

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 9, 2022

Jeremy Mechenbier  
Mechenbier Construction, Inc.  
8500 Washington St. NE  
Albuquerque, NM 87113

Re: **ot 28 A o Inte tate In t a T act** Lot 28-A of Interstate Industrial Tract  
**E on St. NE** 4000 Ellison St. NE  
**T a c C c at on a o t** Traffic Circulation Layout  
Architect's Stamp 5-9-22 (D17-D074)

Dear Mr. Mechenbier,

The TCL submittal received 05-09-2022 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. ***A sidewalk easement will be needed prior to Certificate of Occupancy to incorporate the ADA pathway with a maximum 2% cross-slope along frontage of property.***

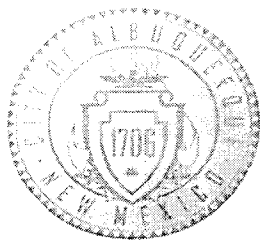
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

*Jeanne Wolfenbarger*

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6-2018)

Project Title: 4000 Ellison Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 28-A of Interstate Industrial Tract

City Address: 4000 Ellison St. NE

Applicant: Mechenbier Construction, Inc. Contact: Jeremy Mechenbier

Address: 8500 Washington St. NE, Ste. A-5 Alb., NM 87113

Phone#: 505-314-7700 Fax#: - E-mail: jeremy.mechenbier@mechenbier.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes \_\_\_\_\_ No

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 4/20/22 By: Jeremy Mechenbier

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

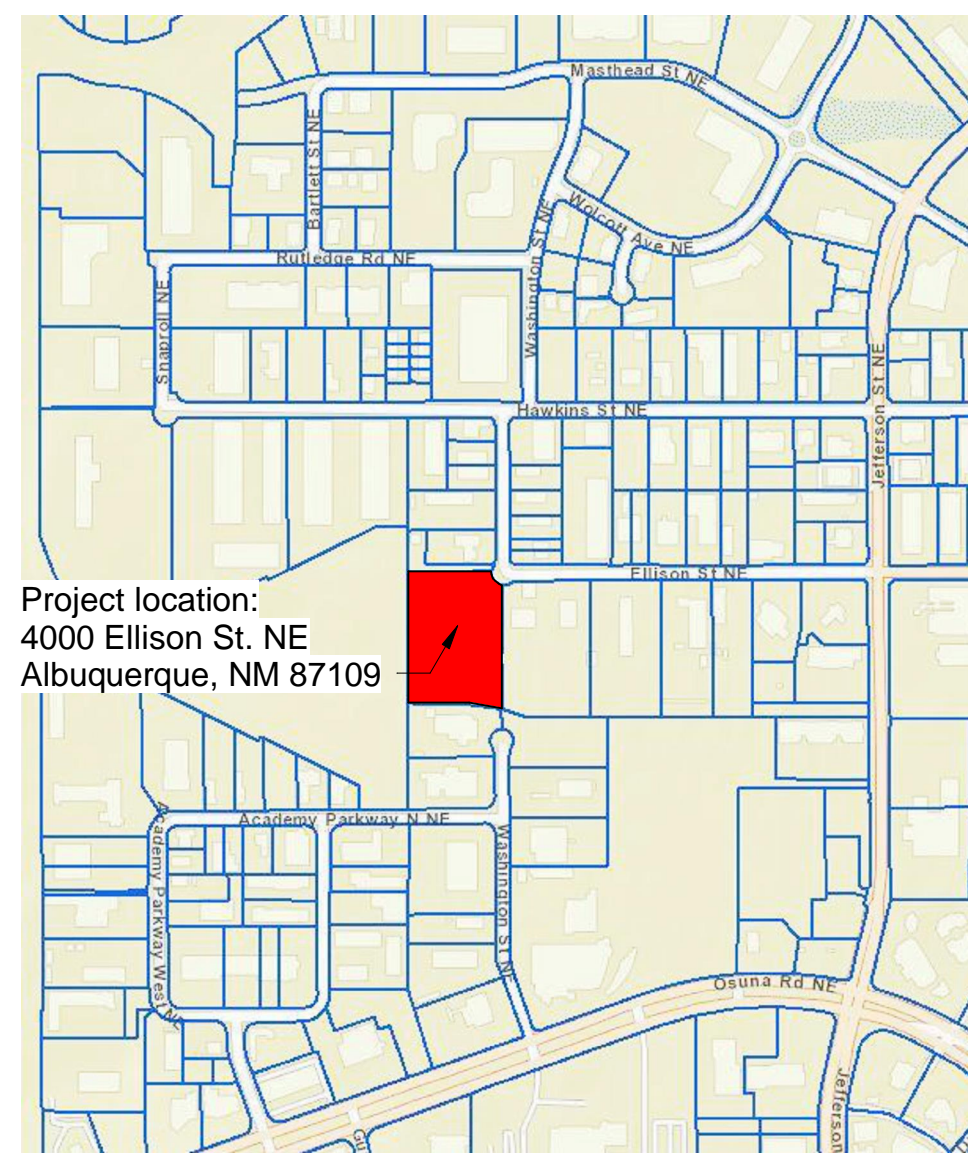


## Keyed Notes: #

- Existing concrete driveway.
- Existing 2'-6" high cast-in-place concrete drainage wall.
- Buffer landscaping.
- New water meter.
- New sidewalk, see Civil grading and drainage.
- Replace existing curb.
- Clear sight triangle.
- New 6' wide stamped concrete walk (accessible route to public way), see detail 11 / T.2.
- New concrete drive apron and curb cut. Comply with CABQ std dwg 2426, see detail 3/T.1.
- Landscaping.
- 5-ft diameter outdoor table, benches and umbrella. Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
- Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
- 42" high steel pipe guardrail (painted charcoal).
- Monument sign, see detail 11 / A4.1
- 4" thick concrete sidewalk, 4,000 psi, 6% air entrainment.
- 6'-6" high steel fence (painted charcoal).
- 7'-6" high steel swing gates (painted charcoal), 24' opening.
- 3'-2" wide x 6'-6" high steel personnel gate (painted charcoal).
- Scupper, 8" x 8".
- Proposed new fire hydrant.
- 6" bollard x 4' tall (painted charcoal color).
- Post indicator valve (PIV).
- Pavement markings.
- Fire riser.
- Fire department connection (FDC).
- Sidewalk to extend 6-ft south of building.
- Concrete sidewalk ramp; detectable warning where detailed.
- Existing power poles (6 total) and associated guy wires.
- Refuse container concrete pad, apron and bollards.
- Existing 6' high chainlink fence on property line to be removed.
- 6' high concrete block wall (replaces existing 6' high chainlink fence).
- Existing concrete retaining wall.
- Existing concrete drainage channel.
- Concrete truck ramp, 5 1/2" thick with #3 rebar at 18" OC each way, 6% air entrainment.
- Flag pole and foundation, see detail 5 / A1.0
- 6' long bench.
- Van accessible parking space, see detail 2 / T.2
- HC accessible parking space, see detail 1 / T.2
- Fire lane, paint curb "red".
- Knox box.
- Ingress / egress location, 26' wide drive aisle.
- Pole light, 25' tall pole.
- Wall pack light, mounted at 28' AFF.
- Recessed can light fixture in soffit.
- Ground-mounted light for monument sign.
- Premise ID on building wall, see north elevation..
- Crushed aggregate driving surface.
- Loading space, 12' x 65' per IDO requirements.
- Motorcycle parking spaces (qty 3), 4.5' x 10' size. Label each space "MC" (12" high, yellow painted letters).
- Roof access ladder, see detail 12 / A4.1
- PNM transformer on concrete pad.
- 6' long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge, curb or property line.
- Parking spaces delineated by painted markings on concrete block wall, 4' wide x 48" tall painted stripe.
- Concrete curb and gutter, see detail 8 / T.2
- Bicycle parking rack, see details 3 / T.2, 14 / T.2 & 15 / T.2
- Motorcycle parking sign, see detail 4 / T.2
- 10' x 10' x 4" thick concrete pad (4,000 psi with #3 rebar at 18" OC, each way, 6% air entrained).
- Retention pond and channel rundown, see grading and drainage plan.

## VACINITY MAP

ZONE ATLAS MAP D-17-Z



Project location:  
4000 Ellison St. NE  
Albuquerque, NM 87109

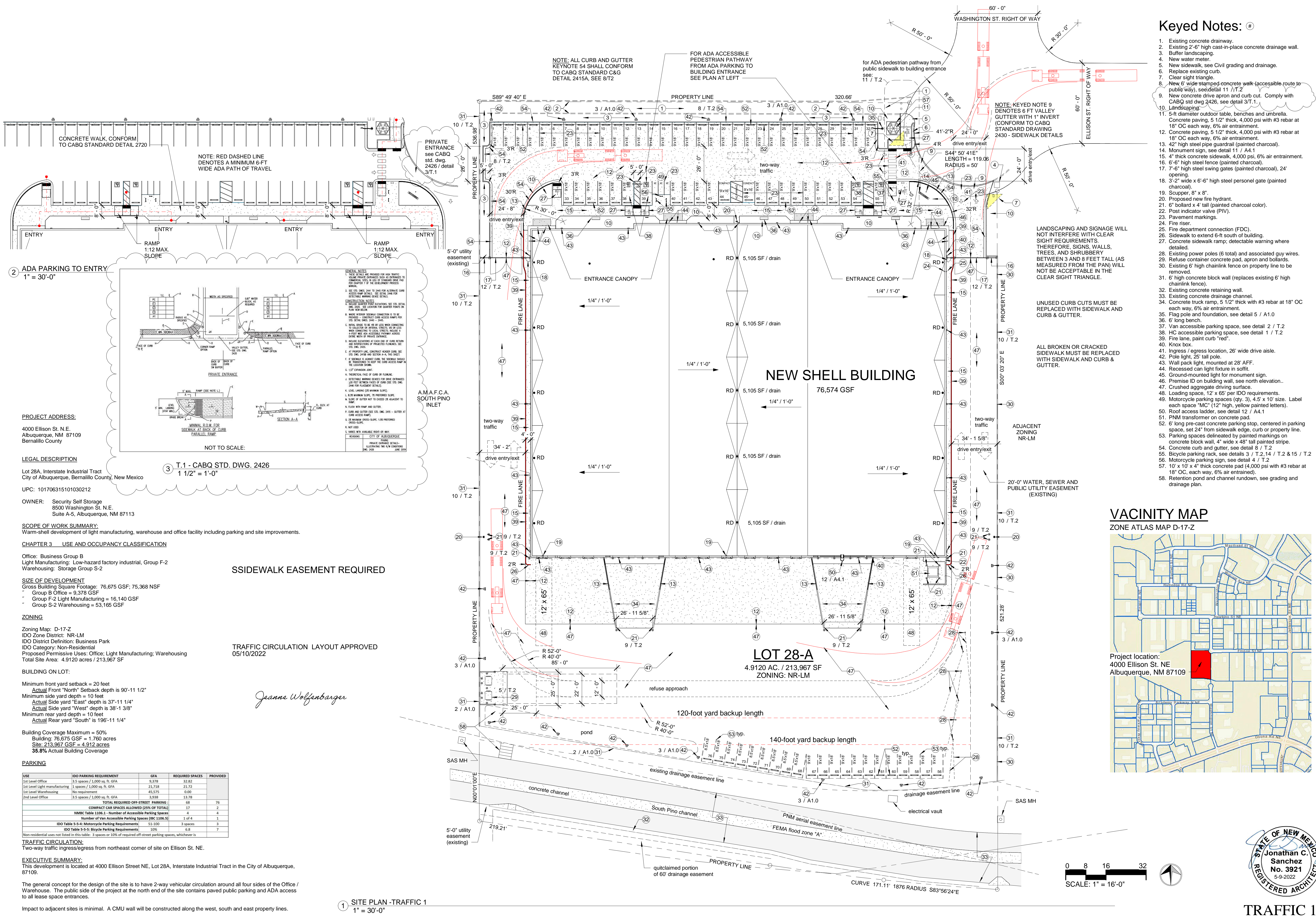


TRAFFIC 1

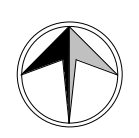
ELLISON ST. OFFICE WAREHOUSE  
4000 ELLISON ST. NE  
ALBUQUERQUE, NM 87109

MECHENBIE  
CONSTRUCTION INC.  
9850 WASHINGTON ST. NE SUITE A-5  
ALBUQUERQUE, NM 87110  
OFFICE: (505) 314-7700  
WEB: WWW.MECHENBIE.COM

