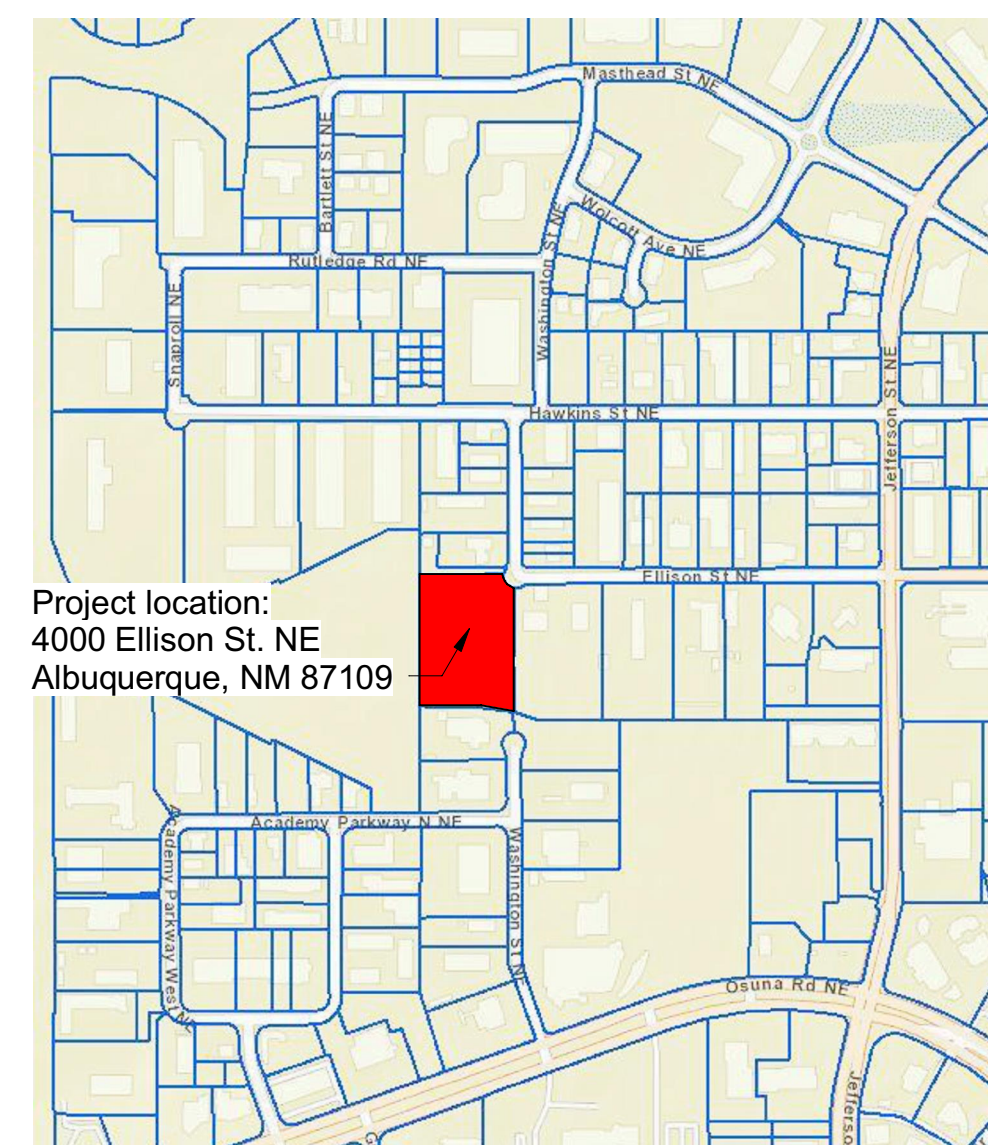
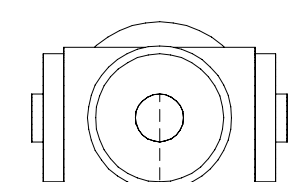
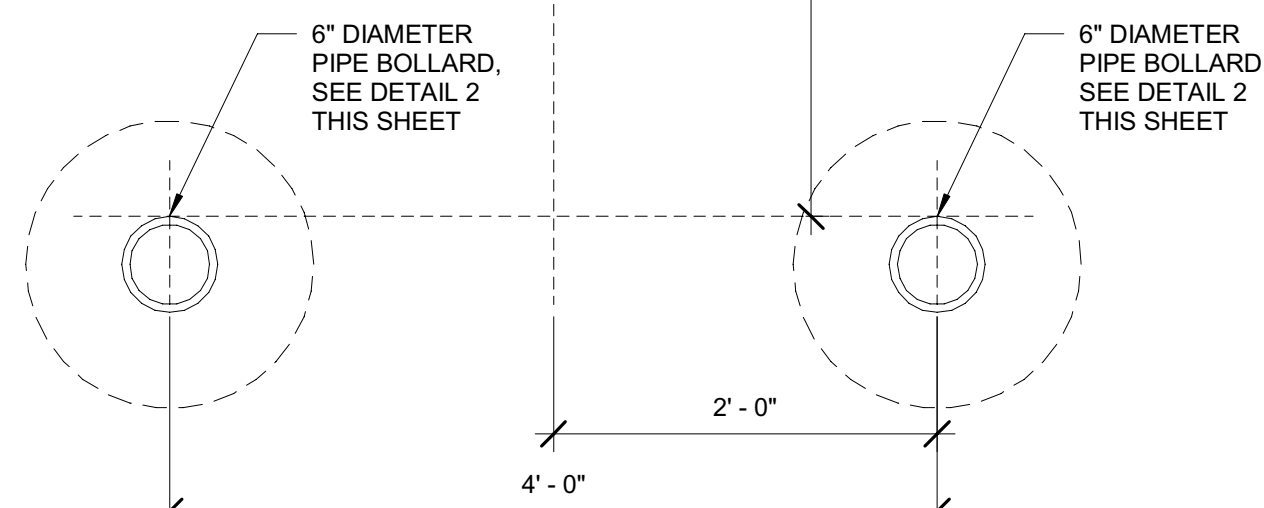


