

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 3, 2026

Jonathan C. Sanchez, R.A
Jonathan C. Sanchez Architect
8609 Claremont Ave NE
Albuquerque, NM 87112

Re: Ellison Warehouse/ 4000 Ellison St NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 05-09-22 (D17D074)
Certification dated 01-28-26
TRANS-2026-00023

Dear Mr. Sanchez,

Based upon the information provided in your submittal received 01-28-26, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

Jonathan C. Sanchez, Architect

8609 Claremont Ave. N.E.

Albuquerque, New Mexico 87112

TRAFFIC CERTIFICATION

I, JONATHAN SANCHEZ NMRA 3921, OF THE FIRM JONATHAN SANCHEZ, ARCHITECT, HEREBY CERTIFY THAT THE PROJECT LOCATED AT **4000 ELLISON ST. NE, ALBUQUERQUE, NM** IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4-16-2024. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JONATHAN SANCHEZ OF THE FIRM JONATHAN SANCHEZ, ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1-28-2026 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

_____ **ENGINEER'S OR ARCHITECT'S STAMP**

Signature of Engineer or Architect



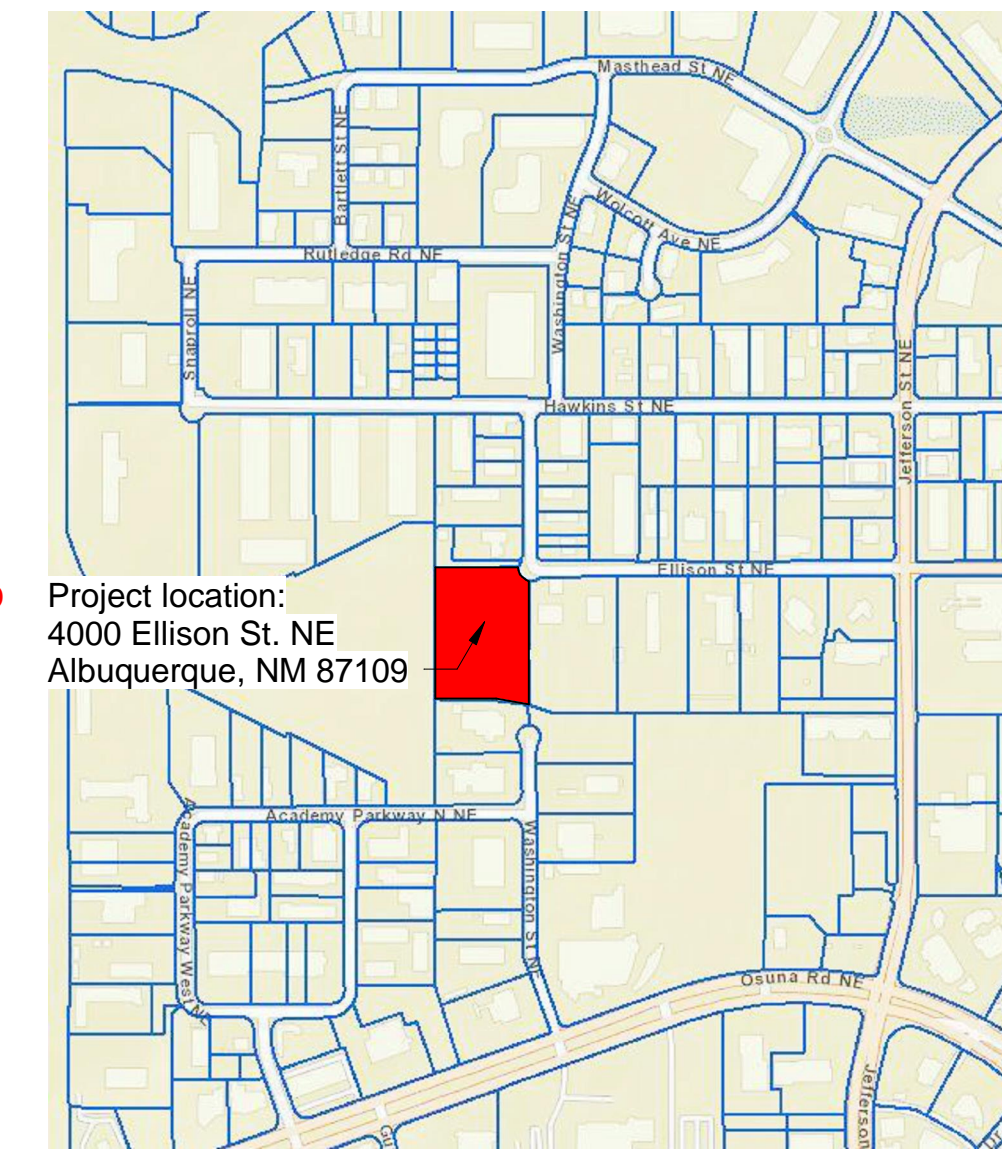
DATE: January 28, 2026

Keyed Notes: #

- Existing concrete driveway.
- Existing 2'-6" high cast-in-place concrete drainage wall.
- Buffer landscaping.
- New water meter.
- New sidewalk, see Civil grading and drainage.
- Replace existing curb.
- Clear sight triangle.
- New 6" wide stamped concrete walk (accessible route to public way), see detail 11 / T.2.
- New concrete drive apron and curb cut. Comply with CABQ std dwg 2426, see detail 3/T.1.
- Landscaping.
- 5-ft diameter outdoor table, benches and umbrella. Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
- Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
- 42" high steel pipe guardrail (painted charcoal).
- Monument sign, see detail 11 / A.1.
- 4" thick concrete sidewalk, 4,000 psi, 6% air entrainment.
- 6'-6" high steel fence (painted charcoal).
- 7'-6" high steel swing gates (painted charcoal), 24" opening.
- 3'-2" wide x 6'-6" high steel personnel gate (painted charcoal).
- Scupper, 8" x 8".
- Proposed new fire hydrant.