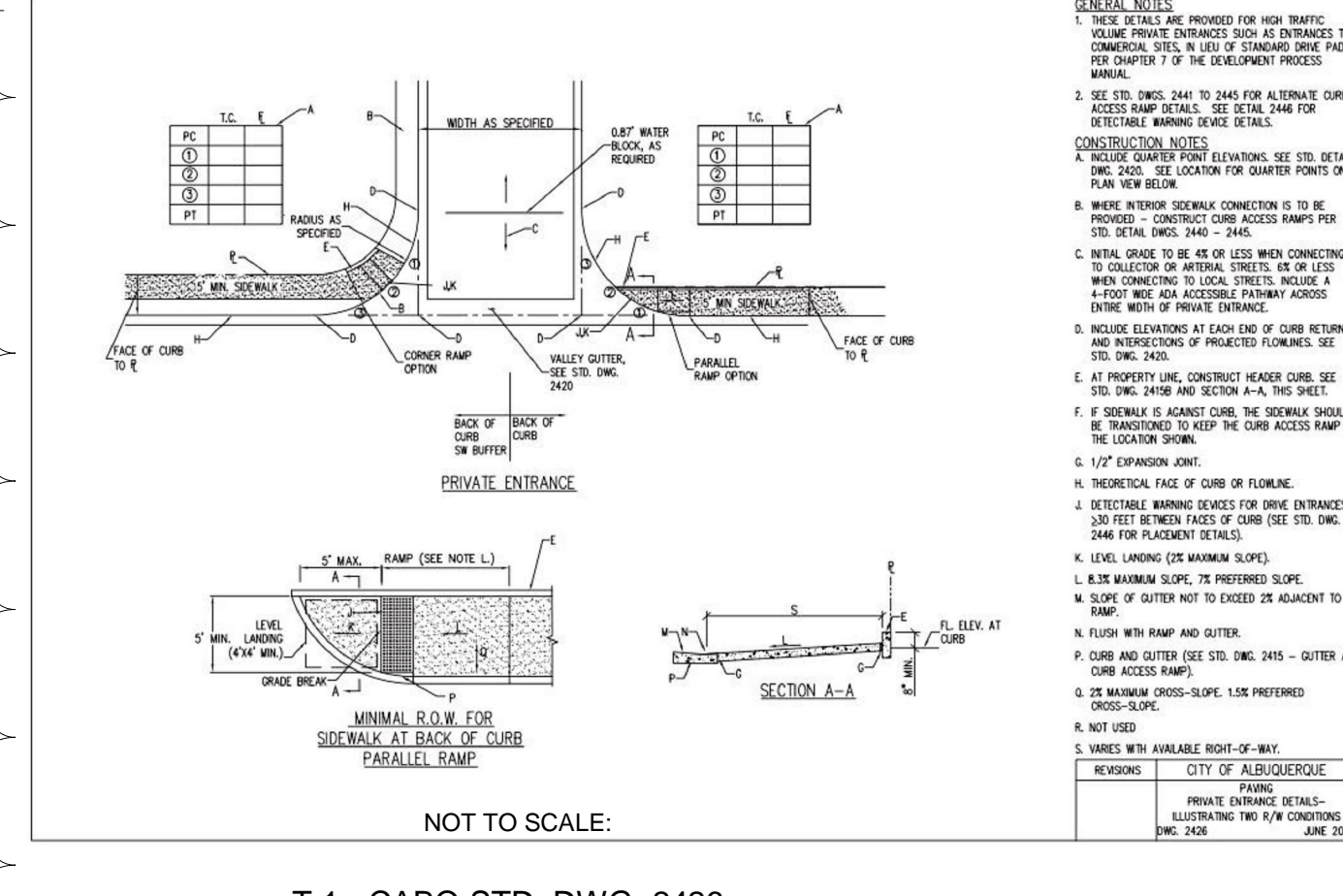
© Copyright 2016 by MECHENBIE CONSTRUCTION INC.  
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0 8 16 32  
SCALE: 1" = 16'-0"



2 ADA PARKING TO ENTRY  
1" = 30'-0"



3 T.1 - CABQ STD. DWG. 2426  
1 1/2" = 1'-0"

**PROJECT ADDRESS:**  
4000 Ellison St. N.E.  
Albuquerque, NM 87109  
Bernalillo County

**LEGAL DESCRIPTION**  
Lot 28A, Interstate Industrial Tract  
City of Albuquerque, Bernalillo County, New Mexico

UPC: 101706315101030212

**OWNER:** Security Self Storage  
8500 Washington St. N.E.  
Suite A-5, Albuquerque, NM 87113

**SCOPE OF WORK SUMMARY:**  
Warm-shell development of light manufacturing, warehouse and office facility including parking and site improvements.

**CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION**

Office: Business Group B  
Light Manufacturing: Low-hazard factory industrial, Group F-2  
Warehousing: Storage Group S-2

**SIZE OF DEVELOPMENT**  
Gross Building Square Footage: 76,675 GSF; 75,368 NSF  
Group B Office = 9,378 GSF  
Group F-2 Light Manufacturing = 16,140 GSF  
Group S-2 Warehousing = 53,165 GSF

**ZONING**  
Zoning Map: D-17-Z  
IDO Zone District: NR-LM  
IDO District Definition: Business Park  
IDO Category: Non-Residential  
Proposed Permissive Uses: Office; Light Manufacturing; Warehousing  
Total Site Area: 4.9120 acres / 213,967 SF

**BUILDING ON LOT:**  
Minimum front yard setback = 20 feet  
Actual Front "North" Setback depth is 90'-11 1/2"  
Minimum side yard depth = 10 feet  
Actual Side yard "East" depth is 37'-11 1/4"  
Actual Side yard "West" depth is 38'-1 3/8"  
Minimum rear yard depth = 10 feet  
Actual Rear yard "South" is 196'-11 1/4"

**Building Coverage Maximum = 50%**  
Building: 76,675 GSF = 1.760 acres  
Site: 213,967 GSF = 4.912 acres  
35.8% Actual Building Coverage

**PARKING**

USE	IDO PARKING REQUIREMENT	GFA	REQUIRED SPACES	PROVIDED
1st Level Office	3.5 spaces / 1,000 sq. ft. GFA	9,378	32.82	
1st Level Light manufacturing	1 space / 1,000 sq. ft. GFA	21,718	21.72	
1st Level Warehousing	No requirement	45,575	0.00	
2nd Level Office	3.5 spaces / 1,000 sq. ft. GFA	3,938	13.78	
<b>TOTAL REQUIRED OFF-STREET PARKING:</b>				68
<b>COMPACT CAR SPACES ALLOWED (25% OF TOTAL):</b>				17
<b>NMBC Table 1106.1. Number of Accessible Parking Spaces:</b>				4
<b>Number of Van Accessible Parking Spaces (IBC 1106.5):</b>				1 of 4
<b>IDO Table 5-5.4: Motorcycle Parking Requirements</b>				3 spaces
<b>IDO Table 5-5.5: Bicycle Parking Requirements</b>				68

Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is less

**TRAFFIC CIRCULATION:**  
Two-way traffic ingress/egress from northeast corner of site on Ellison St. NE.

**EXECUTIVE SUMMARY:**  
This development is located at 4000 Ellison Street NE, Lot 28A, Interstate Industrial Tract in the City of Albuquerque, 87109.

The general concept for the design of the site is to have 2-way vehicular circulation around all four sides of the Office / Warehouse. The public side of the project at the north end of the site contains paved public parking and ADA access to all lease space entrances.

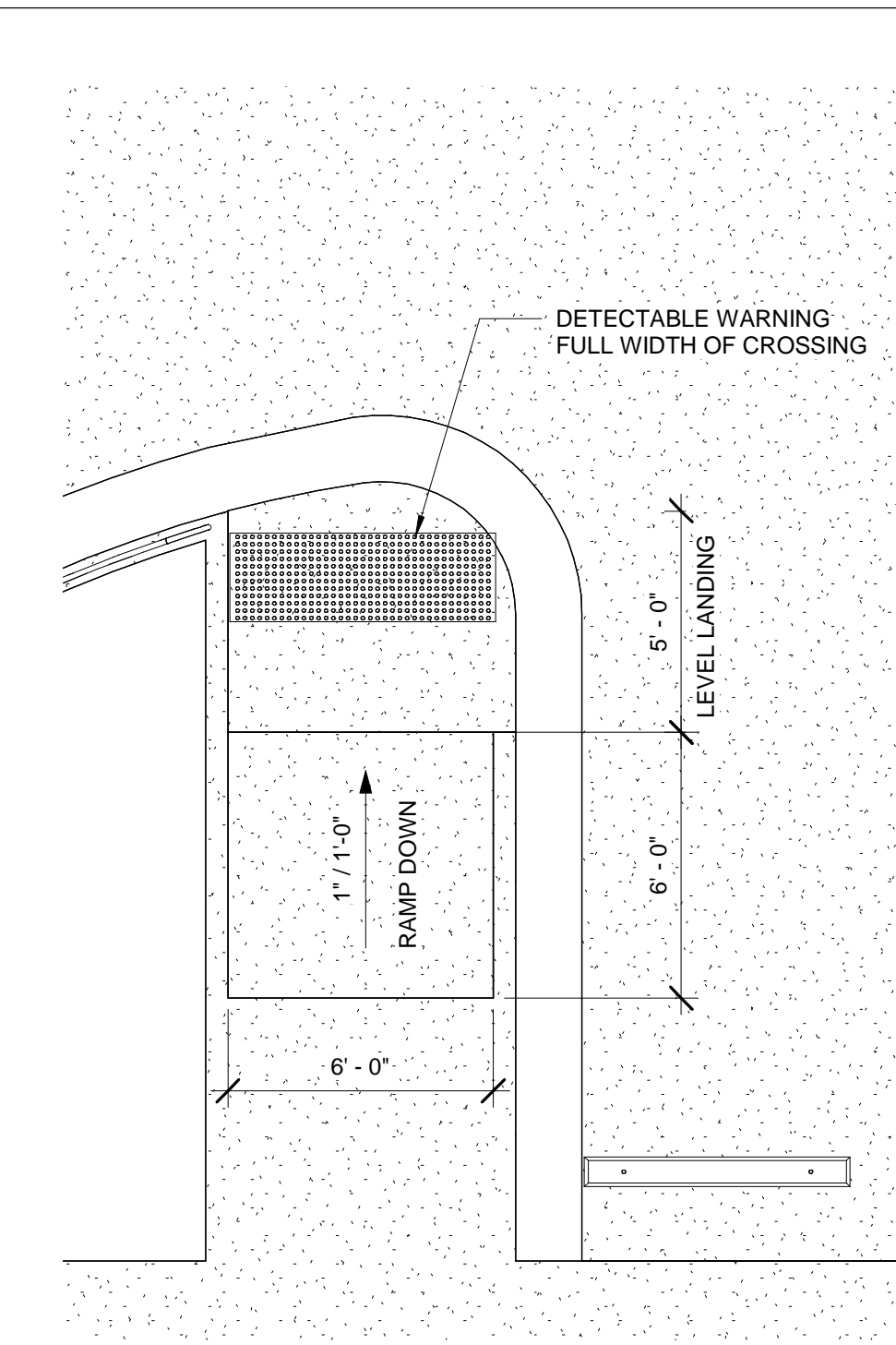
Impact to adjacent sites is minimal. A CMU wall will be constructed along the west, south and east property lines.