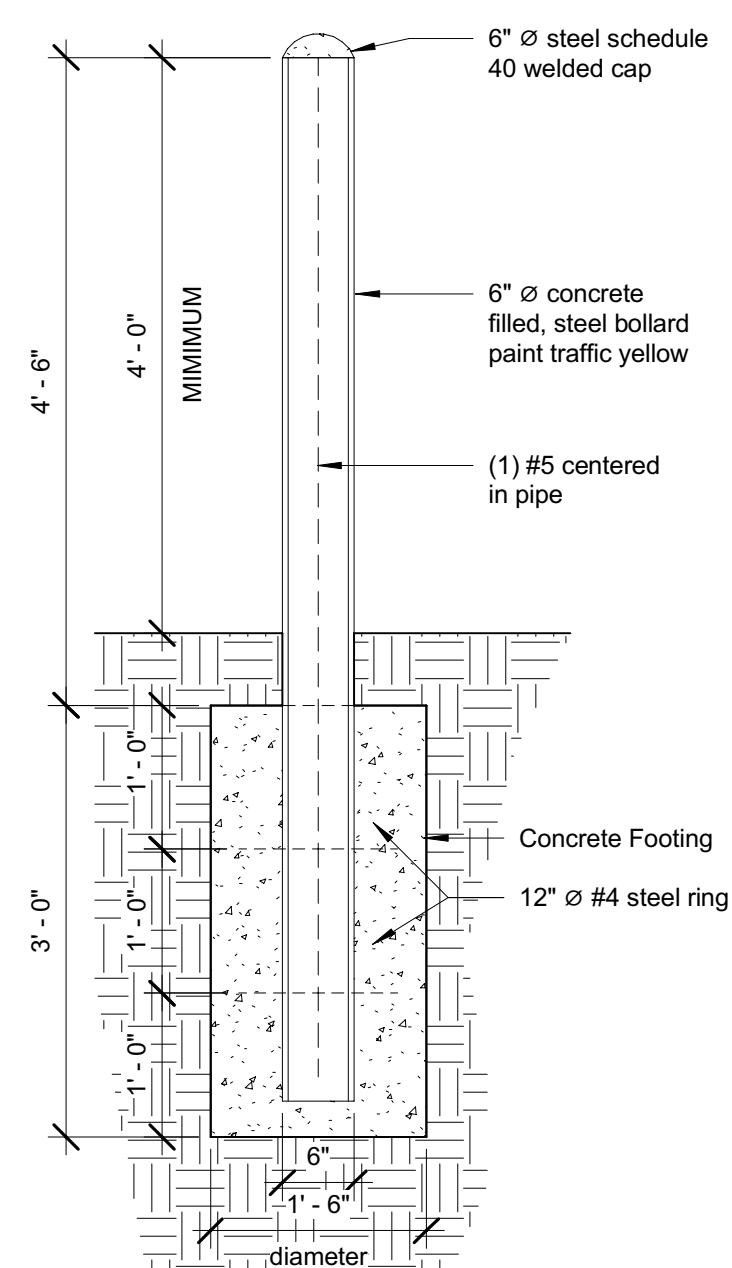
ZONE ATLAS MAP D-17-Z: Not to Scale



Project location:
4000 Ellison St. NE
