CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



July 29, 2022

Scott McGee, P.E. 9700 Sand Verbena Trail NE Albuquerque, NM 87122

RE: Office/Warehouse 4000 Ellison St. NE Grading and Drainage Plan Engineer's Stamp Date: 07/14/22 Hydrology File: D17D074

Dear Mr. McGee:

Based upon the information provided in your submittal received 07/15/2022, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

PO Box 1293

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. Please provide the Drainage Covenant with Exhibit A for the Stormwater Quality Pond per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Carrie Compton (cacompton@cabq.gov) on the 4th floor of Plaza de Sol.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

Planning Department



City of Albuquerque

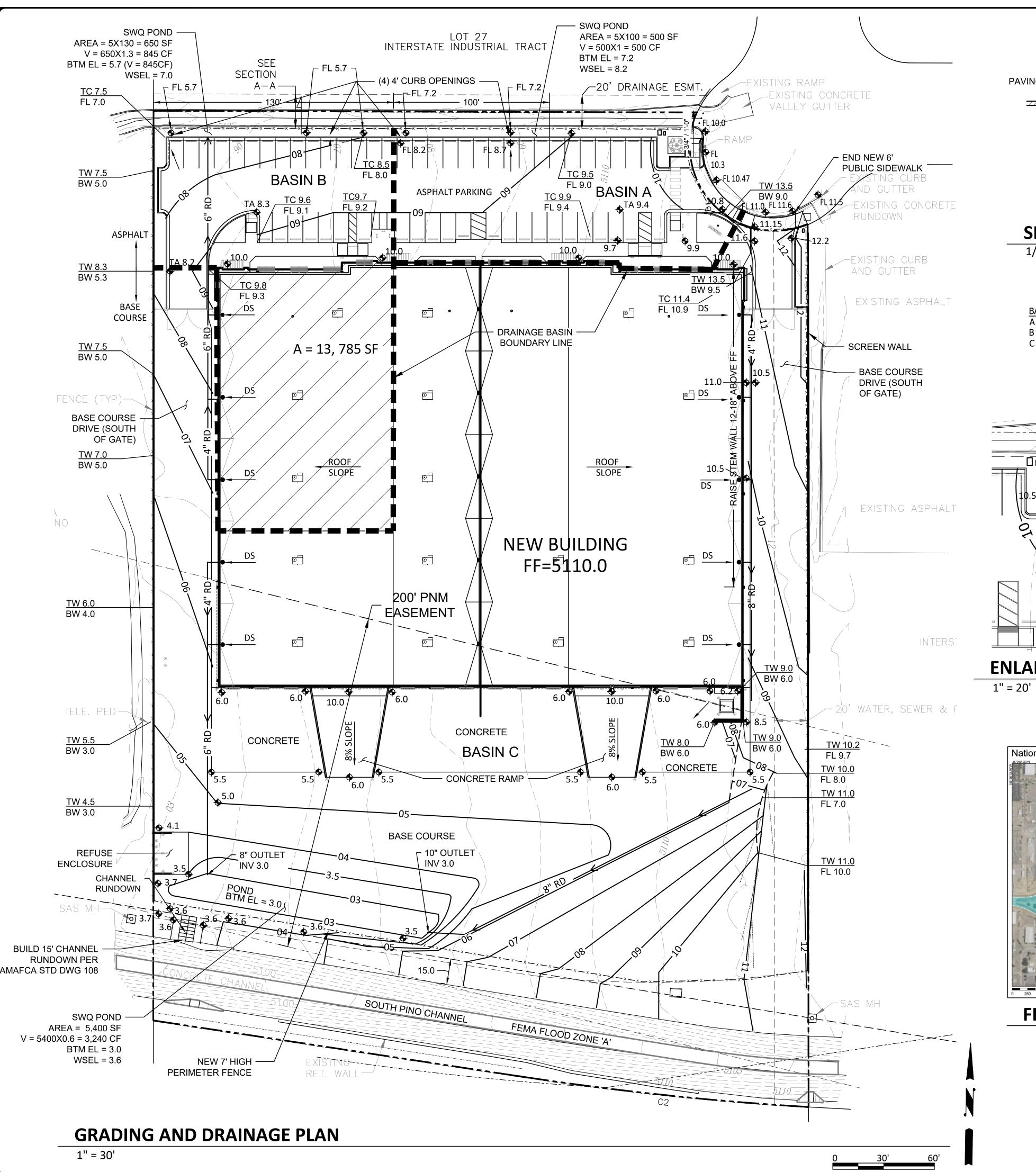
Planning Department

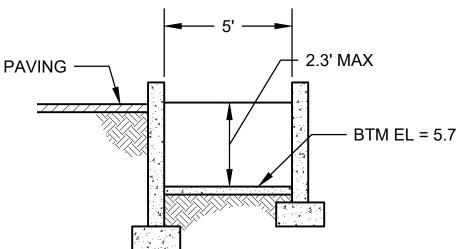
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title:	Building Permit #:		Hydrology File #:		
DRB#:	EPC#:		Work Order#:		
Legal Description:					
City Address:					
Applicant:			Contact		
Address:Phone#:					
Other Contact:					
Address:				_	
Phone#:					
TYPE OF DEVELOPMENT:	PLAT (# of lots)	RESIDENCE _	DRB SITE	ADMIN SITE	
IS THIS A RESUBMITTAL? Y					
DEPARTMENT: TRAFFIC/TI		HYDROLOG	Y/DRAINAGE		
Check all that Apply:		TYPE OF APPROVAL/ACCEPTANCE SOUGHT		PTANCE SOUGHT:	
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT PERMIT APPLIC ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) OTHER (SPECIFY) PRE-DESIGN MEETING?		BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVA FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)			
DATE SUBMITTED:	By:				