1 SITE PLAN - TRAFFIC 1  
1" = 30'-0"

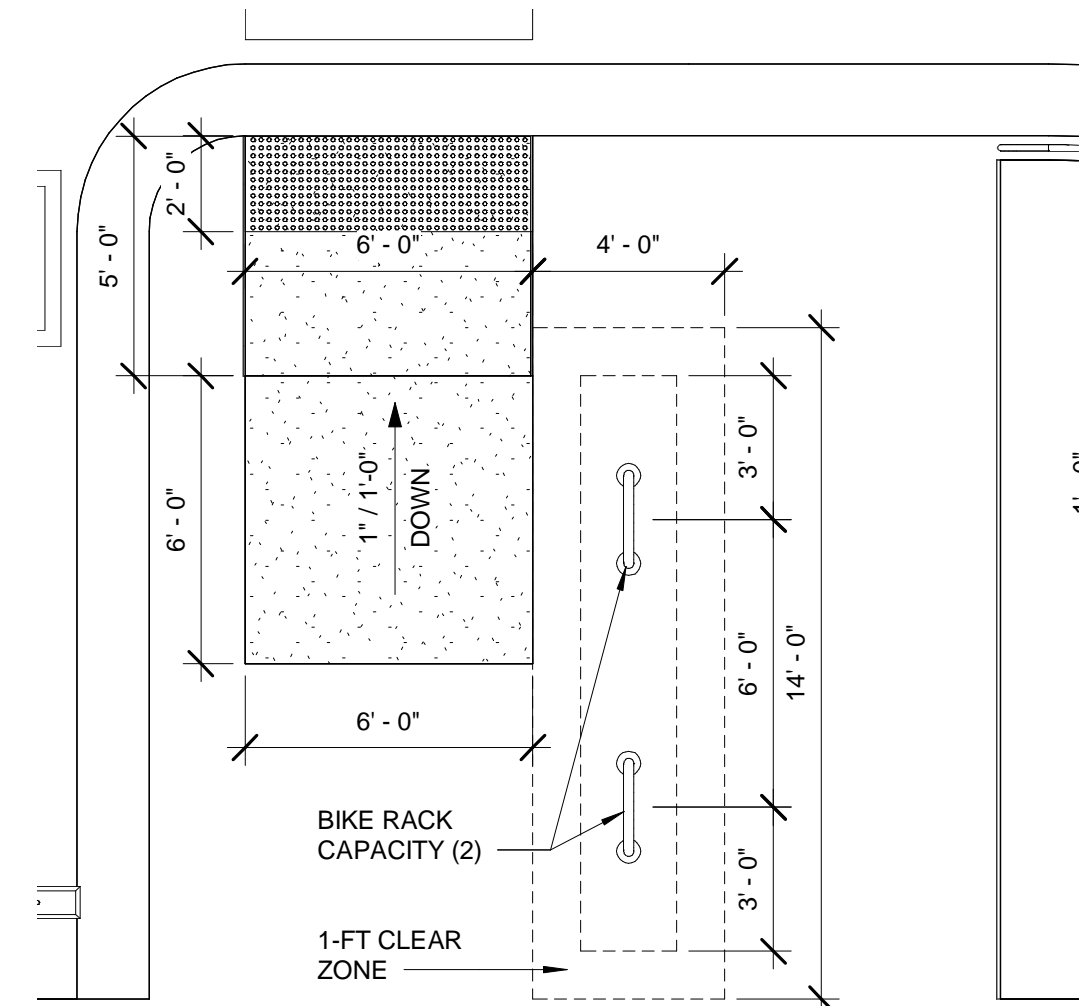


Keyed Notes: #

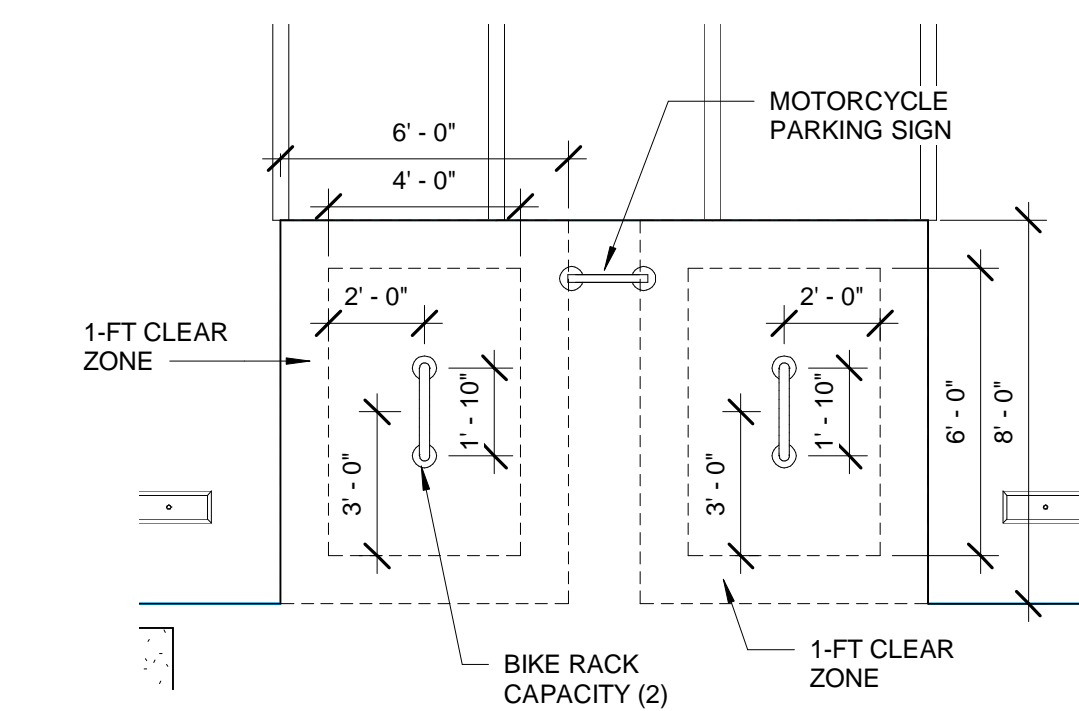
- 3/16"  $\varnothing$ , 7/64" staggered centers, 30% open area metal screen.
- 3/16"  $\varnothing$ , 1/4" staggered centers, 50% open area metal screen.
- HSS 2" x 2" interior verticals and horizontals.
- HSS 3" x 2" perimeter frame.
- HSS 8" x 8", cap top with 1/4" thick plate welded all around.
- HSS 4" x 4", cap top with 1/4" thick plate welded all around.
- Concrete footing, 1'-4"  $\varnothing$  x 3'-0" deep with #4 rebar rings at 12" OC.
- Concrete footing, 2'-0"  $\varnothing$  x 4'-0" deep with #4 rebar rings at 12" OC.
- Pipe bollard, painted traffic yellow (6"  $\varnothing$ , 4'-6" high).
- Pipe bollard, painted traffic yellow (6"  $\varnothing$ , 7'-0" high).
- 1/2" expansion material.
- Refuse container by others, NIC.
- Paint entire assembly, all exposed surfaces (color to be determined by owner).



13 T2 - ADA RAMPS - NW  
1/4" = 1'-0"



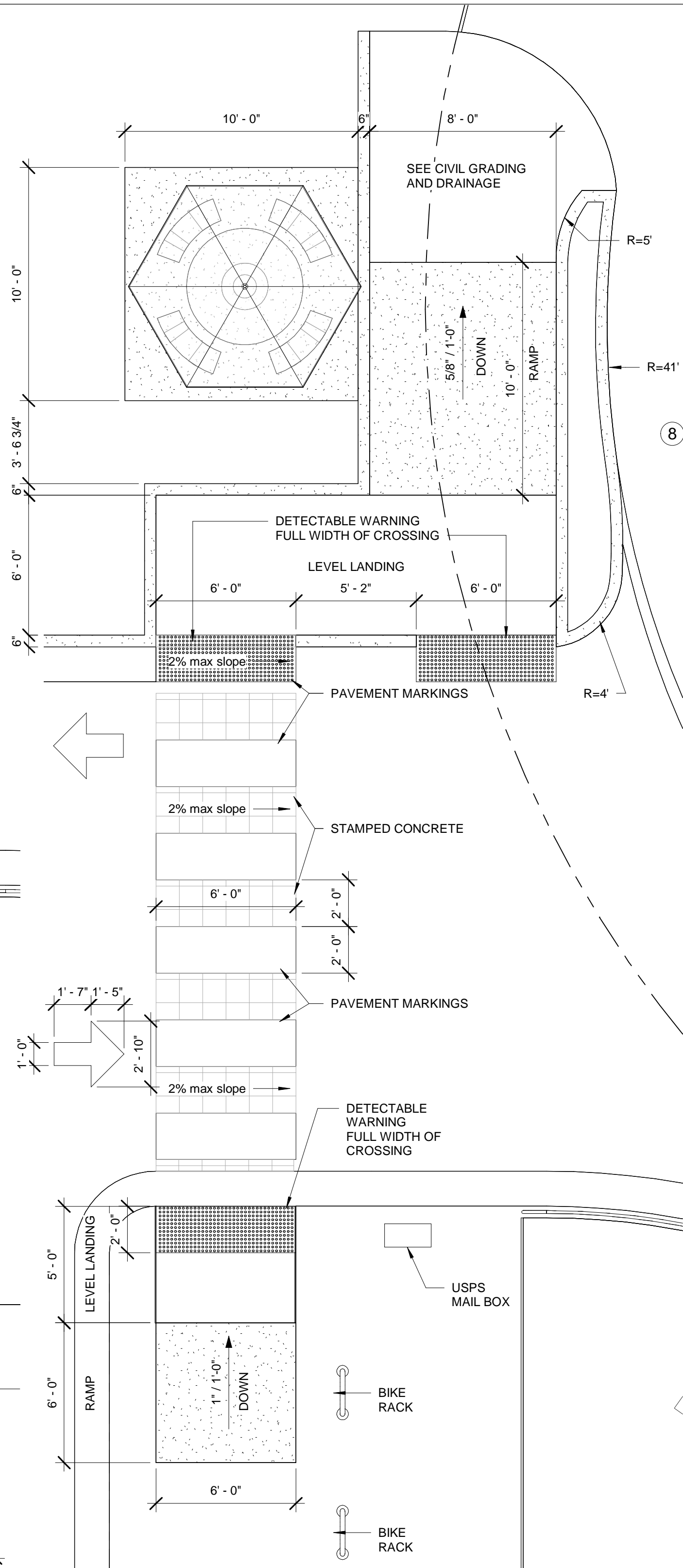
14 T2 - BIKE RACKS NE  
1/4" = 1'-0"



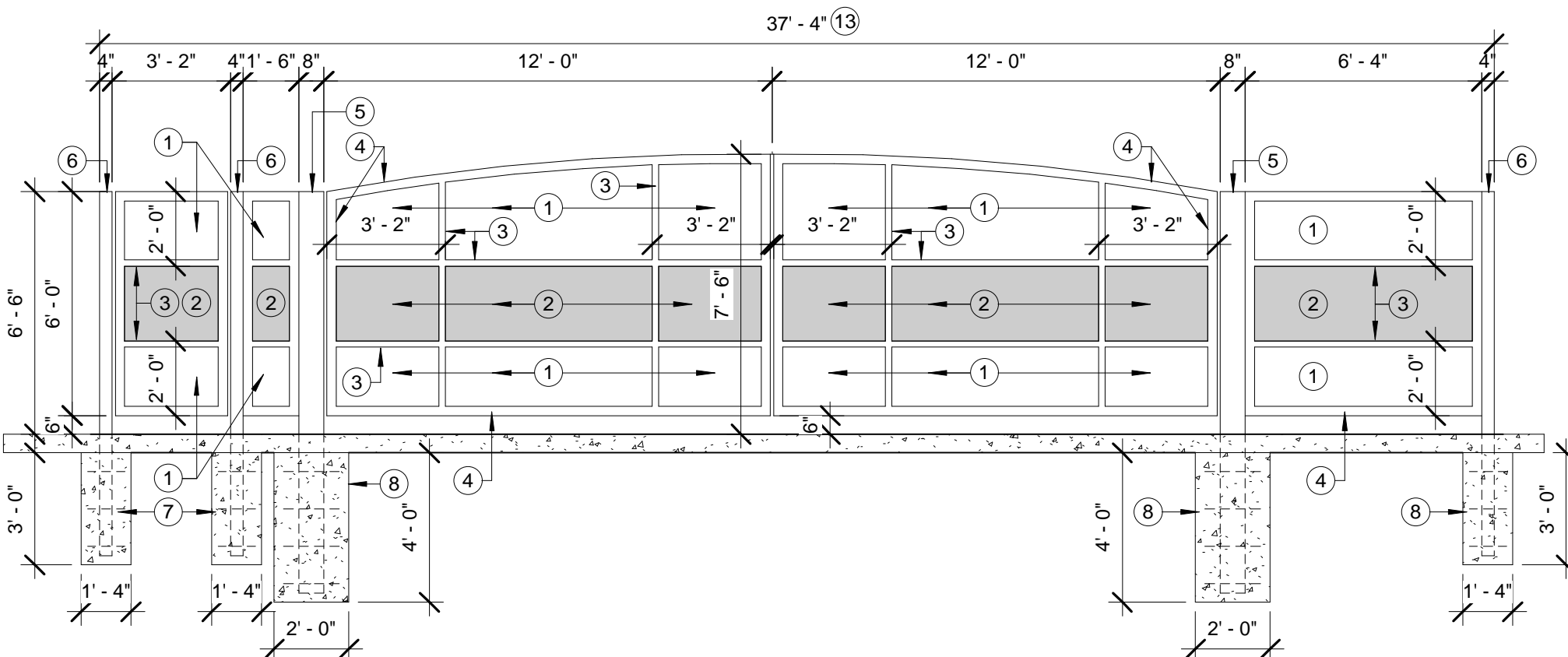
15 T2 - BIKE RACKS NW  
1/4" = 1'-0"