Albuquerque, NM 87109

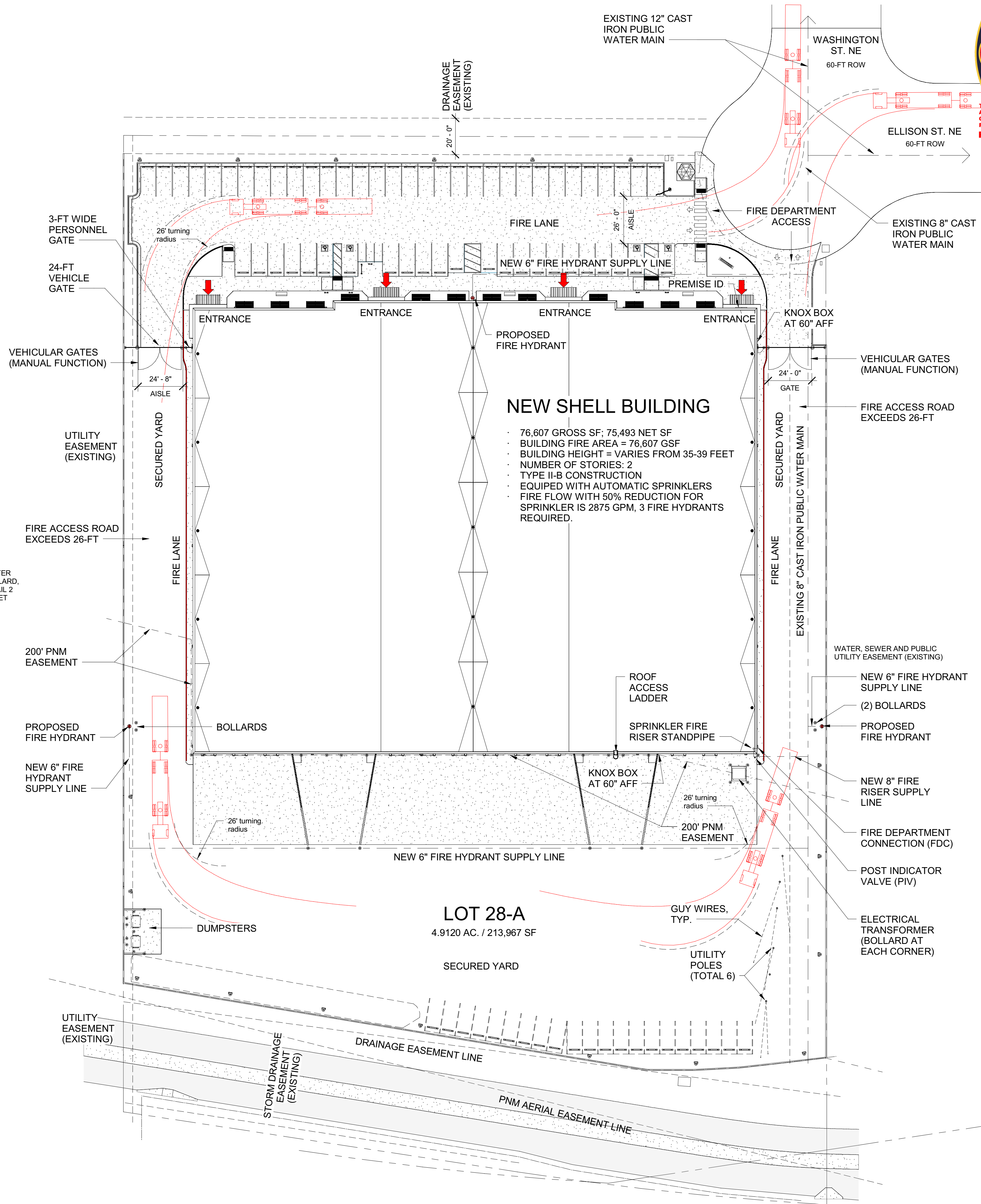
VEHICLE IMPACT PROTECTION
PER SECTION 312 OF THE IFC.

