

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 25, 2022

Jeremy Mechenbier
Mechenbier Construction, Inc.
8500 Washington St. NE
Albuquerque, NM 87113

Re: **ot 2 A o Inte tate In t a T act /Lot 28-A of Interstate Industrial Tract**
E on St. NE /4000 Ellison St. NE
T a c C c at on a o t
Architect's Stamp 02-24-22 (D17-D074)

Dear Mr. Jeremy,

Based upon the information provided in your submittal received 04-20-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please define the Property Line.
2. Provide both site accesses' width, radius, all details, and call out COA std dwg.
3. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

4. Provide the west and the northwest drive aisles' width.
5. Label the compact parking spaces by placing the words **COM ACT** on the pavement of each space.
6. The minimum drive aisle dimensions are shown below

	Minimum Drive Aisle Width
Two Way Traffic	22'
Main Circulation Road	24'
Fire Lane	20'

7. List radii for all curves shown; for passenger vehicles. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
8. A 5 ft. keyway is required for dead-end parking aisles.

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9. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
10. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
11. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
12. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
13. Provide a copy of Fire Marshal Approval.
14. Please specify the City Standard Drawing Number when applicable.
15. Please provide a letter of response for all comments given.
1. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination **Contact Matt G h hca.o**.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

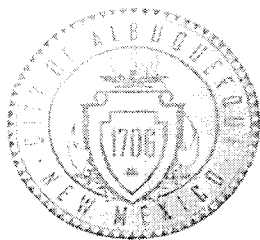
for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6-2018)

Project Title: 4000 Ellison Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 28-A of Interstate Industrial Tract

City Address: 4000 Ellison St. NE

Applicant: Mechenbier Construction, Inc. Contact: Jeremy Mechenbier

Address: 8500 Washington St. NE, Ste. A-5 Alb., NM 87113

Phone#: 505-314-7700 Fax#: - E-mail: jeremy.mechenbier@mechenbier.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 4/20/22 By: Jeremy Mechenbier

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

PROJECT ADDRESS:

4000 Ellison St. N.E.
Albuquerque, NM 87109
Bernalillo County

LEGAL DESCRIPTION

Lot 28A, Interstate Industrial Tract
City of Albuquerque, Bernalillo County, New Mexico

UPC: 101706315101030212

OWNER: Security Self Storage
8500 Washington St. N.E.
Suite A-5, Albuquerque, NM 87113

SCOPE OF WORK SUMMARY:

Warm-shell development of light manufacturing, warehouse and office facility including parking and site improvements.

CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION

Office: Business Group B
Light Manufacturing: Low-hazard factory industrial, Group F-2
Warehousing: Storage Group S-2

SIZE OF DEVELOPMENT

Gross Building Square Footage: 76,675 GSF, 75,368 NSF
- Group B Office = 9,378 GSF
- Group F-2 Light Manufacturing = 16,140 GSF
- Group S-2 Warehousing = 53,165 GSF

ZONING

Zoning Map: D-17-Z
IDO Zone District: NR-LM
IDO District Definition: Business Park
IDO Category: Non-Residential
Proposed Permissive Uses: Office; Light Manufacturing;
Warehousing
Total Site Area: 4.9120 acres / 213,967 SF

BUILDING ON LOT:

Minimum front yard setback = 20 feet
Actual Front "North" Setback depth is 90'-11 1/2"
Minimum side yard depth = 10 feet
Actual Side yard "East" depth is 37'-11 1/4"
Actual Side yard "West" depth is 38'-1 3/8"
Minimum rear yard depth = 10 feet
Actual Rear yard "South" is 196'-11 1/4"

Building Coverage Maximum = 50%
Building: 76,675 GSF = 1.760 acres
Site: 213,967 GSF = 4.912 acres
3 - Actual Building Coverage