TRAFFIC CIRCULATION LAYOUT  
APPROVED 05/10/2022

Jaanna Wolfenbarger

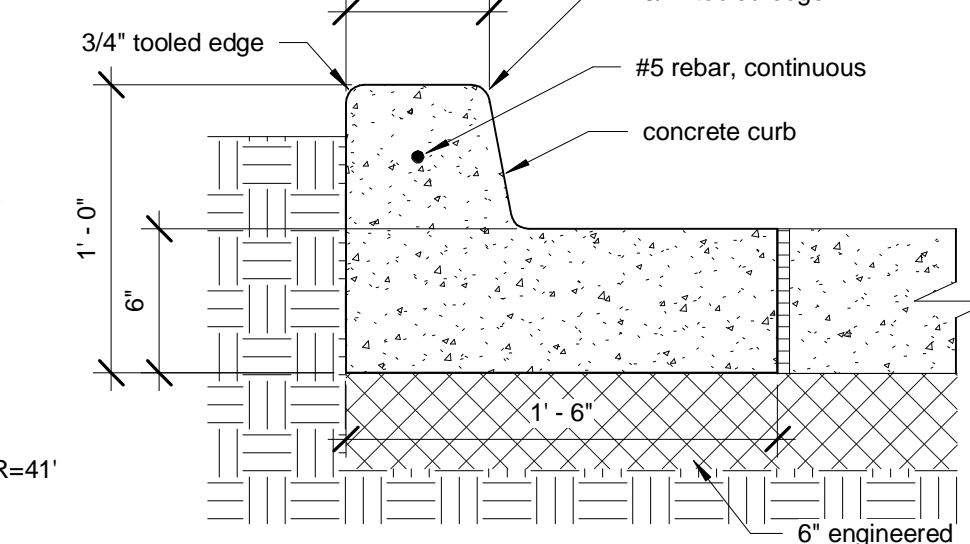


11 T2 - ADA RAMPS & CROSSWALK - SITE  
ENTRY  
1/4" = 1'-0"

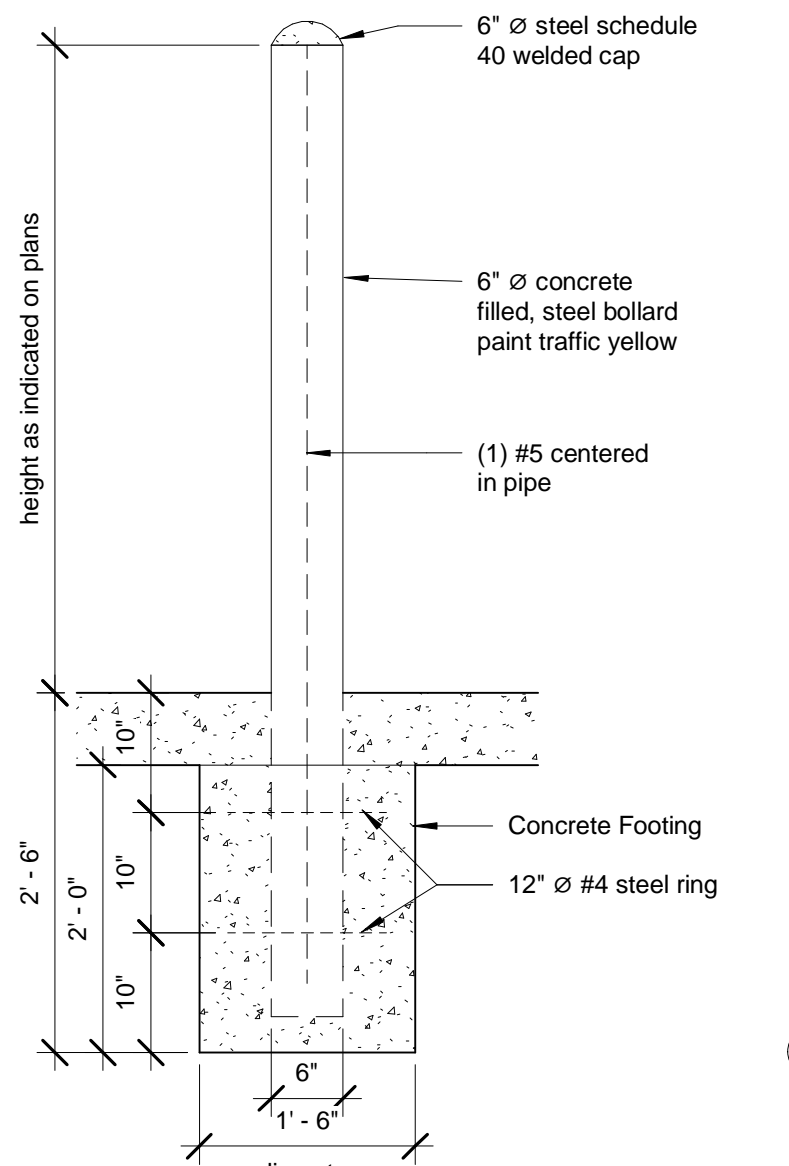


12 T2 - VEHICLE & PERSONNEL GATE  
1/4" = 1'-0"

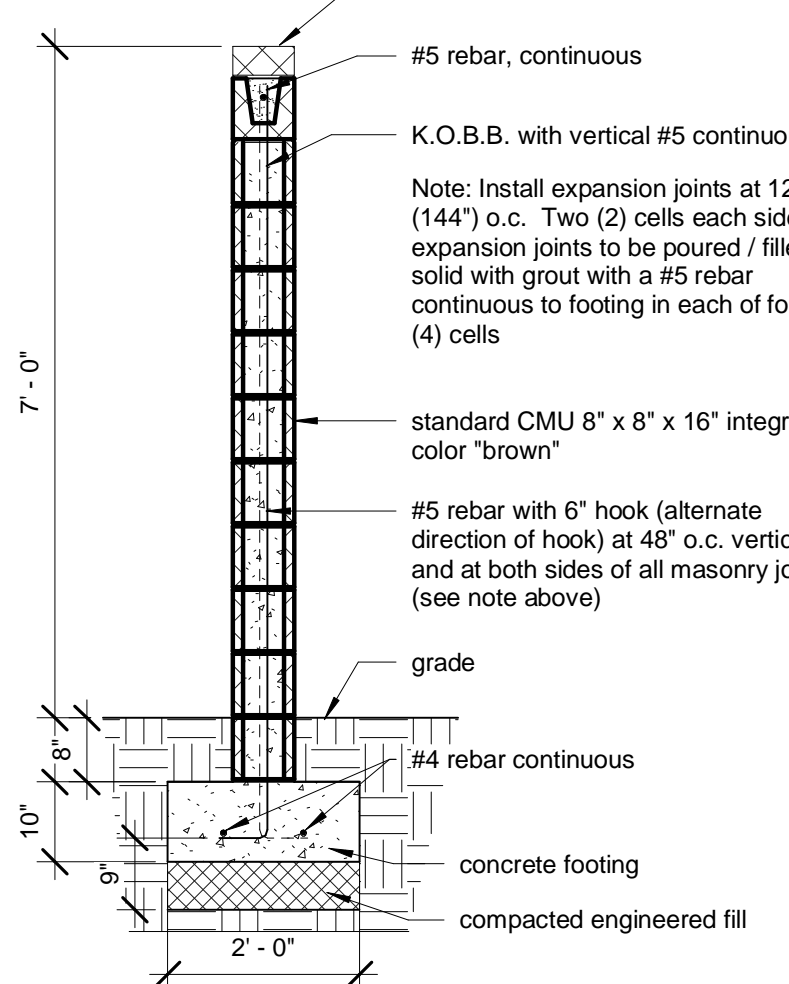
- GENERAL NOTES:
- Edges not specifically dimensioned shall be edged with a 3/8" edging tool
  - Requires full form on all faces
  - Construction control joints at 6'-0" o.c. maximum
  - 1/2" expansion joints at 8'-0" o.c., at curb returns and at each side of drives
  - Conform to CABQ standard C&G detail 2415A



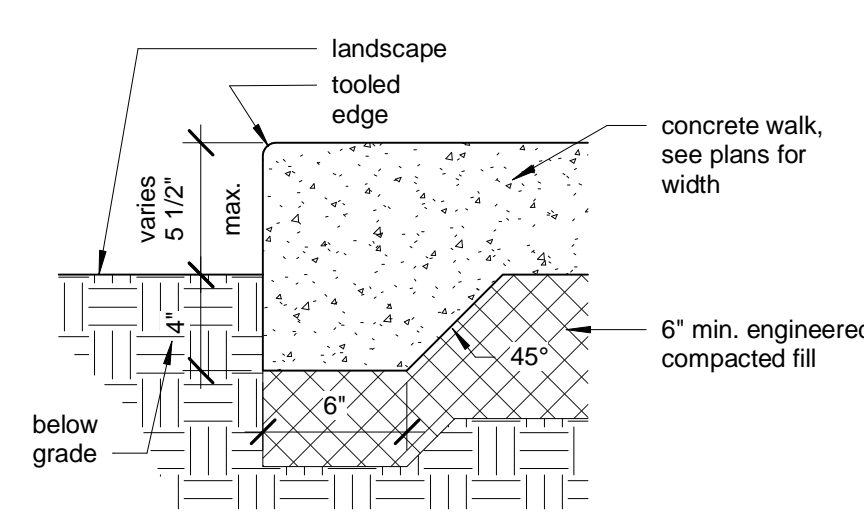
8 T2 - CONCRETE CURB & GUTTER  
1 1/2" = 1'-0"