○ F1 - FIRE HYDRANT
1" = 1'-0"



② F1 - PIPE BOLLARD - 6'
3/4" = 1'-0"

1 SITE PLAN - F1
1" = 30'-0"



**ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION**

PROJECT ADDRESS: **PERMIT**

PERMIT NUMBER: FP 21-007777
APPROVED DATE: 10/07/21

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHALS OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTIONS REQUIRED.

FIRE FLOW: 2875/GPM 3"HYDRANT 76.607/SOFT IJB

OWNER: Security Self Storage
8500 Washington St. N.E.
Suite A-5, Albuquerque, NM 87113

ZONING

Zoning Map: D-17-Z
DO Zone District: NR-LM
DO District Definition: Business Park
DO Category: Non-Residential
Proposed Permissive Uses: Office; Light Manufacturing; Warehousing
Total Site Area: 4.9120 acres / 213,967 SF

BUILDING ON LOT:

Minimum front yard setback = 20 feet
Actual Front "North" Setback depth is 90'-11 1/2"
 Minimum side yard depth = 10 feet
Actual Side yard "East" depth is 37'-11 1/4"
Actual Side yard "West" depth is 38'-1 3/8"
 Minimum rear yard depth = 10 feet
Actual Rear yard "South" is 196'-11 1/4"

Building Coverage Maximum = 50%
 Building: 76,675 GSF = 1.760 acres
Site: 213,967 GSF = 4.912 acres
 35.8% Actual Building Coverage

TRAFFIC CIRCULATION:

Two-way traffic ingress/egress from northeast corner of site; Ellison St. NE from the east and Washington St. NE from the north.

CODES AND STANDARDS

This project shall be in accordance with the following Building Codes including all local amendments:

- 2015 New Mexico Mechanical Code; including Appendices A, B, C, and D
- 2015 New Mexico Plumbing Code; including Appendices A, B, D, E, F, I, and L
- 2018 International Energy Conservation Code
- 2015 New Mexico Commercial Building Code including Appendix Chapters H, J, K, M, R, and S, but not including Appendix Chapters A, B, C, D, E, F, G, I, L, N, O, P, and Q
- 2015 International Code Council Performance Code for Buildings and Facilities, including all Appendix Chapters as published by the International Code Council:
 - 2015 International Building Code
 - 2015 International Mechanical Code
 - 2015 International Plumbing Code
 - 2015 International Fire Code
 - 2015 International Energy Conservation Code
- 2017 New Mexico Electrical Code
- 2012 New Mexico Electrical Safety Code
- Errata sheets to the adopted portions of Codes promulgated by the International Code Council, International Association of Plumbing and Mechanical Officials and National Electrical Code

Title 14, Chapter 5 of the New Mexico Building Code has been deleted and replaced with Chapter 1, on the following pages. Sections from various other parts of the Technical Codes have been amended, added, or deleted. These changes are noted on the pages following the Administrative Chapter No. 1.

OTHER GUIDELINES, REGULATIONS & STANDARDS

Americans with Disabilities Act Accessibility Guidelines (ADAAG)

INTERNATIONAL FIRE CODE

Reference the 2015 International Fire Code Appendix B, C, and D for code criteria

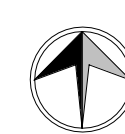
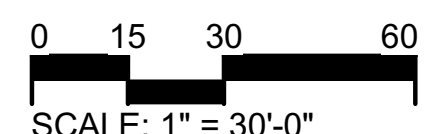
CHAPTER 5 FIRE SERVICE FEATURES

SECTION 503 FIRE APPARATUS ACCESS ROADS

- 503.1.1 Approved fire apparatus access roads shall be provided to or near every facility, building or portion of building...and shall extend to within 150 feet of all portions of the facility...
- 503.2.1 Dimensions. Unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches.
- 503.2.4 Turning radius. The required turning radius of a fire apparatus access road shall be determined by the fire code official.
- Engineering data shall be submitted to substantiate weight bearing capacity and all weather driving capabilities for fire apparatus access roads.
- An approved fire apparatus access road shall have an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
- Fire apparatus roads shall not exceed 10% in grade.



FIRE 1



SHEET
F.1

ELLISON ST. OFFICE WAREHOUSE
4000 ELLISON ST. NE
ALBUQUERQUE, NM 87109

MECHENBIE
CONSTRUCTION INC.
8500 WASHINGTON ST. NE SUITE A-5 OFFICE: (505) 871-1113
ALBUQUERQUE, NM 87113
WEB: WWW.MECHENBIE.COM

© Copyright 2016 by MECHENBIER CONSTRUCTION INC.