

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

October 30, 2020

Lucas Rogers  
SDB, Inc.  
1001 S. Edward Dr.  
Tempe, AZ 85281

**Re: 7000 Jefferson NE**  
**Request Permanent C.O.**  
**Engineer's Stamp dated: 2-27-20 (D17D0061A)**  
**Certification dated: 10-26-2020**

Dear Mr. Lucas,

Based upon the information provided in your submittal received 10/28/2020 and site visit on 10/29/20, this plan is approved for Certificate of Occupancy.

PO Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3986 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov).

Sincerely,

NM 87103

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

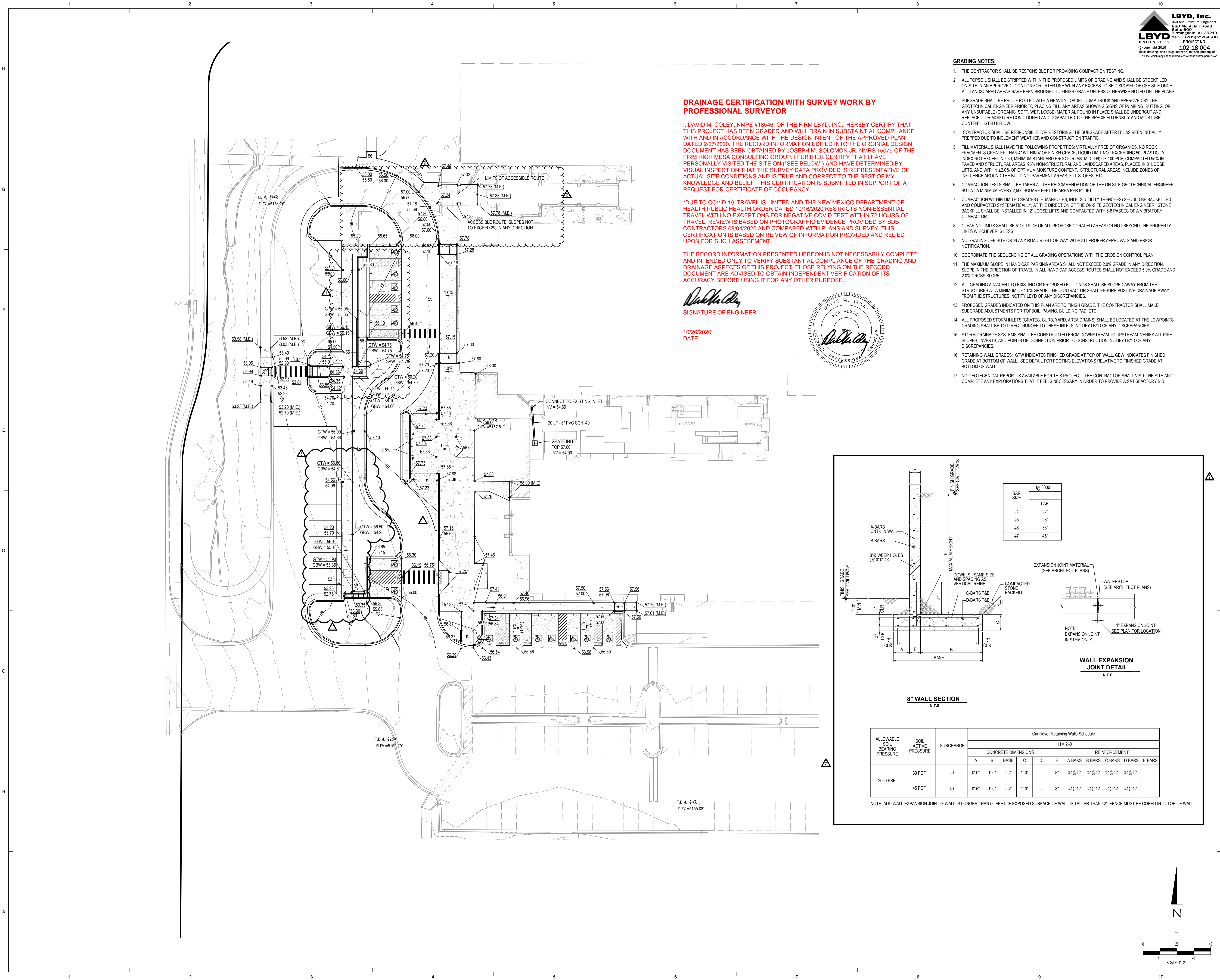
**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





**DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR**

I, DAVID M. COLEY, NMPE #18546, OF THE FIRM LBYD, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/27/2020. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOSEPH M. SOLOMON JR, NMPS 15075 OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE SITE ON ("SEE BELOW") AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

\*DUE TO COVID 19, TRAVEL IS LIMITED AND THE NEW MEXICO DEPARTMENT OF HEALTH PUBLIC HEALTH ORDER DATED 10/16/2020 RESTRICTS NON-ESSENTIAL TRAVEL WITH NO EXCEPTIONS FOR NEGATIVE COVID TEST WITHIN 72 HOURS OF TRAVEL. REVIEW IS BASED ON PHOTOGRAPHIC EVIDENCE PROVIDED BY SDIS CONTRACTORS 08/04/2020 AND COMPARED WITH PLANS AND SURVEY. THIS CERTIFICATION IS BASED ON REVIEW OF INFORMATION PROVIDED AND RELIED UPON FOR SUCH ASSESSMENT.

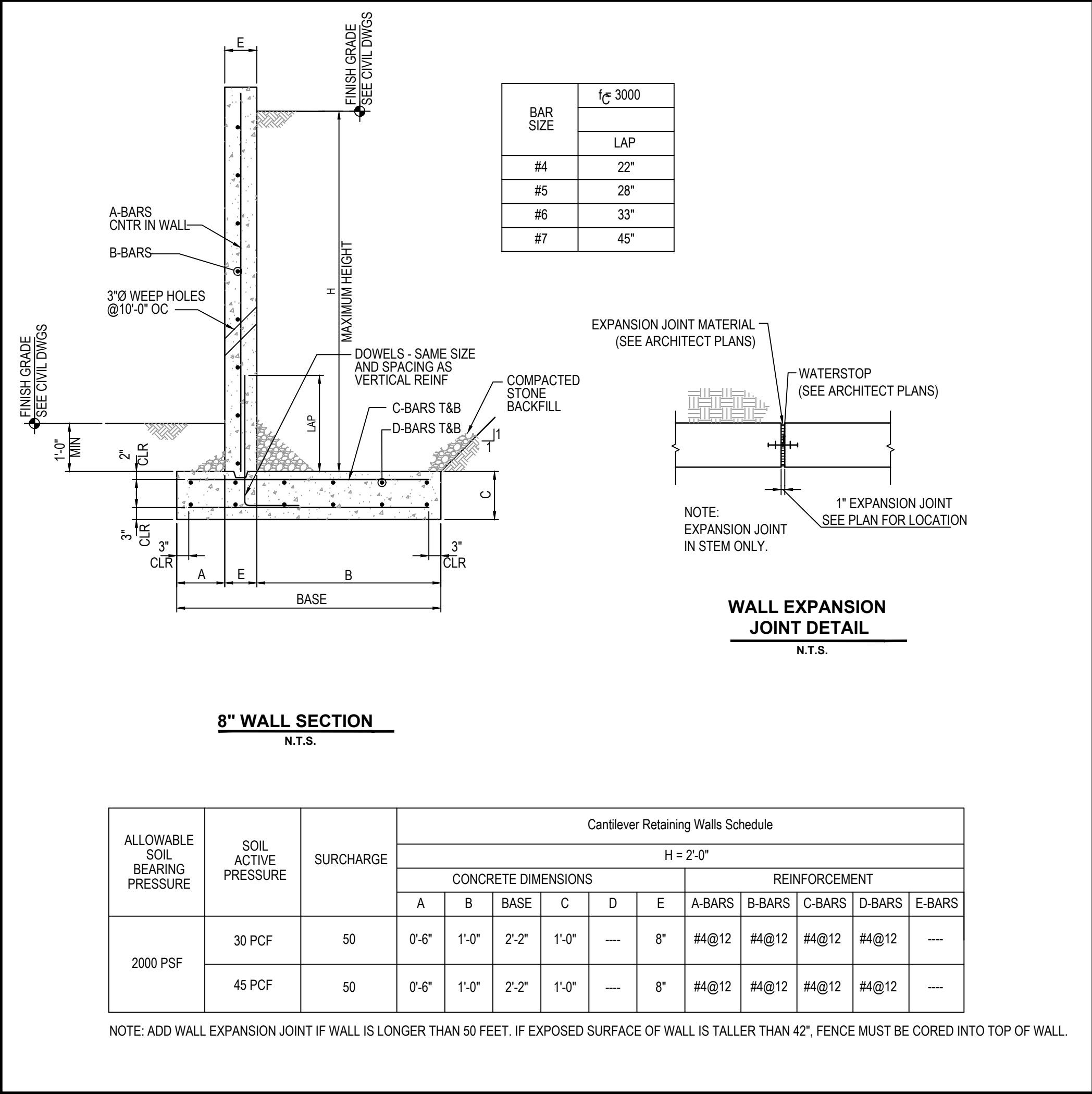
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*David M. Coley*  
SIGNATURE OF ENGINEER

