CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Interim Director



August 14, 2019

Scott McGee, P.E. 9700 Tanoan Drive NE Albuquerque, NM 87111

RE: Office/Warehouse 4000 Ellison St. NE Conceptual Grading and Drainage Plan Engineer's Stamp Date: 07/11/19 Hydrology File: D17D074

Dear Mr. McGee:

PO Box 1293

Based upon the information provided in your submittal received 07/24/2019, the Conceptual Grading and Drainage Plan **is not** approved for action by the DRB on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Please provide the FIRM Map.

NM 87103

2. Please show the floodplain Zone "A" along the South Pino Channel per the FIRM Map.

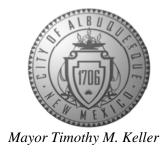
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- 3. Please label the streets and South Pino Channel.
- 4. Please add a label "Not For Construction" on the Conceptual Grading Plan.

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- 5. Since this project is adjacent to, or drains into an Albuquerque Metropolitan Arroyo and Flood Control Authority (AMAFCA) facility, approval by AMAFCA will be need prior to Hydrology approval. Please contact Nicole Friedt P.E, CFM (nfriedt@amafca.org or 505-884-2215).
- 6. Please address AMAFCA's DRB comments. (see attached).
- 7. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
- 8. Standard review fee of \$300 (for DRB Site) will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

PO Box 1293

Renée C. Brissette

Albuquerque

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department

NM 87103

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To: Angela Gomez, Development Review Board Secretary

City of Albuquerque

From: Nicole M. Friedt, P.E., Development Review Engineer

AMAFCA

RE: DRB COMMENTS for PR-2019-002668

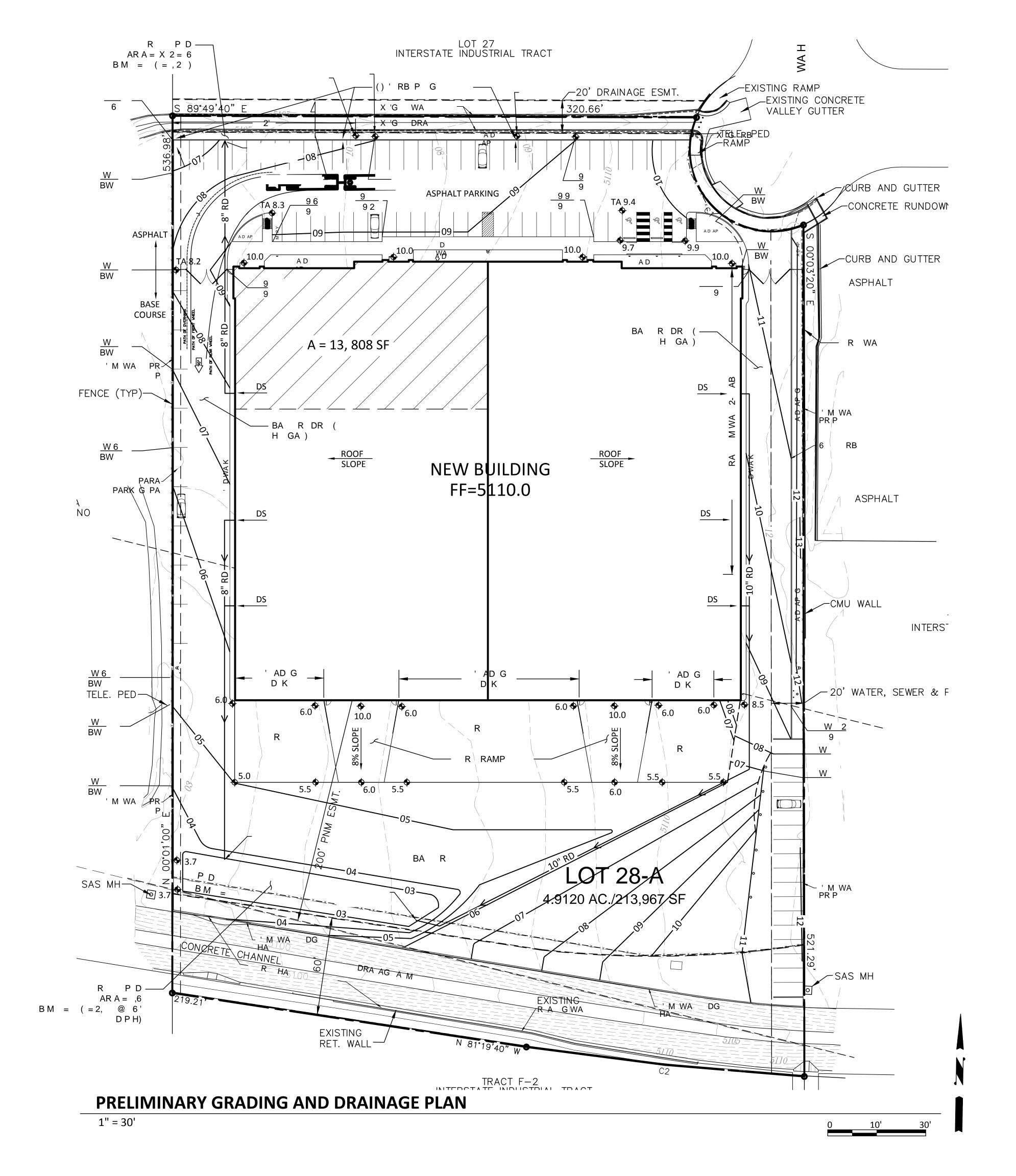
Lot 28-A of Replat of Tract D, Unit 3 – Lot 28 Unit 4 – Tract F-1 & Unplatted Portion of Interstate Industrial Tract & Tract A Envirco Tract (Now comprising Tracts D-1, D-2, D-3, & 28A) Interstate Industrial Tract Lot 28A, Block 0000, Subdivision Interstate Industrial Tract:

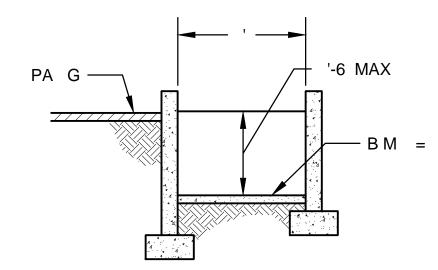
SI-2019-00251 – Site Plan

 The Site Plan should say 'Flood Zone' not 'Flood One'.

- The G&D and landscaping plans show parking along the east property line south of the existing chainlink fence and into the drainage easement, but the site plan does not. Is the existing fencing to remain or will it be removed?
- Any work within a drainage easement needs to be coordinated and permitted with AMAFCA.
- The site grading impacts the AMAFCA access road along the top of the concrete channel.
 Vehicular access needs to be maintained.
- The water quality pond should overflow towards the concrete channel and construct a Channel Rundown per the AMAFCA STD Details.
- Add a curb along the west property line and direct all runoff south & through the water quality pond.
- AMAFCA does not typically allow private storm water quality ponds within drainage easements. Since there is available space, move the pond to the north & outside of the existing drainage easement.

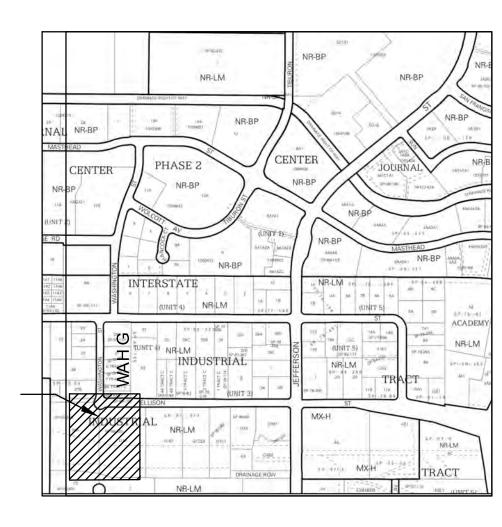
D-17





SECTION

1/4" = 1'-0"



VICINITY MAP

D17

LEGEND

EXISTING CONSTRUCTION

NEW CONTOUR

FF=5110.0 PROPOSED BUILDING FINISH FLOOR ELEV

65.5 NEW SPOT ELEVATION

− − NEW CONSTRUCTION

ROOF DRAIN

TOP OF CURB

DRAINAGE ANALYSIS

ADDRESS: 4000 Ellison Street NE, Albuquerque, NM

LEGAL DESCRIPTION: LOT 28-A, INTERSTATE INDUSTRIAL TRACT

SITE AREA: 213,967 SF (4.912 acre)

BENCHMARK: City of Albuquerque Station '12-E17' being a brass cap with ELEV= 5118.70 (NAVD 1988)

SURVEYOR: Sandia Land Surveying Inc. dated July 14, 2019

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0136G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: Offsite flow enters this site at the NE corner and is carried west by an existing concrete drain swale within an existing 20' drainage easement.

EXISTING CONDITIONS: The site is an undeveloped industrial site which slopes down to the west at 2-2.5%. The site discharges freely to the west which is the South Pino Inlet owned by AMAFCA.

PROPOSED IMPROVEMENTS: An 82,850 SF building is proposed along with paved parking and access drives and minor xeric landscape areas. Paved parking is proposed in front of the building and base course is in the rear-yard area.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention ponds for the first flush volume.

Existing land treatment: 100% A Q= (1.56)(4.912)= 7.7 CFS

Proposed land treatment: 42% C and 58% D Q= [(0.42)(3.14)+(0.58)(4.70)](4.912)=19.9 CFS

1ST FLUSH V= (0.34/12)(124,100) = 3,516 CF

The proposed retention storage area provides $V=1120+2400\ CF=3,520\ CF$ (3520 > 3516 OK)

