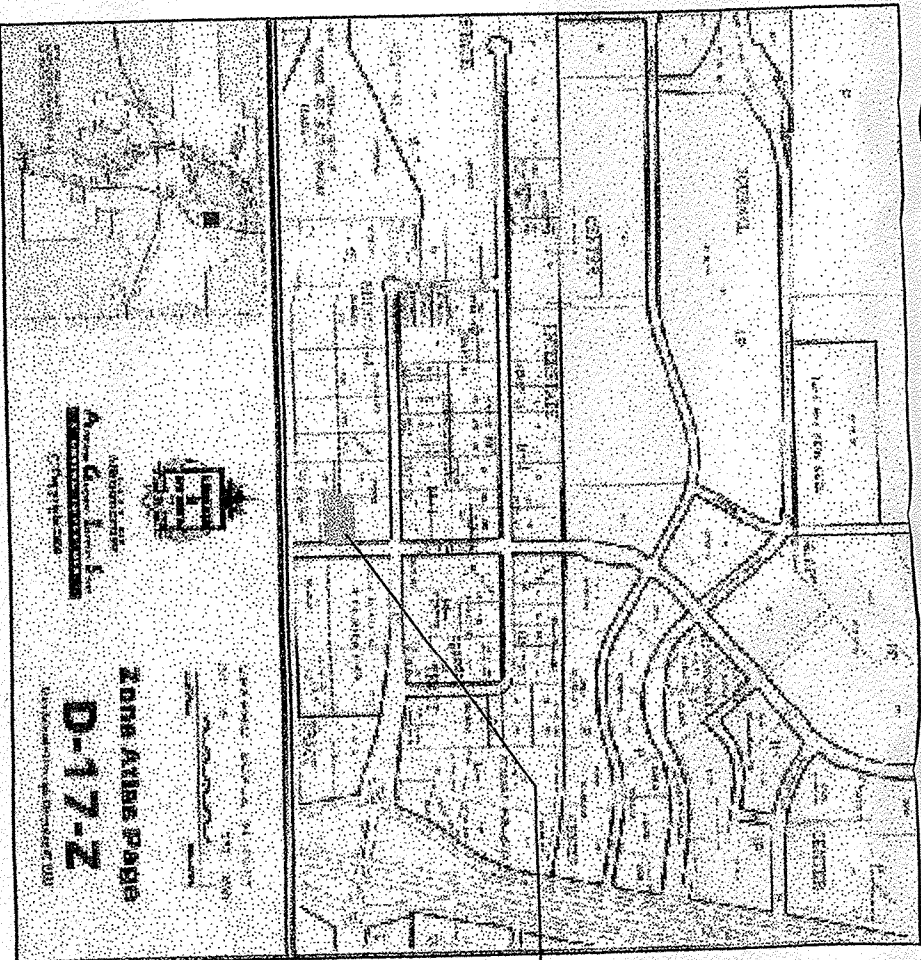
[illegible]

D5 HANDICAP PARKING DETAIL
1/8" = 1'-0"

CC5 TYPICAL EXTERIOR STAIR SECTION
3/4"=1'-0"



MONUMENT SIGN
B5
1/4"=1'-0"



I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, Construction Resources Team, and by the surveyor, Wayne Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin 7/1/02

Mark Goodwin, PE NMPE 8948

STATE OF NEW MEXICO

SITE CODE ANALYSIS: ZONING M-1	
zone 465 0-17-2	
BUILDING AREA	
OFFICE	17,001 S.F.
LANDSCAPING REQUIREMENTS	
TOTAL SITE AREA	
BUILDING PAD	17,001 S.F.
TOTAL NON-PAD S.F.	17,001 S.F.
PARKING REQUIRED (15% OF NON-PAD)	
LANDSCAPE PROVIDED	8,500 S.F.
PARKING REQUIREMENTS FOR RETAIL	
PARKING REQUIRED (S.F./200)	
BUS ROUTE REQUIRING (10%)	85 CARS
TOTAL SPACES REQUIRED	77 CARS
SPACES PROVIDED	
HANDICAPPED SPACES	82 CARS
TOTAL SPACES PROVIDED	4 INCLUDING 86 CARS

TCL
3 of 19 sheets

**JEFFERSON
RETAIL CENTER
ALBUQUERQUE, NEW MEXICO
SHELL PERMIT**

DCSW
ARCHITECTS

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CONSULTANTS

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HYDROLOGY SECTION