FEE PAID:___

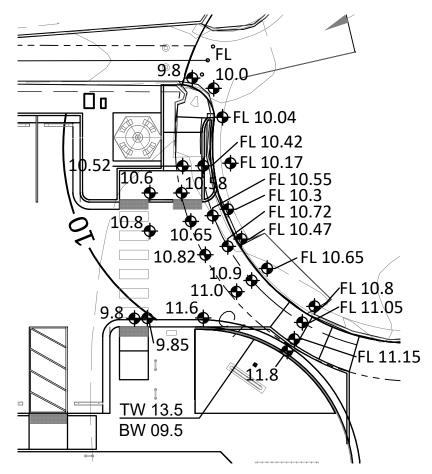




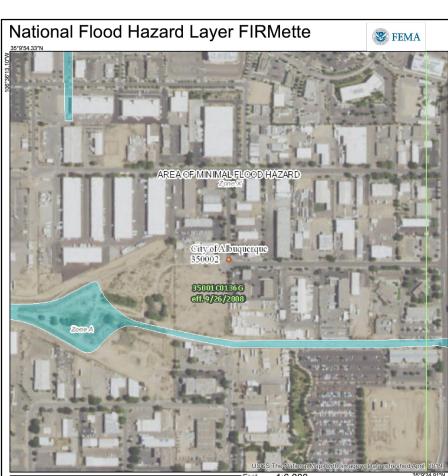
SECTION A-A

1/4" = 1'-0"

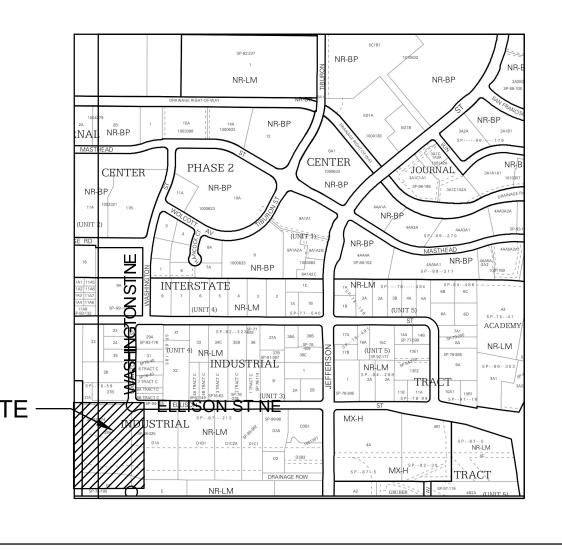
			SWQ	POND	
BASIN	AREA	AREA 'D'	VOL	VOL	
4	15,900	13,540	474	500	
3	24,500	24,154	845	845	
^	173 567	86 406	3 024	3 240	



ENLARGED PLAN



FIRM MAP



VICINITY MAP

D17

LEGEND

— — — — EXISTING CONSTRUCTION

NEW CONTOUR

FF=5110.0 PROPOSED BUILDING FINISH FLOOR ELEV

♦ 65.5 NEW SPOT ELEVATION

- —— NEW CONSTRUCTION

ROOF DRAIN

TC TOP OF CURB
TW TOP OF WALL

BW BOTTOM OF WALL

DRAINAGE ANALYSIS

ADDRESS: 4000 Ellison Street NE, Albuquerque, NM

LEGAL DESCRIPTION: LOT 28-A, INTERSTATE INDUSTRIAL TRACT

SITE AREA: 213,967 SF (4.912 acre)

BENCHMARK: City of Albuquerque Station '12-E17' being a brass cap with ELEV= 5118.70 (NAVD 1988)

SURVEYOR: Sandia Land Surveying Inc. dated July 14, 2019

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0136G (9/26/08), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: Offsite flow enters this site at the NE corner and is carried west by an existing concrete drain swale within an existing 20' drainage easement.

EXISTING CONDITIONS: The site is an undeveloped industrial site which slopes down to the west at 2-2.5%. The site discharges freely to the west which is the South Pino Inlet owned by AMAFCA.

PROPOSED IMPROVEMENTS: A 76,574 SF building is proposed with paved parking and access drives and xeric landscape areas. Paved parking is proposed north of the building and base course is proposed for the sides and rear-yard area.

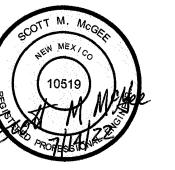
DRAINAGE APPROACH: The site drainage pattern will continue to discharge to the S Pino Channel and incorporates onsite retention ponds for the Storm water quality volume.

Existing land treatment: 100% A Q= (1.71)(4.912)= 8.4 CFS

Proposed land treatment: 42% (89,867 SF) C and 58% (124,100 SF) D Q= [(0.42)(3.05)+(0.58)(4.34)](4.912)=18.7 CFS

SWQ V (Basin A)= (0.42/12)(13,540) = 474 CF (500 CF PROVIDED) SWQ V (Basin B)= (0.42/12)(24,154) = 845 CF (845 CF PROVIDED) SWQ V (Basin C)= (0.42/12)(86,406) = 3,024 CF (3,240 CF PROVIDED)





SHEET GRADINGAND DRAINAGE

GRADING AND DRAINAGE

REVISIONS:

PLAN DATE:
07/15/22
FILENAME:

DRAWN BY:

SMM

EHOUSE/FLEX BUILDING
ELLISON STREET NE
QUERQUE, NEW MEXICO 87109

WASHINGTON ST. NE SUITE A-5 OFFICE: (505) 314 VASHINGTON WEB: WWW.MECHENBIER.COM