

PROJECT ADDRESS:

4000 Ellison St. N.E.  
Albuquerque, NM 87109  
Bernalillo County

LEGAL DESCRIPTION

Lot 28A, Interstate Industrial Tract  
City of Albuquerque, Bernalillo County, New Mexico

UPC: 101706315101030212

OWNER: Security Self Storage  
8500 Washington St. N.E.  
Suite A-5, Albuquerque, NM 87113

SCOPE OF WORK SUMMARY:

Warm-shell development of light manufacturing, warehouse and office facility including parking and site improvements.

CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION

Office: Business Group B  
Light Manufacturing: Low-hazard factory industrial, Group F-2  
Warehousing: Storage Group S-2

SIZE OF DEVELOPMENT

Gross Building Square Footage: 76,675 GSF, 75,368 NSF  
- Group B Office = 9,378 GSF  
- Group F-2 Light Manufacturing = 16,140 GSF  
- Group S-2 Warehousing = 53,165 GSF

ZONING

Zoning Map: D-17-Z  
IDO Zone District: NR-LM  
IDO District Definition: Business Park  
IDO Category: Non-Residential  
Proposed Permissive Uses: Office; Light Manufacturing;  
Warehousing  
Total Site Area: 4.9120 acres / 213,967 SF

BUILDING ON LOT:

Minimum front yard setback = 20 feet  
Actual Front "North" Setback depth is 90'-11 1/2"  
Minimum side yard depth = 10 feet  
Actual Side yard "East" depth is 37'-11 1/4"  
Actual Side yard "West" depth is 38'-1 3/8"  
Minimum rear yard depth = 10 feet  
Actual Rear yard "South" is 196'-11 1/4"

Building Coverage Maximum = 50%  
Building: 76,675 GSF = 1.760 acres  
Site: 213,967 GSF = 4.912 acres  
35.8% Actual Building Coverage

PARKING

USE	IDO PARKING REQUIREMENT	GFA	REQUIRED SPACES	PROVIDED
1st Level Office	3.5 spaces / 1,000 sq. ft. GFA	9,378	32.82	
1st Level Light manufacturing	1 space / 1,000 sq. ft. GFA	23,718	23.72	
1st Level Warehousing	No requirement	45,575	0.00	
2nd Level Office	3.5 spaces / 1,000 sq. ft. GFA	9,378	32.82	
TOTAL REQUIRED OFF-STREET PARKING:				76
COMPACT CAR SPACES ALLOWED (25% OF TOTAL):				19
NIMC Table 1106.1 - Number of Accessible Parking Spaces				4
Number of Van Accessible Parking Spaces (IRC 1106.3)				1
IDO Table S-4.4, Motorcycle Parking Requirements				3
IDO Table S-5.5, Bicycle Parking Requirements				6
Non-residential uses not listed in this table: 3 spaces or 10% of required off-street parking spaces, whichever is				7

TRAFFIC CIRCULATION:

Two-way traffic ingress/egress from northeast corner of site on Ellison St. NE.

EXECUTIVE SUMMARY:

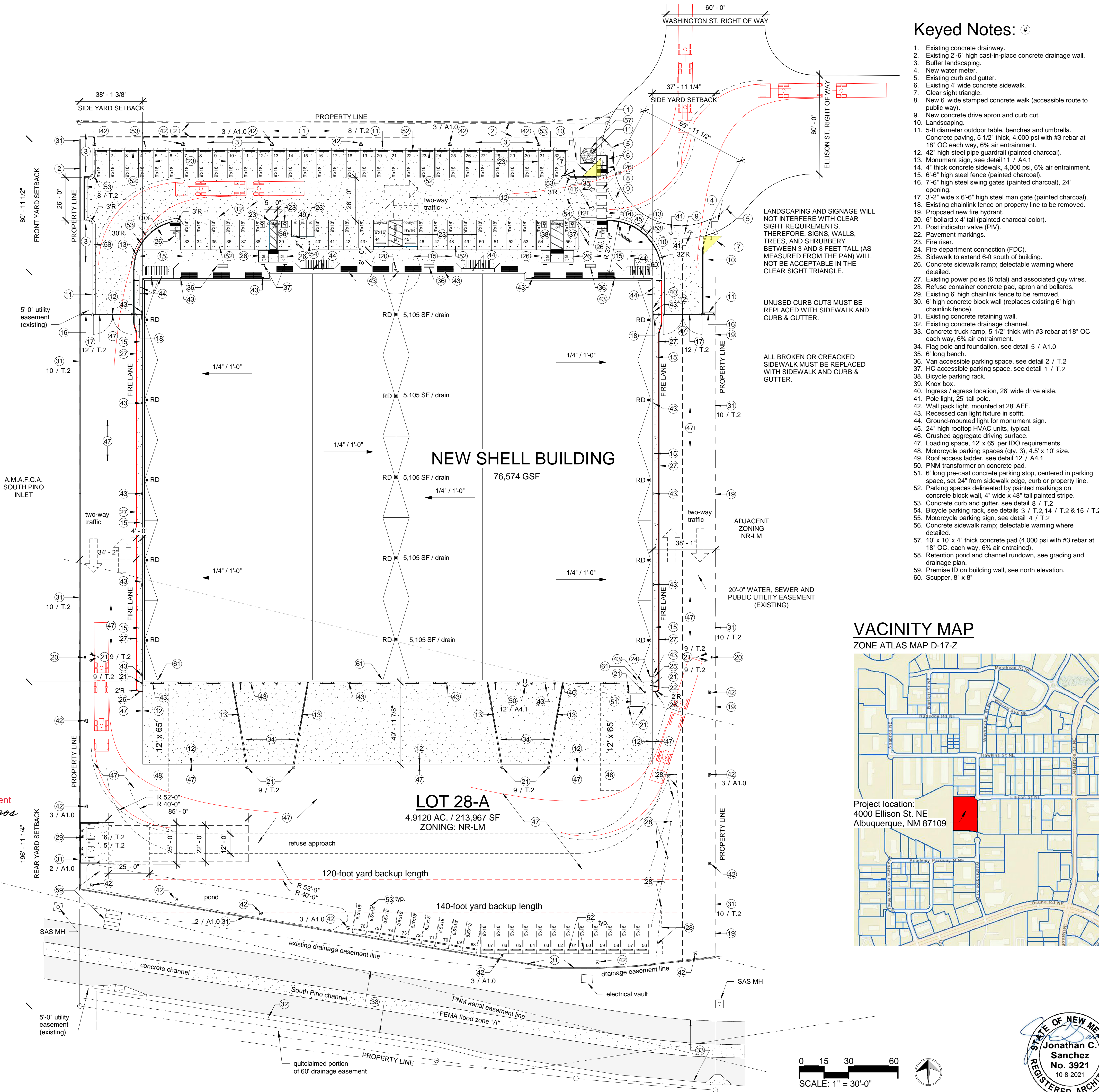
This development is located at 4000 Ellison Street NE, Lot 28A, Interstate Industrial Tract in the City of Albuquerque, 87109.

The general concept for the design of the site is to have 2-way vehicular circulation around all four sides of the Office / Warehouse. The public side of the project at the north end of the site contains paved public parking and ADA access to all lease space entrances.

Impact to adjacent sites is minimal. A CMU wall will be constructed along the west, south and east property lines.

Approved for access by the Solid Waste Department  
Herman Gallegos 10-12-21  
*Herman Gallegos*