- 6" bollard x 4" tall (painted charcoal color).
- Post indicator valve (PIV).
- Pavement markings.
- Fire riser.
- Fire department connection (FDC).
- Sidewalk to extend 6-ft south of building.
- Concrete sidewalk ramp; detectable warning where detailed.
- Existing power poles (6 total) and associated guy wires.
- Refuse container concrete pad, apron and bollards.
- Existing 6" high chainlink fence on property line to be removed.
- 6" high concrete block wall (replaces existing 6" high chainlink fence).
- Existing concrete retaining wall.
- Existing concrete drainage channel.
- Concrete truck ramp, 5 1/2" thick with #3 rebar at 18" OC each way, 6% air entrainment.
- Flag pole and foundation, see detail 5 / A1.0.
- 6' long bench.
- Van accessible parking space, see detail 2 / T.2.
- HC accessible parking space, see detail 1 / T.2.
- Fire lane, paint curb "red".
- Knox box.
- Ingress / egress location, 26' wide drive aisle.
- Pole light, 25' tall pole.
- Wall pack light, mounted at 28' AFF.
- Recessed can light fixture in soffit.
- Ground-mounted light for monument sign.
- Premise ID on building wall, see north elevation.
- Crushed aggregate driving surface.
- Loading space, 12' x 65' per IDO requirements.
- Motorcycle parking spaces (by 3), 4.5' x 10' size. Label each space "MC" (12" high, yellow painted letters).
- Roof access ladder, see detail 12 / A.1.
- PNM transformer on concrete pad.
- 6' long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge, curb or property line.
- Parking spaces delineated by painted markings on concrete block wall, 4" wide x 48" tall painted stripe.
- Concrete curb and gutter, see detail 8 / T.2.
- Bicycle parking rack, see detail 4 / T.2.
- Motorcycle parking sign, see detail 4 / T.2.
- 10' x 10' x 4" thick concrete pad (4,000 psi with #3 rebar at 18" OC, each way, 6% air entrainment).
- Retention pond and channel runoff, see grading and drainage plan.

SCALE:
As indicated
DATE:
1-28-2026
DRAWN BY:
J. Sanchez
OWNER APPROVAL:
John Mechenbier

VACINITY MAP
ZONE ATLAS MAP D-17-Z



Project location:
4000 Ellison St. NE
Albuquerque, NM 87109

0 15 30 60
SCALE: 1" = 30'-0"