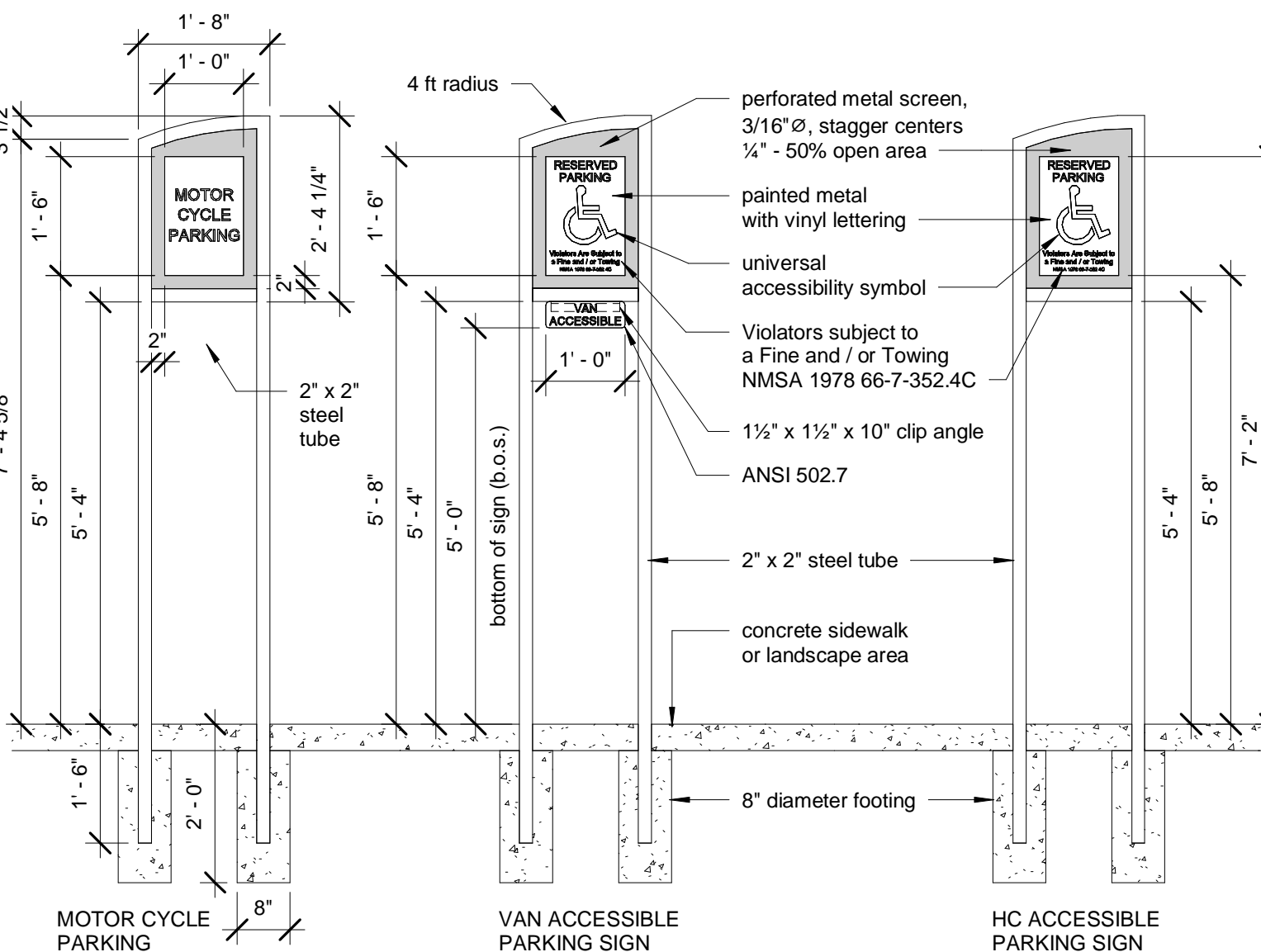
9 T2 - PIPE BOLLARD - 6"  
3/4" = 1'-0"



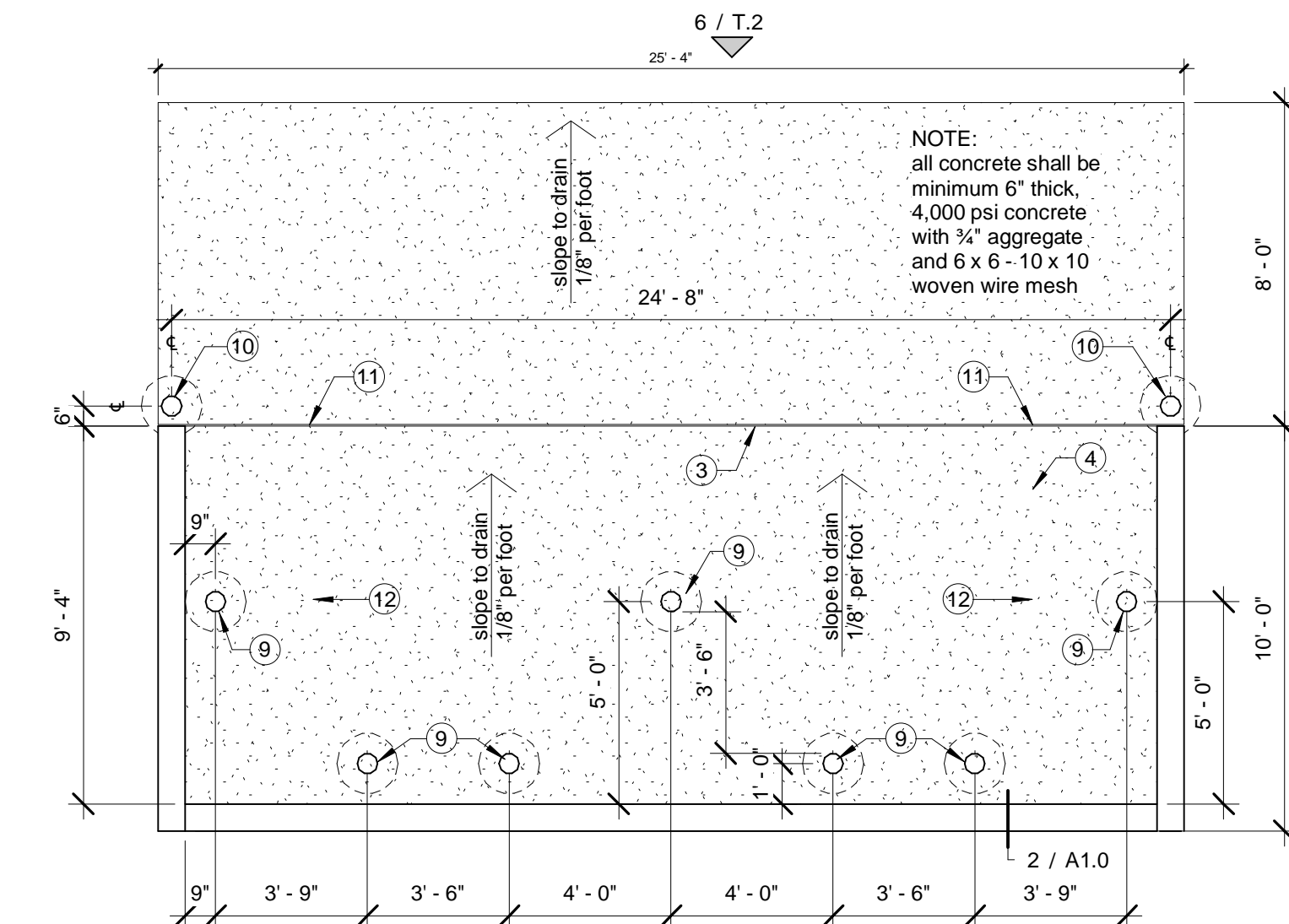
10 T2 - CMU BLOCK WALL  
1/2" = 1'-0"



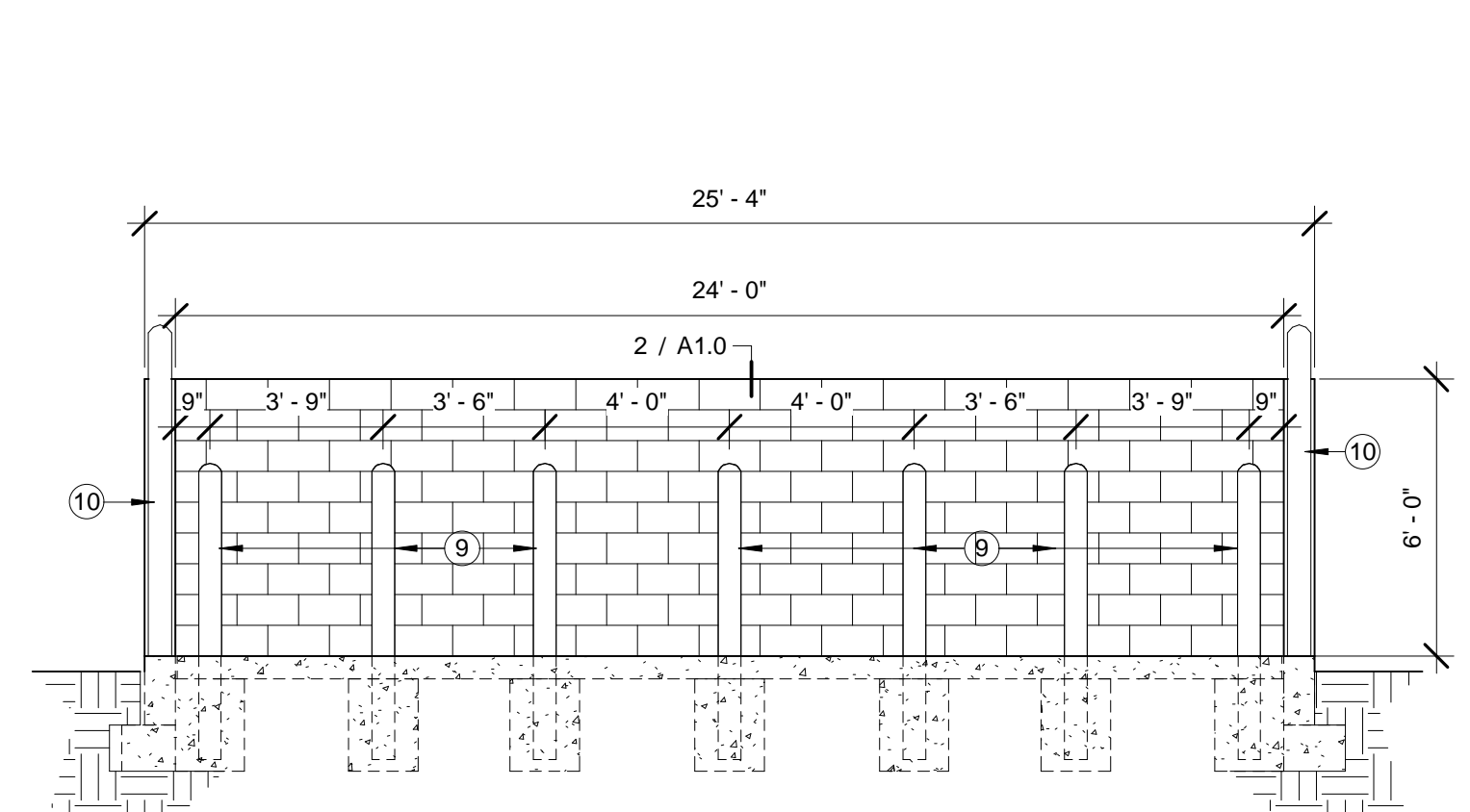
7 T2 - CONCRETE SIDEWALK  
1 1/2" = 1'-0"



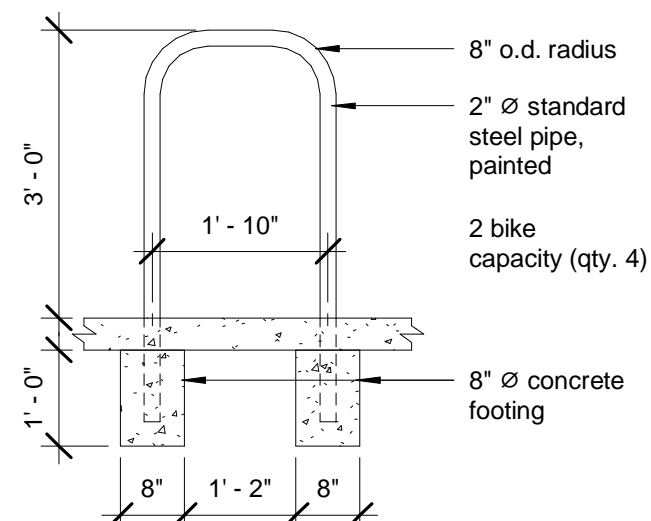
4 T2 - PARKING SIGNAGE  
1/2" = 1'-0"