10/26/2020  
DATE



- GRADING NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPACTION TESTING.
  - ALL TOPSOIL SHALL BE STRIPPED WITHIN THE PROPOSED LIMITS OF GRADING AND SHALL BE STOCKPILED ON-SITE IN AN APPROVED LOCATION FOR LATER USE WITH ANY EXCESS TO BE DISPOSED OF OFF-SITE ONCE ALL LANDSCAPED AREAS HAVE BEEN BROUGHT TO FINISH GRADE UNLESS OTHERWISE NOTED ON THE PLANS.
  - SUBGRADE SHALL BE PROOF ROLLED WITH A HEAVILY LOADED DUMP TRUCK AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL. ANY AREAS SHOWING SIGNS OF PUMPING, RUTTING, OR ANY UNSUITABLE (ORGANIC, SOFT, WET, LOOSE) MATERIAL FOUND IN PLACE SHALL BE UNDERCUT AND REPLACED, OR MOISTURE CONDITIONED AND COMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT LISTED BELOW.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SUBGRADE AFTER IT HAS BEEN INITIALLY PREPPED DUE TO INCLEMENT WEATHER AND CONSTRUCTION TRAFFIC.
  - FILL MATERIAL SHALL HAVE THE FOLLOWING PROPERTIES: VIRTUALLY FREE OF ORGANICS, NO ROCK FRAGMENTS GREATER THAN 4" WITHIN 4" OF FINISH GRADE. LIQUID LIMIT NOT EXCEEDING 50, PLASTICITY INDEX NOT EXCEEDING 30, MINIMUM STANDARD PROCTOR (ASTM D-998) OF 100 PCF. COMPACTED 95% IN PAVED AND STRUCTURAL AREAS, 95% NON-STRUCTURAL AND LANDSCAPED AREAS, PLACED IN 8" LOOSE LIFTS, AND WITHIN ±2.0% OF OPTIMUM MOISTURE CONTENT. STRUCTURAL AREAS INCLUDE ZONES OF INFLUENCE AROUND THE BUILDING, PAVEMENT AREAS, FILL SLOPES, ETC.
  - COMPACTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER, BUT AT A MINIMUM EVERY 2,500 SQUARE FEET OF AREA PER 1" LIFT.
  - COMPACTION WITHIN LIMITED SPACES (I.E. MANHOLES, INLETS, UTILITY TRENCHES) SHOULD BE BACKFILLED AND COMPACTED SYSTEMATICALLY, AT THE DIRECTION OF THE ON-SITE GEOTECHNICAL ENGINEER. STONE BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 6-8 PASSES OF A VIBRATORY COMPACTOR.
  - CLEARING LIMITS SHALL BE 5' OUTSIDE OF ALL PROPOSED GRADED AREAS OR NOT BEYOND THE PROPERTY LINES WHICHEVER IS LESS.
  - NO GRADING OFF-SITE OR IN ANY ROAD RIGHT-OF-WAY WITHOUT PROPER APPROVALS AND PRIOR NOTIFICATION.
  - COORDINATE THE SEQUENCING OF ALL GRADING OPERATIONS WITH THE EROSION CONTROL PLAN.
  - THE MAXIMUM SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2.0% GRADE IN ANY DIRECTION. SLOPE IN THE DIRECTION OF TRAVEL IN ALL HANDICAP ACCESS ROUTES SHALL NOT EXCEED 5.0% GRADE AND 2.0% CROSS SLOPE.
  - ALL GRADING ADJACENT TO EXISTING OR PROPOSED BUILDINGS SHALL BE SLOPED AWAY FROM THE STRUCTURES AT A MINIMUM OF 1.0% GRADE. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURES. NOTIFY LBYD OF ANY DISCREPANCIES.
  - PROPOSED GRADES INDICATED ON THIS PLAN ARE TO FINISH GRADE. THE CONTRACTOR SHALL MAKE SUBGRADE ADJUSTMENTS FOR TOPSOIL, PAVING, BUILDING PAD, ETC.
  - ALL PROPOSED STORM INLETS (GRATES, CURB, YARD, AREA DRAINS) SHALL BE LOCATED AT THE LOWPOINTS. GRADING SHALL BE TO DIRECT RUNOFF TO THESE INLETS. NOTIFY LBYD OF ANY DISCREPANCIES.
  - STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. VERIFY ALL PIPE SLOPES, INVERTS, AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION. NOTIFY LBYD OF ANY DISCREPANCIES.
  - RETAINING WALL GRADES: GTW INDICATES FINISHED GRADE AT TOP OF WALL, GBW INDICATES FINISHED GRADE AT BOTTOM OF WALL. SEE DETAIL FOR FOOTING ELEVATIONS RELATIVE TO FINISHED GRADE AT BOTTOM OF WALL.
  - NO GEOTECHNICAL REPORT IS AVAILABLE FOR THIS PROJECT. THE CONTRACTOR SHALL VISIT THE SITE AND COMPLETE ANY EXPLORATIONS THAT IT FEELS NECESSARY IN ORDER TO PROVIDE A SATISFACTORY BID.