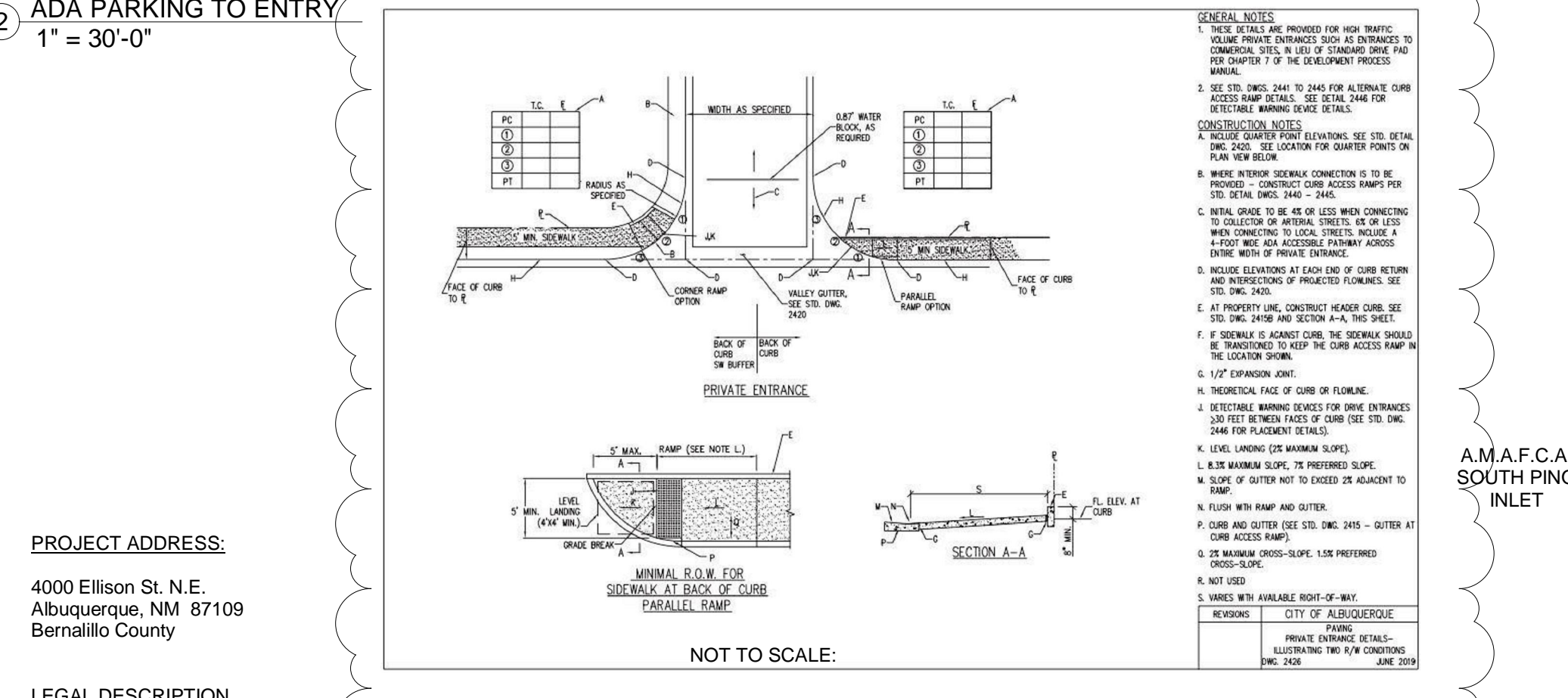
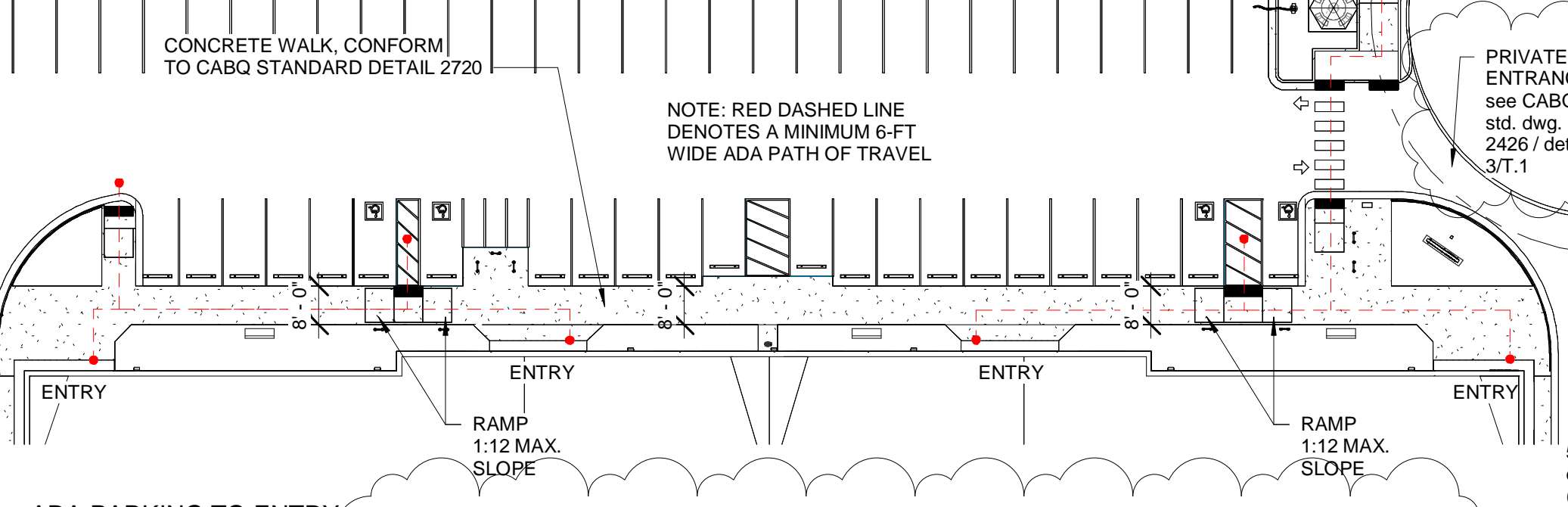