PARKING

USE	IDO PARKING REQUIREMENT	GFA	REQUIRED SPACES	PROVIDED
1st Level Office	3.5 spaces / 1,000 sq. ft. GFA	9,378	32.82	
1st Level Light manufacturing	1 space / 1,000 sq. ft. GFA	23,718	23.72	
1st Level Warehousing	No requirement	45,575	0.00	
2nd Level Office	3.5 spaces / 1,000 sq. ft. GFA	3,938	13.78	
TOTAL REQUIRED OFF-STREET PARKING:				66
COMPACT CAR SPACES ALLOWED (25% OF TOTAL):				17
NIMC Table 1106.1 - Number of Accessible Parking Spaces				4
Number of Van Accessible Parking Spaces (IRC 1106.3)				1 of 4
IDO Table S-4.4 Motorcycle Parking Requirements				3 spaces
IDO Table S-5.5 Bicycle Parking Requirements				6-8
Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is				7

TRAFFIC CIRCULATION:

Two-way traffic ingress/egress from northeast corner of site on Ellison St. NE.

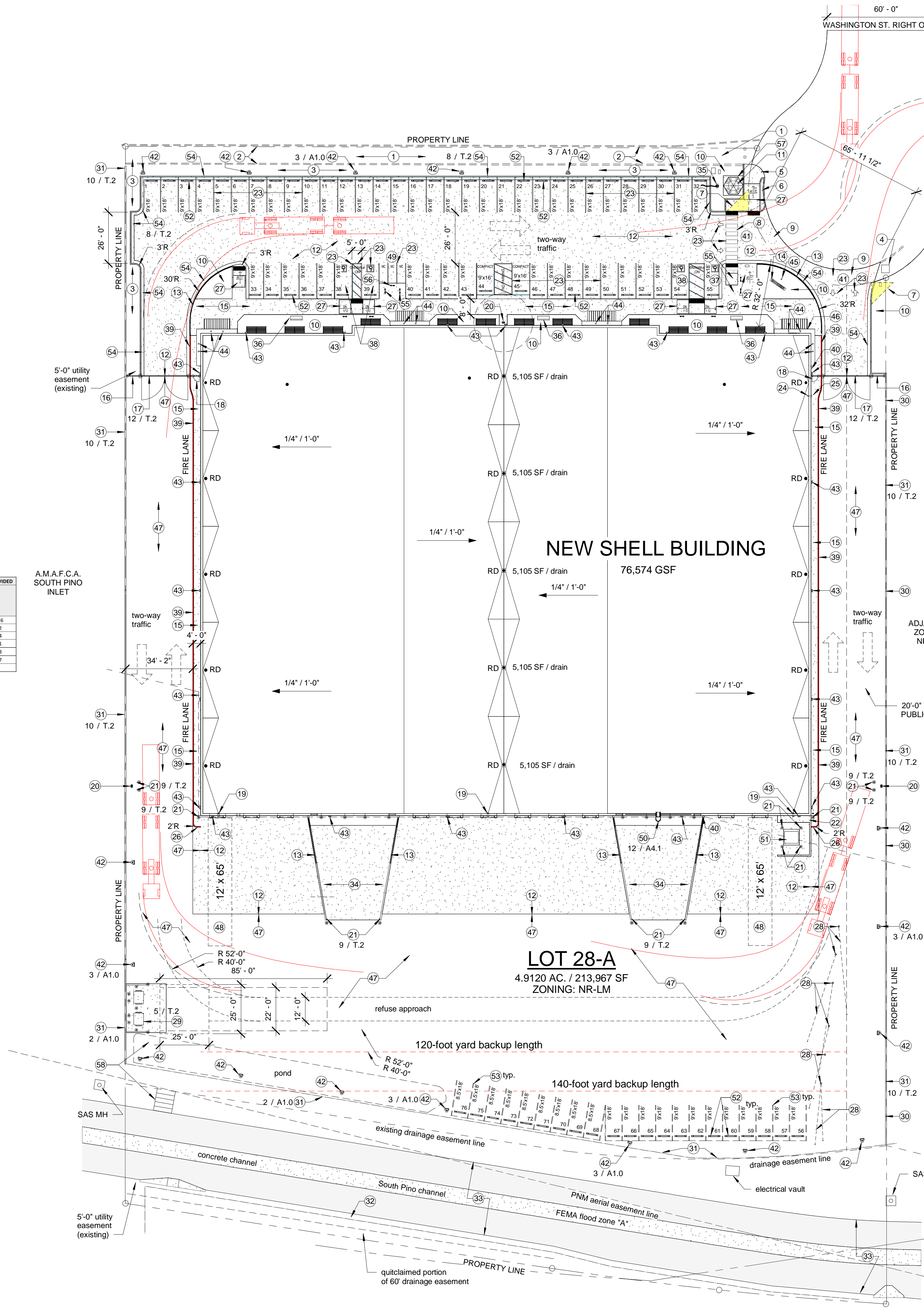
EXECUTIVE SUMMARY:

This development is located at 4000 Ellison Street NE, Lot 28A, Interstate Industrial Tract in the City of Albuquerque, 87109.