CITY STAMP:

SEAL ON THIS DOCUMENT AUTHORIZED BY:



PROJECT INFORMATION:

**ADA CORRECTIONS  
Rehabilitation Hospital  
of Albuquerque**  
7000 Jefferson NE  
Albuquerque, NM 87109

CLIENT INFORMATION:



9001 Liberty Parkway  
Birmingham, AL 35242

CLIENT PROJECT NO:

3 02-27-20 CHANGE 3  
2 02-21-20 CHANGE 2  
1 12-06-19 RFI 1

NO. DATE SUBJECT  
REVISION OR ISSUE

**SSOE, Inc.**  
Lakeshore Park Plaza  
2204 Lakeshore Drive, Suite 110  
Homewood, AL 35009  
T 205-323-2373

PROJECT NO: 019-00712-00  
PROJECT MANAGER: DEREK MCCARTY  
DESIGNED: LANDON BOGGS  
CHECKED: CURTIS EATMAN

DRAWING TITLE:  
**GRADING PLAN**

DRAWING NO:

**C3.0**



**ADMINISTRATIVE AMENDMENT**

**FILE # \_\_\_\_\_ PROJECT # \_\_\_\_\_**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**APPROVED BY**

**DATE**







# CITY OF ALBUQUERQUE



Mayor Timothy M. Keller

These plans have been reviewed  
for code compliance and are:

Brennon Williams, Director

**APPROVED**

The Approval of these plans shall not  
be construed to be a permit for any  
violations of any code or ordinance  
of this city.

PERMIT #: **BP-2019-36690**

DATE: **01/03/20**

A printed copy of these plans shall be on the job site for all  
requested inspections.

SDB, Inc.

4951 Airport Parkway, Suite 800  
Addison, TX 75001

RE: **Encompass Health**  
**7000 Jefferson NE**  
**Grading Plan Stamp Date: 10/17/19**  
**Hydrology File: D17D061A**

Dear Mr. Coley:

Based on the submittal received on 12/2/19, this project is approved for Building Permit.

PO Box 1293

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)



CITY STATE

SEAL ON THIS DOCUMENT AUTHORIZED BY \_\_\_\_\_



PROJECT INFORMATION

ADA CORRECTIONS  
Rehabilitation Hospital  
of Albuquerque  
7000 Jefferson NE  
Albuquerque, NM 87109

CLIENT INFORMATION:



9001 Liberty Parkway  
Birmingham, AL 35242

CLIENT PROJECT NO:

[illegible]

3	02-27-20	CHANGE 3
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1	12-06-19	RFI 1
NO.	DATE	SUBJECT
REVISION OR ISSUE		