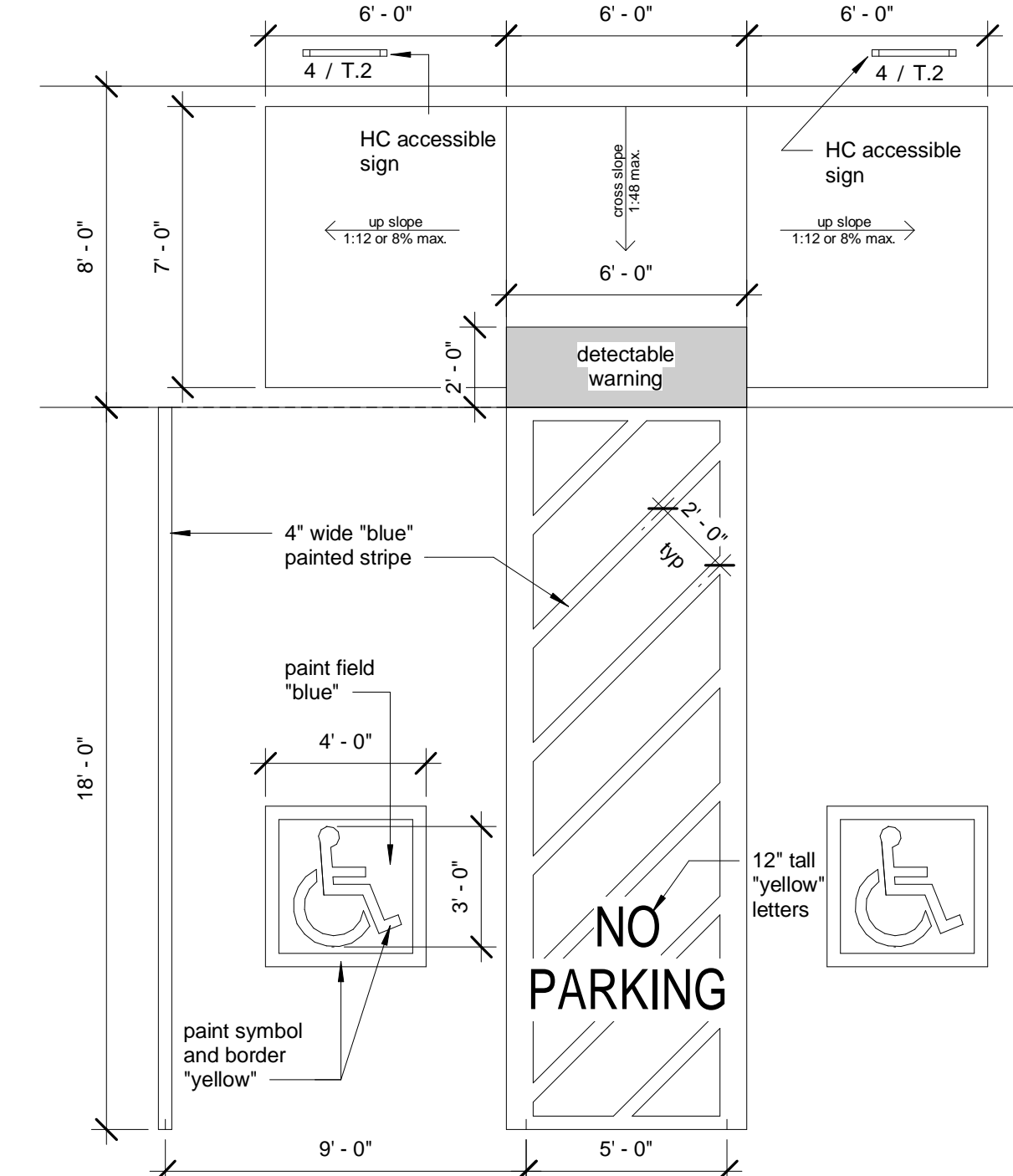
5 T2 - DUMPSTER ENCLOSURE PLAN  
1/4" = 1'-0"



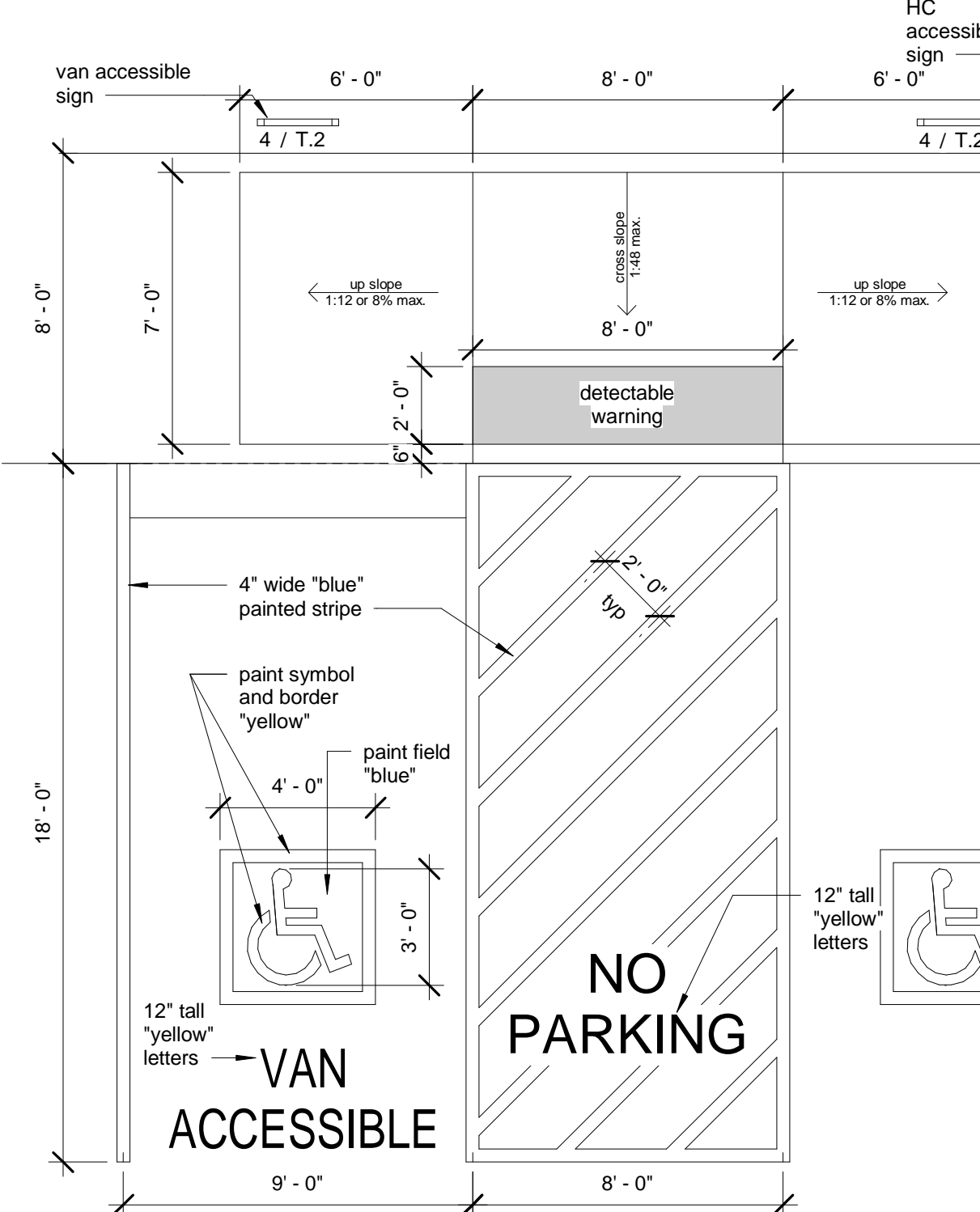
6 T2 - DUMPSTER ENCLOSURE  
ELEVATION  
1/4" = 1'-0"



3 T2 - BIKE RACK  
1/2" = 1'-0"



1 T2 - ACCESSIBLE PARKING  
1/4" = 1'-0"

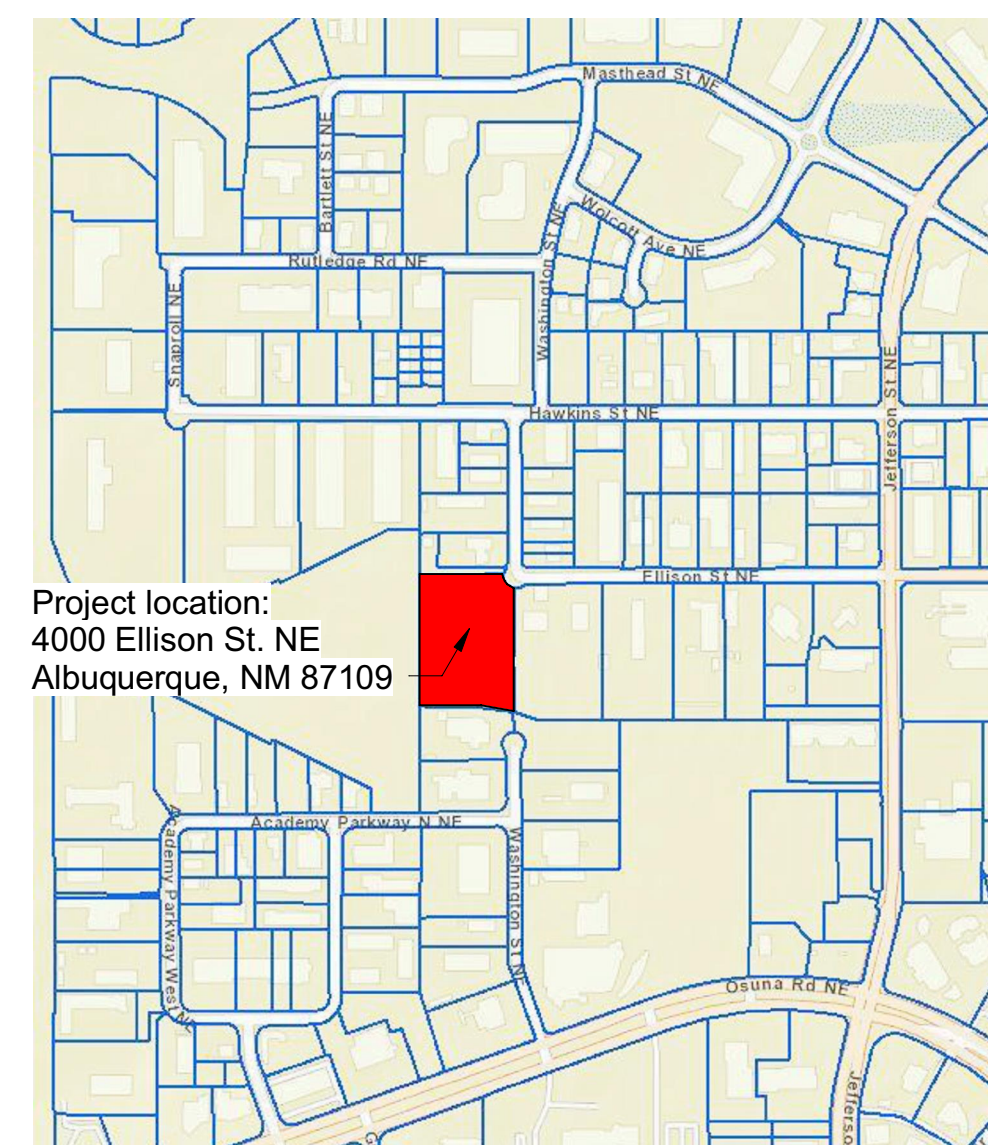


2 T2 - VAN ACCESSIBLE PARKING  
1/4" = 1'-0"

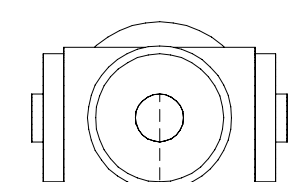
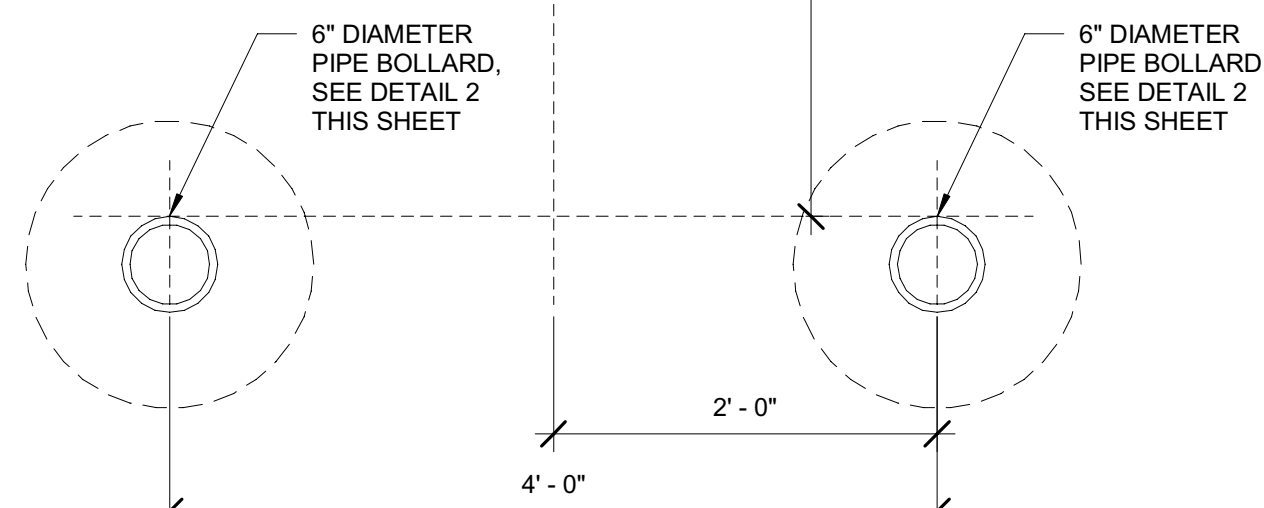