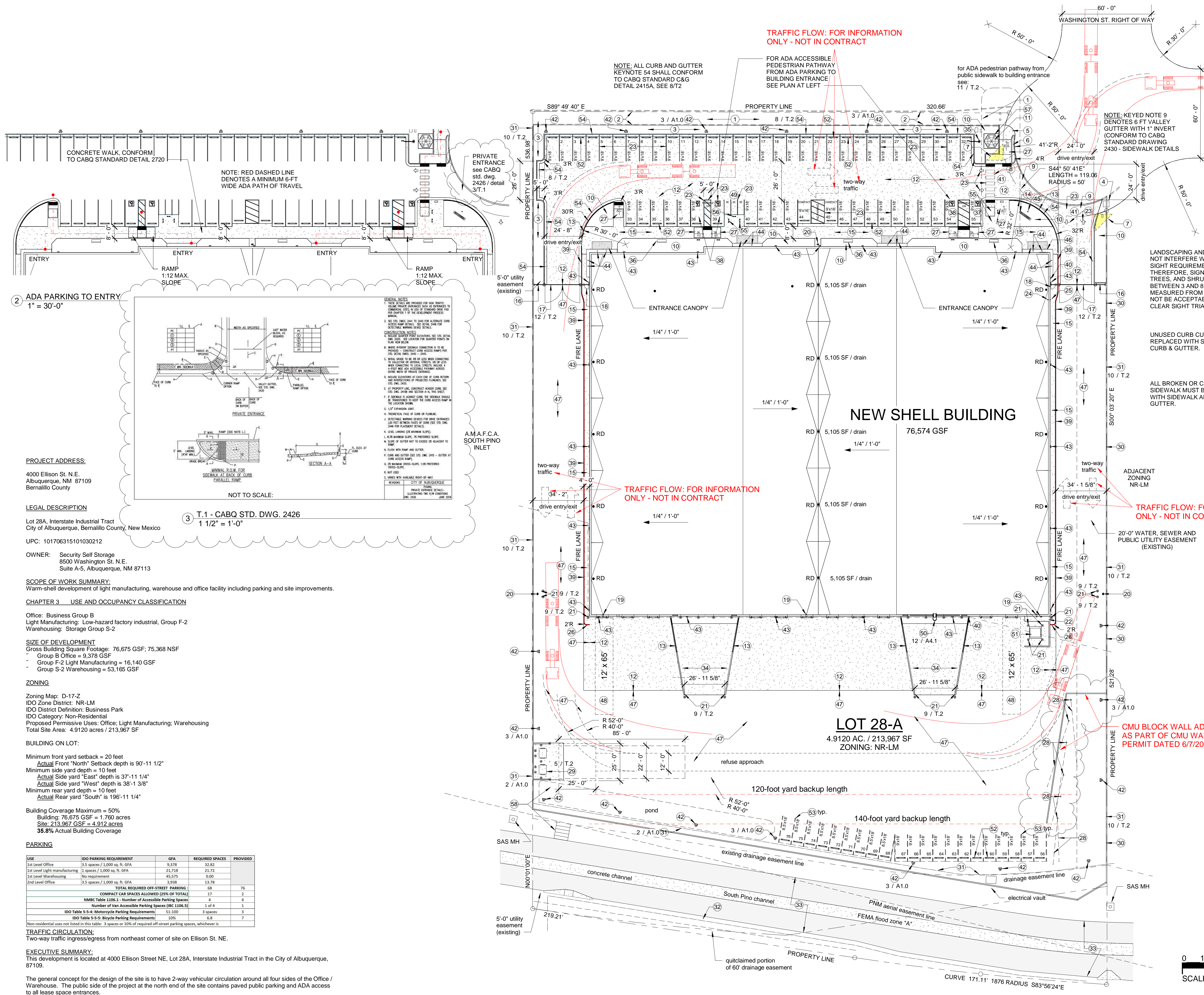