The general concept for the design of the site is to have 2-way vehicular circulation around all four sides of the Office / Warehouse. The public side of the project at the north end of the site contains paved public parking and ADA access to all lease space entrances.

Impact to adjacent sites is minimal. A CMU wall will be constructed along the west, south and east property lines.

A.M.A.F.C.A.
SOUTH PINO
INLET



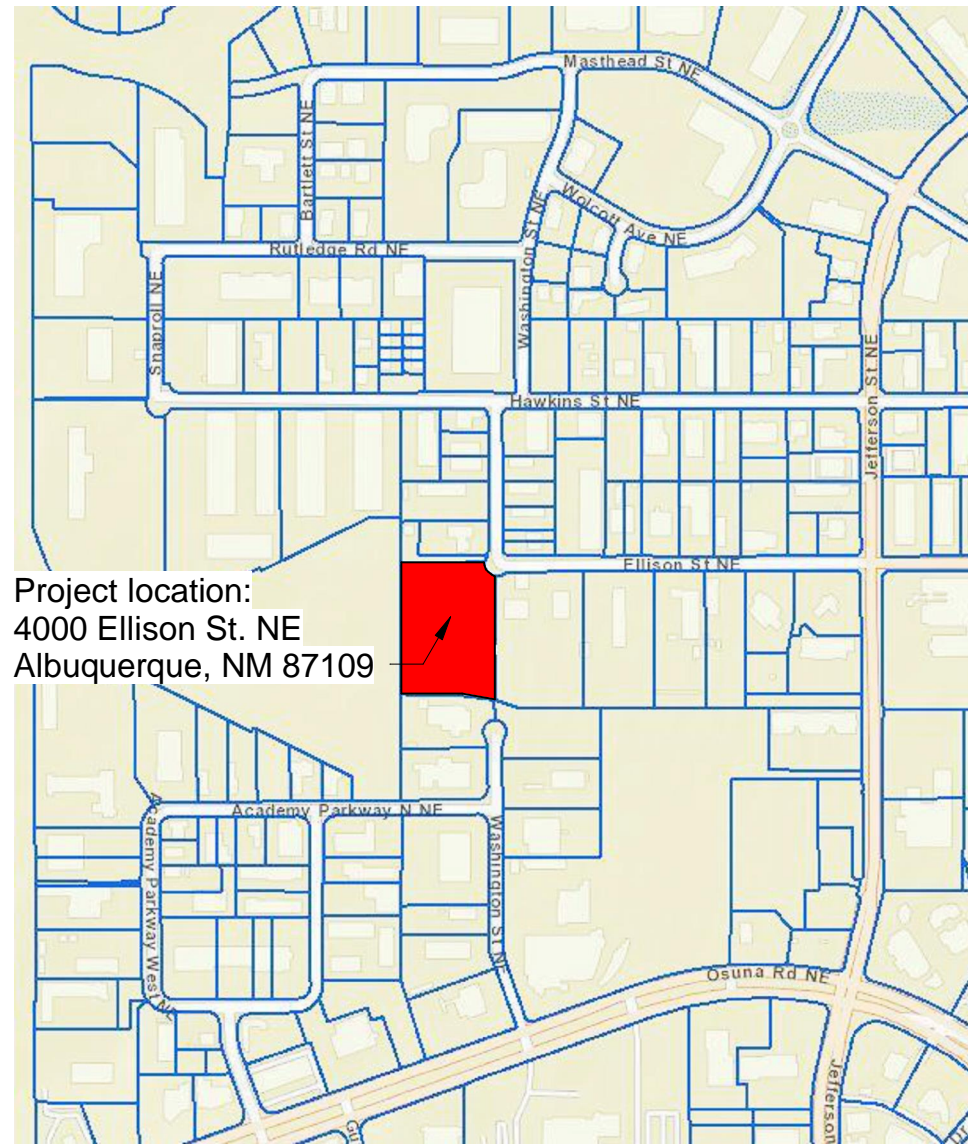
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE PAV) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