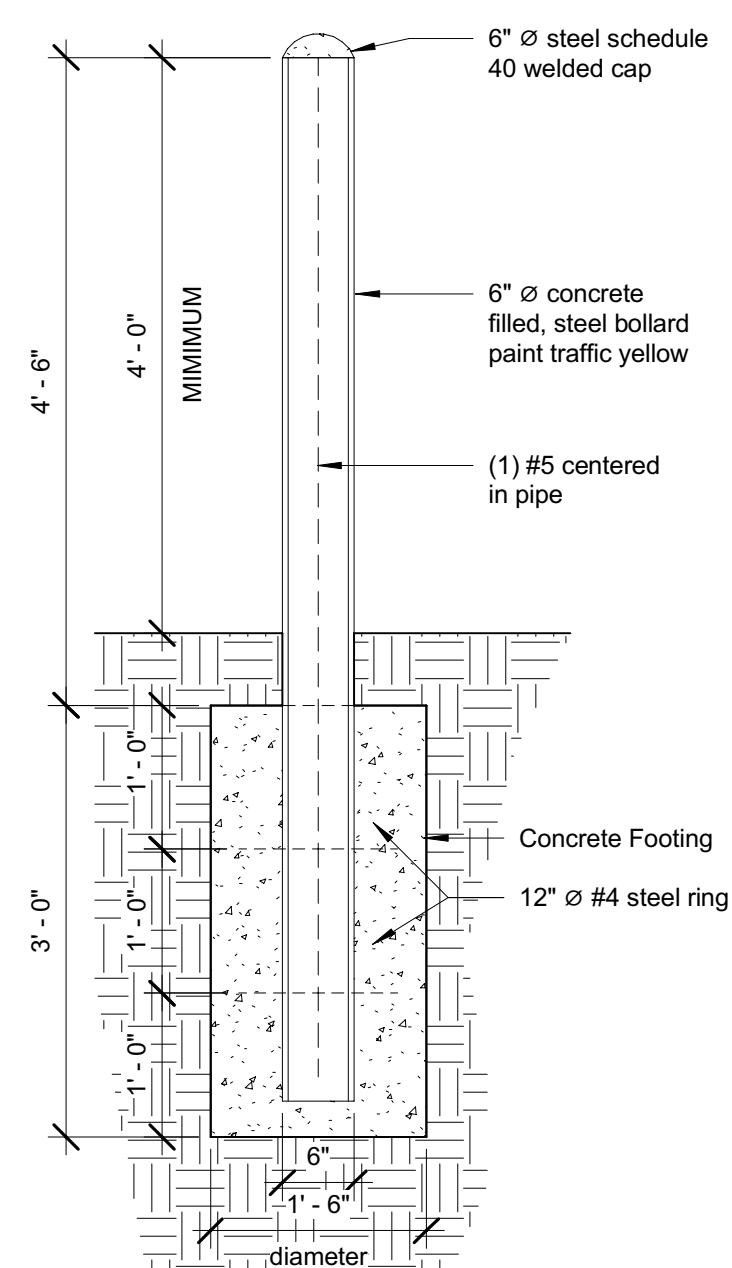
ZONE ATLAS MAP D-17-Z: Not to Scale



Project location:  
4000 Ellison St. NE  
Albuquerque, NM 87109

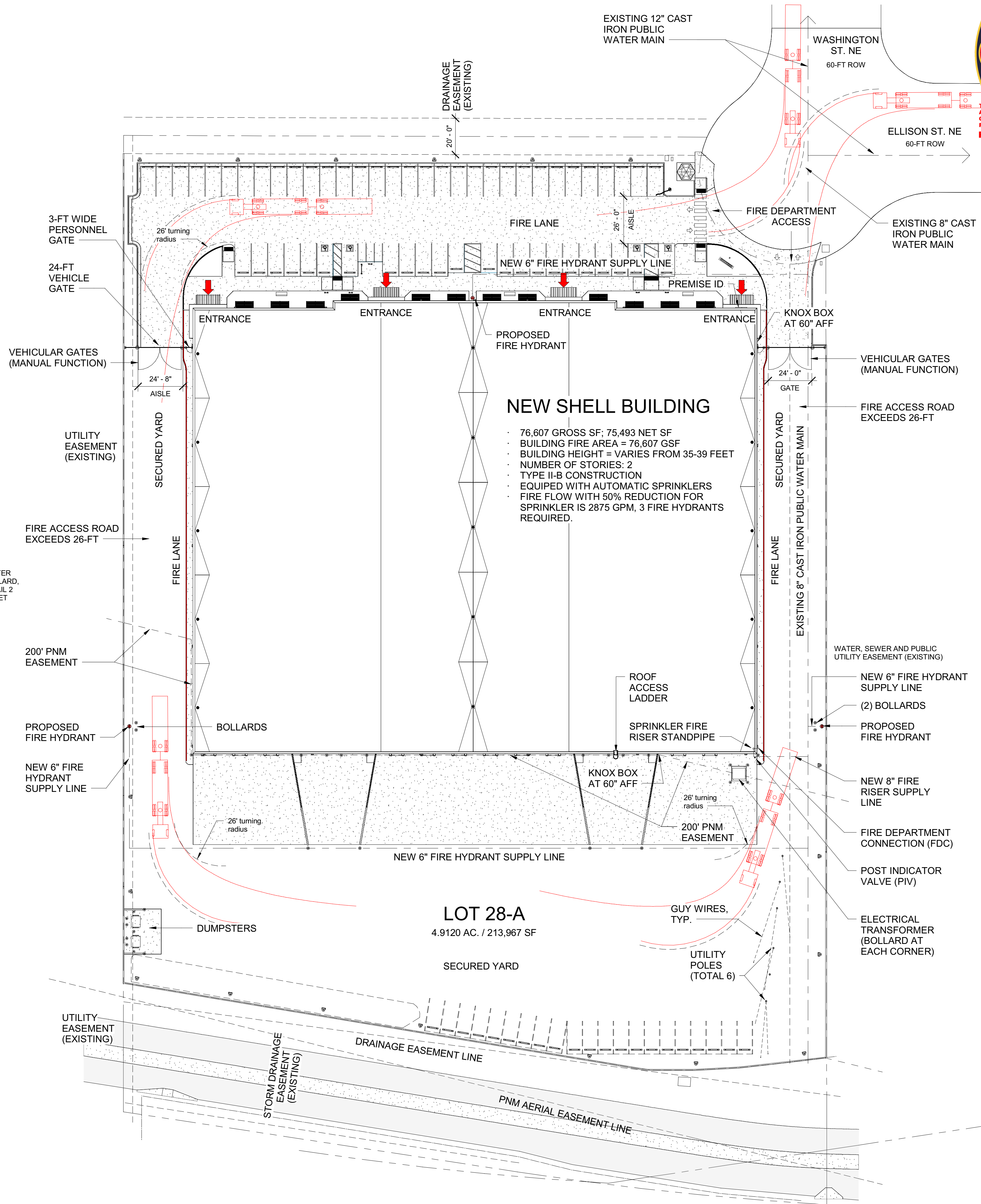
VEHICLE IMPACT PROTECTION  
PER SECTION 312 OF THE IFC.

○ F1 - FIRE HYDRANT  
1" = 1'-0"



② F1 - PIPE BOLLARD - 6'  
3/4" = 1'-0"

1 SITE PLAN - F1  
1" = 30'-0"



**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION**

PROJECT ADDRESS: **PERMIT**

**PERMIT NUMBER:** FP 21-007777  
**APPROVED DATE:** 10/07/21

**APPROVED**

**THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHALS OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTIONS REQUIRED.**

**FIRE FLOW:** 2875/GPM 3"HYDRANT 76.607/SOFT IJB

OWNER: Security Self Storage  
8500 Washington St. N.E.  
Suite A-5, Albuquerque, NM 87113

## ZONING

Zoning Map: D-17-Z  
DO Zone District: NR-LM  
DO District Definition: Business Park  
DO Category: Non-Residential  
Proposed Permissive Uses: Office; Light Manufacturing; Warehousing  
Total Site Area: 4.9120 acres / 213,967 SF

**BUILDING ON LOT:**

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Building Coverage Maximum = 50%  
 Building: 76,675 GSF = 1.760 acres  
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 35.8% Actual Building Coverage

TRAFFIC CIRCULATION:

Two-way traffic ingress/egress from northeast corner of site; Ellison St. NE from the east and Washington St. NE from the north.

## CODES AND STANDARDS

This project shall be in accordance with the following Building Codes including all local amendments:

- 2015 New Mexico Mechanical Code; including Appendices A, B, C, and D
- 2015 New Mexico Plumbing Code; including Appendices A, B, D, E, F, I, and L
- 2018 International Energy Conservation Code
- 2015 New Mexico Commercial Building Code including Appendix Chapters H, J, K, M, R, and S; but not including Appendix Chapters A, B, C, D, E, F, I, L, O, and P
- 2015 International Code Council Performance Code for Buildings and Facilities, including all Appendix Chapters as published by the International Code Council;
  - 2015 International Building Code
  - 2015 International Mechanical Code
  - 2015 International Plumbing Code
  - 2015 International Fire Code
  - 2015 International Energy Conservation Code
- 2017 New Mexico Electrical Code
- 2012 New Mexico Electrical Safety Code
- Errata sheets to the adopted portions of Codes promulgated by the International Code Council, International Association of Plumbing and Mechanical Officials and National Electrical Code

Title 14, Chapter 5 of the New Mexico Building Code has been deleted and replaced with Chapter 1, on the following pages. Sections from various other parts of the Technical Codes have been amended, added, or deleted. These changes are noted on the pages following the Administrative Chapter No. 1.

## OTHER GUIDELINES, REGULATIONS & STANDARDS

Americans with Disabilities Act Accessibility Guidelines (ADAAG)

## INTERNATIONAL FIRE CODE

Reference the 2015 International Fire Code Appendix B, C, and D for code criteria

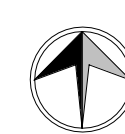
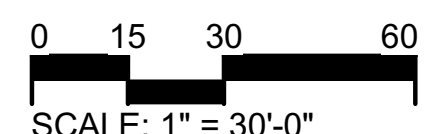
## CHAPTER 5 FIRE SERVICE FEATURES

## SECTION 503 FIRE APPARATUS ACCESS ROADS

- 503.1.1 Approved fire apparatus access roads shall be provided for every facility, building or portion of building...and shall extend to within 150 feet of all portions of the facility...
  - 503.2.1 Dimensions. Unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches.
  - 503.2.4 Turning radius. The required turning radius of a fire apparatus access road shall be determined by the fire code official.
  - Engineering data shall be submitted to substantiate weight bearing capacity and all weather driving capabilities for fire apparatus access roads.
- An approved fire apparatus access road shall have an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
- Fire apparatus roads shall not exceed 10% in grade.



# FIRE 1



**SHEET**  
**F.1**

ELLISON ST., OFFICE WAREHOUSE  
4000 ELLISON ST. NE  
ALBUQUERQUE, NM 87109

**MECHENBIE**  
CONSTRUCTION INC.

9500 WASHINGTON ST., NE SUITE A-5 OFFICE: (505) 555-1111

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4000 Ellison St. N.E.  
Albuquerque, NM 87109  
Bernalillo County

Lot 28A, Interstate Industrial Tract  
City of Albuquerque, Bernalillo County, New Mexico

OWNER: Security Self Storage  
8500 Washington St. N.E.  
Suite A-5, Albuquerque, NM 87113

office facility including parking and site improvements.