TRAFFIC 1

ELLISON ST. WAREHOUSE
4000 ELLISON ST. NE
ALBUQUERQUE, NM 87109

MECHENBIE
CONSTRUCTION INC.
8500 WASHINGTON ST. NE SUITE A-5
ALBUQUERQUE, NM 87110
OFFICE: (505) 314-7700
WEB: WWW.MECHENBIE.COM

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1/28/2026 11:13:10 AM



PROJECT ADDRESS:
4000 Ellison St. N.E.
Albuquerque, NM 87109
Bernalillo County

LEGAL DESCRIPTION
Lot 28A, Interstate Industrial Tract
City of Albuquerque, Bernalillo County, New Mexico

UPC: 101706315101030212

OWNER: Security Self Storage
8500 Washington St. N.E.
Suite A-5, Albuquerque, NM 87113

SCOPE OF WORK SUMMARY:
Warm-shell development of light manufacturing, warehouse and office facility including parking and site improvements.

CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION

Office: Business Group B
Light Manufacturing: Low-hazard factory industrial, Group F-2
Warehousing: Storage Group S-2

SIZE OF DEVELOPMENT
Gross Building Square Footage: 76,575 GSF, 75,368 NSF
Group B Office = 9,378 GSF
Group F-2 Light Manufacturing = 16,140 GSF
Group S-2 Warehousing = 53,165 GSF

ZONING
Zoning Map: D-17-Z
IDO Zone District: NR-LM
IDO District Definition: Business Park
IDO Category: Non-Residential
Proposed Permissible Uses: Office; Light Manufacturing; Warehousing
Total Site Area: 4.9120 acres / 213,967 SF

BUILDING ON LOT:
Minimum front yard setback = 20 feet
Actual Front "North" Setback depth is 90'-11 1/2"
Minimum side yard depth = 10 feet
Actual Side yard "East" depth is 37'-11 1/4"
Actual Side yard "West" depth is 38'-1 3/8"
Minimum rear yard depth = 10 feet
Actual Rear yard "South" is 196'-11 1/4"

Building Coverage Maximum = 50%
Building: 76,575 GSF = 1,760 acres
Site: 213,967 GSF = 4.912 acres
35.8% Actual Building Coverage

USE	IDO PARKING REQUIREMENT	GFA	REQUIRED SPACES	PROVIDED
1st Level Office	3.5 spaces / 1,000 sq. ft. GFA	9,378	32.82	
1st Level Light manufacturing	1 space / 1,000 sq. ft. GFA	23,718	23.72	
1st Level Warehousing	No requirement	45,575	0.00	
2nd Level Office	3.5 spaces / 1,000 sq. ft. GFA	3,938	13.78	
TOTAL REQUIRED OFF-STREET PARKING: 68 76				
COMPACT CAR SPACES ALLOWED (25% OF TOTAL): 17 2				
NMBIC Table 1106.1, Number of Accessible Parking Spaces: 4 4				
Number of Van Accessible Parking Spaces (BC 1106.5): 1 of 4 1				
IDO Table 5-5-4, Motorcycle Parking Requirements: 51-100 3 spaces 3				
IDO Table 5-5-5, Bicycle Parking Requirements: 30% 5.8 7				

TRAFFIC CIRCULATION:
Two-way traffic ingress/egress from northeast corner of site on Ellison St. NE.

EXECUTIVE SUMMARY:
This development is located at 4000 Ellison Street NE, Lot 28A, Interstate Industrial Tract in the City of Albuquerque, 87109.

The general concept for the design of the site is to have two-way vehicular circulation around all four sides of the Office / Warehouse. The public side of the project at the north end of the site contains paved public parking and ADA access to all lease space entrances.

Impact to adjacent sites is minimal. A CMU wall will be constructed along the west, south and east property lines.

1 SITE PLAN - TRAFFIC 1
1" = 30'-0"