

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Interim Director



Mayor Timothy M. Keller

August 14, 2019

Scott McGee, P.E.
9700 Tanoan Drive NE
Albuquerque, NM 87111

**RE: Office/Warehouse
4000 Ellison St. NE
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 07/11/19
Hydrology File: D17D074**

Dear Mr. McGee:

PO Box 1293

Based upon the information provided in your submittal received 07/24/2019, the Conceptual Grading and Drainage Plan **is not** approved for action by the DRB on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

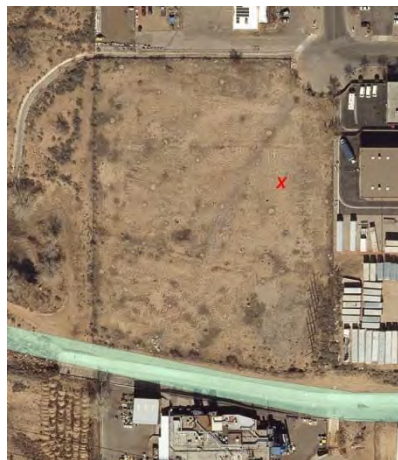
Albuquerque

1. Please provide the FIRM Map.

NM 87103

2. Please show the floodplain Zone "A" along the South Pino Channel per the FIRM Map.

www.cabq.gov



3. Please label the streets and South Pino Channel.

4. Please add a label "Not For Construction" on the Conceptual Grading Plan.

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5. Since this project is adjacent to, or drains into an Albuquerque Metropolitan Arroyo and Flood Control Authority (AMAFCA) facility, approval by AMAFCA will be need prior to Hydrology approval. Please contact Nicole Friedt P.E, CFM (nfriedt@amafca.org or 505-884-2215).
6. Please address AMAFCA's DRB comments. (see attached).
7. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
8. Standard review fee of \$300 (for DRB Site) will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

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To: Angela Gomez, Development Review Board Secretary
City of Albuquerque

From: Nicole M. Friedt, P.E., Development Review Engineer
AMAFCA

RE: DRB COMMENTS for PR-2019-002668

**Lot 28-A of Replat of Tract D, Unit 3 – Lot 28 Unit 4 – Tract F-1 &
Unplatted Portion of Interstate Industrial Tract & Tract A Envirco Tract
(Now comprising Tracts D-1, D-2, D-3, & 28A) Interstate Industrial Tract
Lot 28A, Block 0000, Subdivision Interstate Industrial Tract:**

D-17

SI-2019-00251 – Site
Plan

- The Site Plan should say 'Flood Zone' not 'Flood One'.
- The G&D and landscaping plans show parking along the east property line south of the existing chainlink fence and into the drainage easement, but the site plan does not. Is the existing fencing to remain or will it be removed?
- Any work within a drainage easement needs to be coordinated and permitted with AMAFCA.
- The site grading impacts the AMAFCA access road along the top of the concrete channel. Vehicular access needs to be maintained.
- The water quality pond should overflow towards the concrete channel and construct a Channel Rundown per the AMAFCA STD Details.
- Add a curb along the west property line and direct all runoff south & through the water quality pond.
- AMAFCA does not typically allow private storm water quality ponds within drainage easements. Since there is available space, move the pond to the north & outside of the existing drainage easement.