Office: Business Group B  
Light Manufacturing: Low-hazard factory industrial, Group F-2  
Warehousing: Storage Group S-2

Gross Building Square Footage: 76,675 GSF; 75,368 NSF  
 " Group B Office = 9,378 GSF  
 " Group F-2 Light Manufacturing = 16,140 GSF  
 " Group S-2 Warehousing = 53,165 GSF

Zoning Map: D-17-Z  
IDO Zone District: NR-LM  
IDO District Definition: Business Park  
IDO Category: Non-Residential  
Proposed Permissible Uses: Office; Light Manufacturing  
Warehousing  
Total Site Area: 4.9120 acres / 213,967 SF

Minimum front yard setback = 20 feet  
Actual Front "North" Setback depth is 90'-11 1/2"  
 Minimum side yard depth = 10 feet  
Actual Side yard "East" depth is 37'-11 1/4"  
Actual Side yard "West" depth is 38'-1 3/8"  
 Minimum rear yard depth = 10 feet  
Actual Rear yard "South" is 196'-11 1/4"

Building: 76,675 GSF = 1.760 acres  
Site: 213.967 GSF = 4.912 acres  
**35.8% Actual Building Coverage**

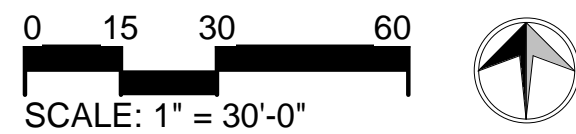
USE	IDO PARKING REQUIREMENT	GFA	REQUIRED SPACES	PROVIDED
1st Level Office	3.5 spaces / 1,000 sq. ft. GFA	9,378	32.82	
1st Level Light manufacturing	1 spaces / 1,000 sq. ft. GFA	21,718	21.72	
1st Level Warehousing	No requirement	45,635		
2nd Level Office	3.5 spaces / 1,000 sq. ft. GFA	9,338	13.78	
<b>TOTAL REQUIRED OFF-STREET PARKING:</b>			<b>68</b>	<b>76</b>
<b>COMPACT CAR SPACES ALLOWED (25% OF TOTAL)</b>			<b>17</b>	<b>2</b>
<b>NMBC Table 1106.1 - Number of Accessible Parking Spaces</b>			<b>4</b>	<b>4</b>
<b>Number of Van Accessible Parking Spaces (IBC 1106.5)</b>			<b>1</b>	<b>4 of 1</b>
<b>IDO Table 5-5-4: Motorcycle Parking Requirements</b>			<b>51-100</b>	<b>3 spaces</b>
<b>IDO Table 5-5-5: Bicycling Parking Requirements</b>			<b>100</b>	<b>7</b>

Non-residential uses are listed in table 1106.1. Access to 10% of required off-street parking spaces, whichever is

Two-way traffic ingress/egress from northeast corner of site on Ellison St. NE.

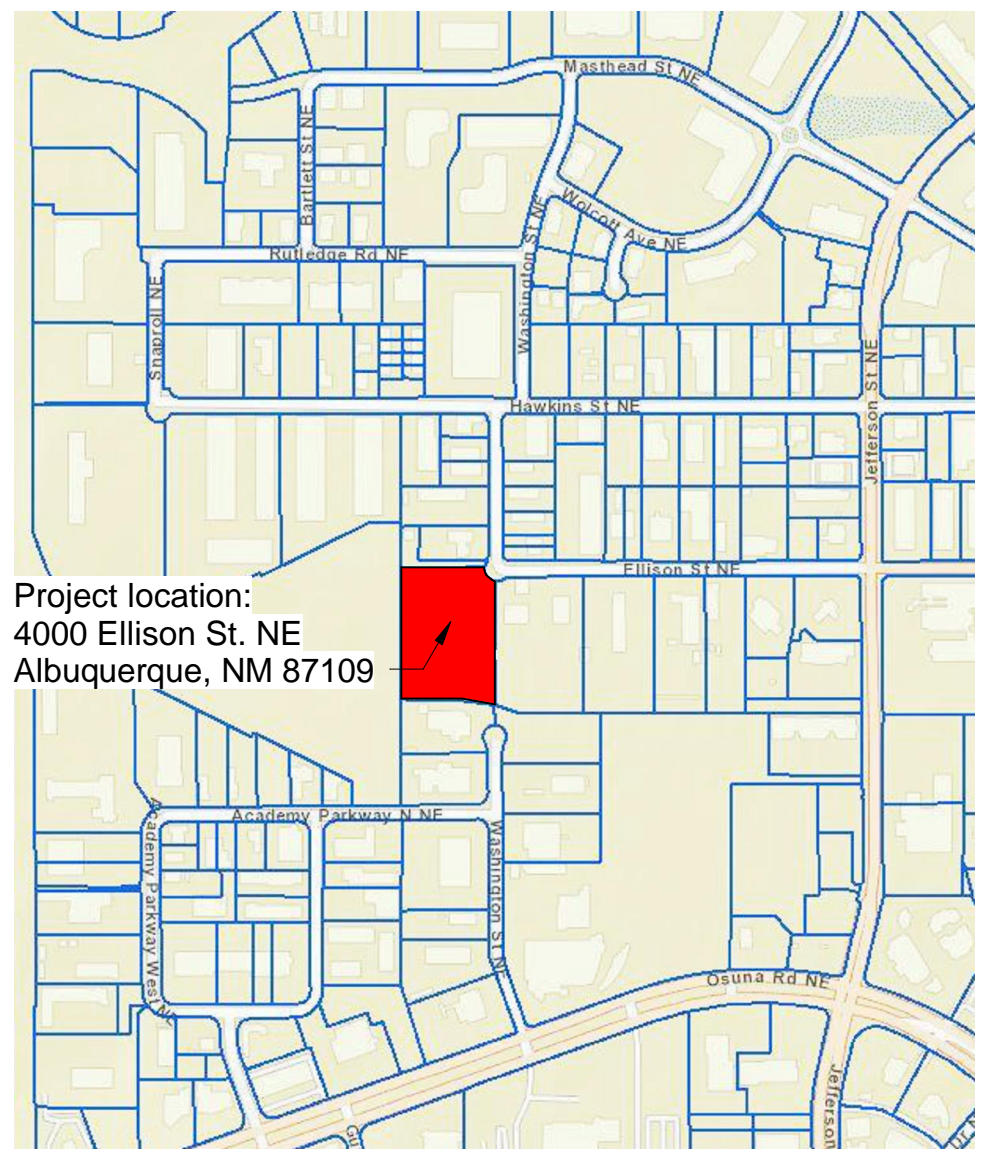
This development is located at 4000 Ellison Street NE, Lot 28A, Interstate Industrial Tract in the City of Albuquerque, 87109.

Impact to adjacent sites is minimal. A CMU wall will be constructed along the west, south and east property lines.



2. Existing concrete driveway.
3. Existing 2'-6" high cast-in-place concrete drainage wall.
3. Buffer landscaping.
4. New water meter.
5. Existing curb and gutter.
6. Existing 4' wide concrete sidewalk.
7. Clear sight triangle.
8. New 6' wide stamped concrete walk (accessible route to public way).
9. New concrete drive apron and curb cut.
10. Landscaping.
11. 5'-ft diameter outdoor table, benches and umbrella.  
Concrete paving, 5'12" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
12. 42" high steel pipe guardrail (painted charcoal).
13. Monument sign, see detail 11 / A.0.1
14. 4" thick concrete sidewalk, 4' x 4' slabs, 6% air entrainment.
15. 6'-6" high steel fence (painted charcoal).
16. 6" high steel swing gates (painted charcoal), 24" opening.
17. 3'-2" wide x 6'-6" high steel man gate (painted charcoal).
18. Existing chainlink fence on property line to be removed.
19. Proposed new fire hydrant.
20. 6" bollard x 4' tall (painted charcoal color).
21. Post indicator valve (PIV).
22. Pavement markers.
23. Fire riser.
24. Fire department connection (FDC).
25. Sidewalk to extend 6-ft south of building.
26. Concrete sidewalk ramp; detectable warning where detailed.
27. Existing power poles (6' tall) and associated guy wires.
28. Refuse container concrete pad, apron and bollards.
29. 6' high chainlink fence to be removed.
30. 6' high concrete block wall (replaces existing 6' high chainlink fence).
31. Existing concrete retaining wall.
32. Existing concrete drainage channel.
33. 3'-6" concrete truck ramp, 12' x 6' ft thick with #3 rebar at 18" OC each way, 6% air entrainment.
34. Flag pole and foundation, see detail 5 / A1.0
35. 6' long bench.
36. Van accessible parking space, see detail 2 / T.2
37. Accessible parking space, see detail 1 / T.2
38. Bicycle parking rack.
39. Knox box.
40. Ingress / egress location, 26' wide drive aisle.
41. Pole light, 25' tall pole.
42. Wall pack light, 12' x 6' ft per IDO requirements.
43. Recalled can light fixture in soft AFF.
44. Ground-mounted light for monument sign.
45. 24" high rooftop HVAC units, typical.
46. Crushed aggregate driving surface.
47. Loading space, 12' x 6' ft per IDO requirements.
48. Motorcycle parking spaces (typ.) 3', 4.5 x 10' size.
49. Roof access ladder, see detail 12 / A.1
50. PNM transformer on concrete pad.
51. 6' long pre-cast concrete parking stop, centered in parking space set back from sidewalk edge, curb or property line.
52. Parking spaces delineated by painted markings on concrete block wall, 4' wide x 48" tall painted stripe.
53. Concrete curb and gutter, see detail 8 / T.2
54. Bicycle parking rack, see details 3 / T.2, 14 / T.2 & 15 / T.2
55. 6' x 6' concrete ramp, see detail 4 / T.2
56. Concrete sidewalk ramp; detectable warning where detailed.
57. 10' x 10' x 4" thick concrete pad (4,000 psi with #3 rebar at 18" OC, each way, 6% air entrained).
58. Retention pond and channel rundown, see grading and drainage plan.
59. Premise ID on building wall, see north elevation.
60. Scupper, 8" x 8"

ZONE ATLAS MAP D-17-Z



Project location:  
4000 Ellison St. NE  
Albuquerque, NM 87109

## TRAFFIC 1

1 SITE PLAN -TRAFFIC 1  
1" = 30'-0"

**SHEET**  
**T.1**

DATE:

10-8-2021

DRAWN BY:  
ICS

OWNER ADDRESS

Joint Meeting

ELLISON ST. OFFICE WAREHOUSE  
4000 ELLISON ST. NE

4000 ELLISON ST. NE  
ALBUQUERQUE, NM 87109

**MECHENBIE**  
**CONSTRUCTION INC.**  
8500 WASHINGTON ST., NE SUITE A-5  
ALBUQUERQUE, NM 87113  
OFFICE: (505) 261-1111

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# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Mechenbier Construction, Inc. DATE OF REQUEST: 7/12/19 ZONE ATLAS PAGE(S): D-17

### CURRENT:

ZONING NR-LM  
PARCEL SIZE (AC/SQ. FT.) 4.91 ac.

### LEGAL DESCRIPTION:

LOT OR TRACT # 28-A BLOCK # \_\_\_\_\_  
SUBDIVISION NAME Interstate Industrial Tract

### REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☐: From \_\_\_\_\_ To \_\_\_\_\_

SECTOR, AREA, FAC, COMP PLAN ☐

AMENDMENT (Map/Text) ☐

### SITE DEVELOPMENT PLAN:

SUBDIVISION\* ☐ AMENDMENT ☐

BUILDING PERMIT ☒ ACCESS PERMIT ☐

BUILDING PURPOSES ☐ OTHER ☐

\*includes platting actions

### PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☐

### GENERAL DESCRIPTION OF ACTION:

# OF UNITS: 1

BUILDING SIZE: 82,857 (sq. ft.)  
(~76,857 sq. ft. warehouse)  
(~8,000 sq. ft. office)

**Note:** changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature]

DATE 7/12/19

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>nd</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐

Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]  
TRAFFIC ENGINEER

7/12/19  
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED    /   /     
-FINALIZED    /   /   

TRAFFIC ENGINEER

DATE

Revised January 20, 2011