**SSOE, Inc.**  
Lakeshore Park Plaza  
2204 Lakeshore Drive, Suite 110  
Homewood, AL 35209  
T 205-323-2373

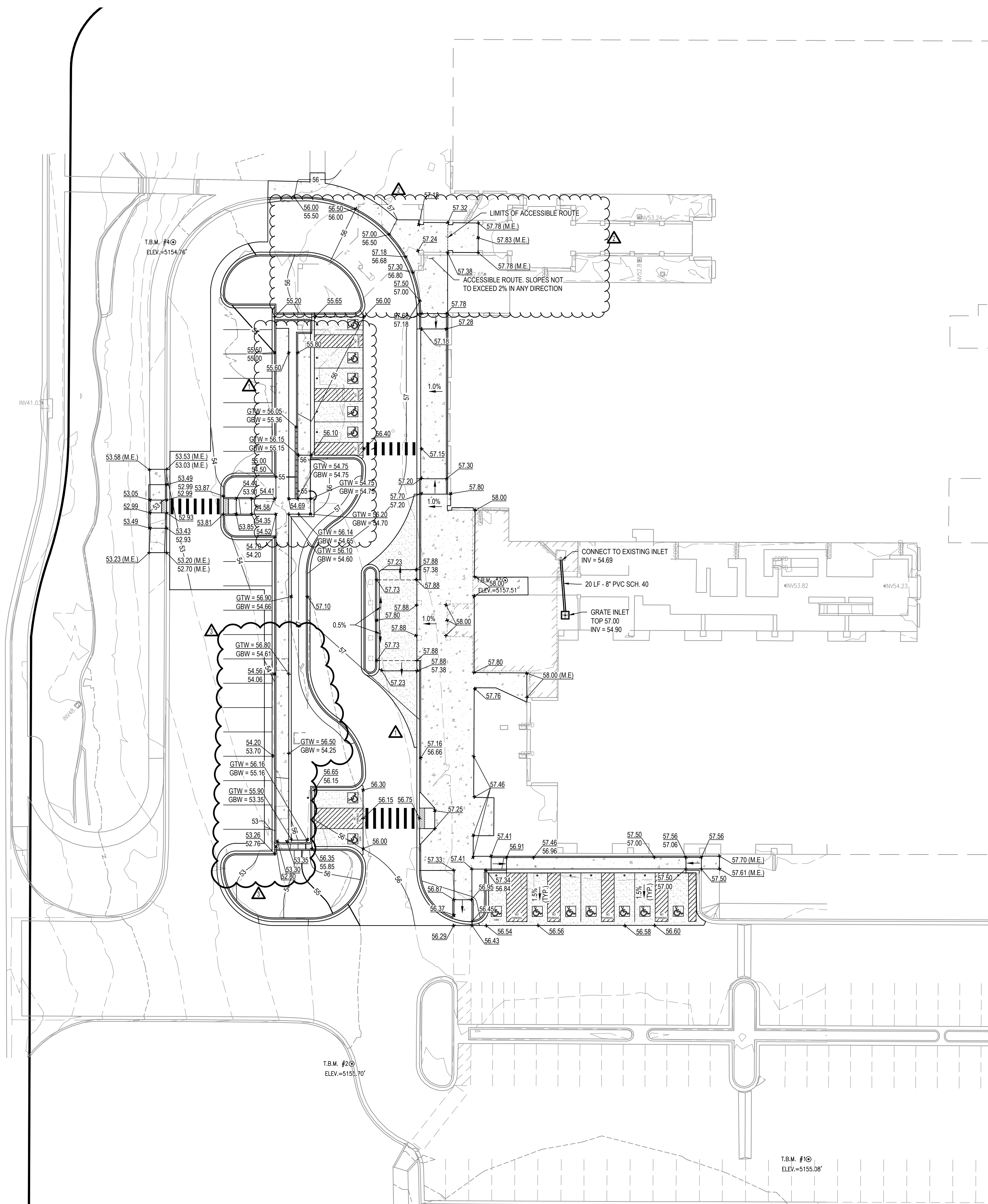
PROJECT NO: 019-00712-00

PROJECT NO.:	019-0071
PROJECT MANAGER:	DEREK MCCARTY
DESIGNED:	LANDON BOGGS
CHECKED:	CURTIS EATMAN

DRAWING TITLE:  
**GRADING PLAN**

DRAWING NO:

C3.0



**GRADING NOTES:**

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14. COMPACTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER, BUT AT A MINIMUM EVERY 2500 SQUARE FEET OF AREA PER LIFT.
17. COMPACTION WITHIN LIMITED SPACES (I.E. MANHOLES, UTILS, UTILITY TRENCHES) SHOULD BE BACKFILLED AND COMPACTED SYSTEMATICALLY, AT THE DIRECTION OF THE ON-SITE GEOTECHNICAL ENGINEER. STONE BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 6-8 PASSES OF A VIBRATORY COMPACTOR
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