ALL BROKEN OR CREACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

20'-0" WATER, SEWER AND PUBLIC UTILITY EASEMENT (EXISTING)

VACINITY MAP
ZONE ATLAS MAP D-17-Z



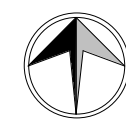
Project location:
4000 Ellison St. NE
Albuquerque, NM 87109

Keyed Notes: #

- Existing concrete driveway.
- Existing 2'-6" high cast-in-place concrete drainage wall.
- Buffer landscaping.
- New water meter.
- New sidewalk, see Civil grading and drainage.
- Replace existing curb.
- Clear sight triangle.
- New 6" wide stamped concrete walk (accessible route to public way), see detail 11 / T.2
- New concrete drive apron and curb cut.
- Landscaping.
- 5-ft diameter outdoor table, benches and umbrella. Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
- Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
- 42" high steel pipe guardrail (painted charcoal).
- Monument sign, see detail 11 / A.4.1
- 4" thick concrete sidewalk, 4,000 psi, 6% air entrainment.
- 6'-6" high steel fence (painted charcoal).
- 7'-6" high steel swing gates (painted charcoal), 24' opening.
- 3'-2" wide x 6'-6" high steel personnel gate (painted charcoal).
- Scupper, 8" x 8".
- Proposed new fire hydrant.
- 6" bollard x 4' tall (painted charcoal color).
- Post indicator valve (PIV).
- Pavement markings.
- Fire riser.
- Fire department connection (FDC).
- Sidewalk to extend 6-ft south of building.
- Concrete sidewalk ramp; detectable warning where detailed.
- Existing power poles (6 total) and associated guy wires.
- Refuse container concrete pad, apron and bollards.
- Existing 6' high chainlink fence on property line to be removed.
- 6' high concrete block wall (replaces existing 6' high chainlink fence).
- Existing concrete retaining wall.
- Existing concrete drainage channel.
- Concrete truck ramp, 5 1/2" thick with #3 rebar at 18" OC each way, 6% air entrainment.
- Flag pole and foundation, see detail 5 / A.1.0
- 6' long bench.
- Van accessible parking space, see detail 2 / T.2
- HC accessible parking space, see detail 1 / T.2
- Fire lane, paint curb "red".
- Knox box.
- Ingress / egress location, 26' wide drive aisle.
- Pole light, 25' tall pole.
- Wall pack light, mounted at 28' AFF.
- Recessed can light fixture in soffit.
- Ground-mounted light for monument sign.
- Premise ID on building wall, see north elevation..
- Crushed aggregate driving surface.
- Loading space, 12' x 65' per IDO requirements.
- Motorcycle parking spaces (qty. 3), 4.5' x 10' size. Label each space "MC" 12" high, yellow painted letters).
- Roof access ladder, see detail 12 / A.4.1
- PNM transformer on concrete pad.
- 6' long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge, curb or property line.
- Parking spaces delineated by painted markings on concrete block wall, 4' wide x 48" tall painted stripe.
- Concrete curb and gutter, see detail 8 / T.2
- Bicycle parking rack, see details 3 / T.2, 14 / T.2 & 15 / T.2
- Motorcycle parking sign, see detail 4 / T.2
- 10' x 10' x 4" thick concrete pad (4,000 psi with #3 rebar at 18" OC, each way 6% air entrained).
- Retention pond and channel rundown, see grading and drainage plan.

1 SITE PLAN -TRAFFIC 1
1" = 30'-0"

0 8 16 32
SCALE: 1" = 16'-0"



TRAFFIC 1

SHEET
T.1

SCALE:
As indicated

DATE:
2-24-2022
DRAWN BY:
J. Sanchez

OWNER APPROVAL:
John Mechenbier

ELLISON ST. OFFICE WAREHOUSE
4000 ELLISON ST. NE
ALBUQUERQUE, NM 87109

MECHENBIE
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