1 SITE PLAN - TRAFFIC 1  
1" = 30'-0"

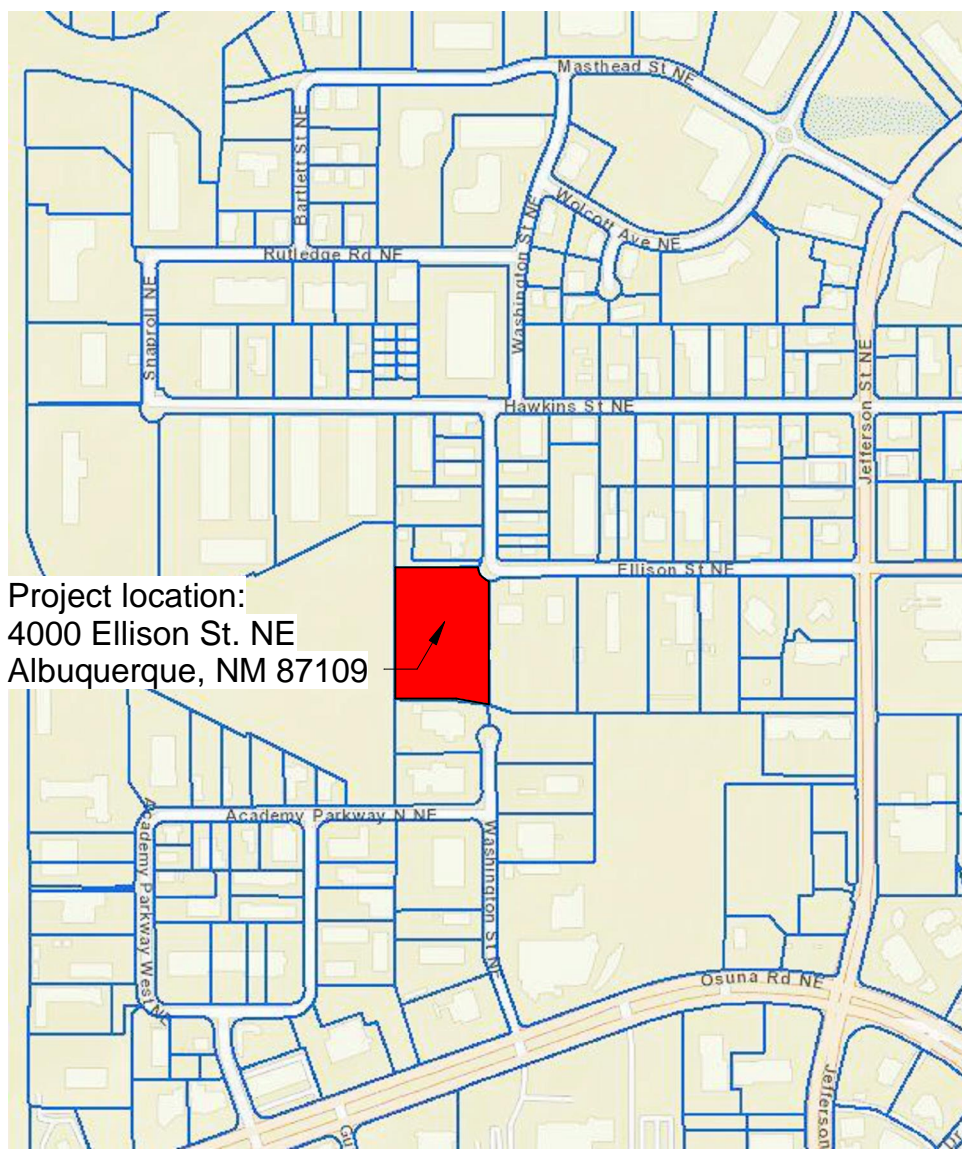


Keyed Notes: #

- Existing concrete driveway.
- Existing 2'-6" high cast-in-place concrete drainage wall.
- Buffer landscaping.
- New water meter.
- Existing curb and gutter.
- Existing 4' wide concrete sidewalk.
- Clear sight triangle.
- New 6' wide stamped concrete walk (accessible route to public way).
- New concrete drive apron and curb cut.
- Landscaping.
- 5-ft diameter outdoor table, benches and umbrella. Concrete paving, 5 1/2" thick, 4,000 psi with #3 rebar at 18" OC each way, 6% air entrainment.
- 42" high steel pipe guardrail (painted charcoal).
- Monument sign, see detail 11 / A4.1.
- 4" thick concrete sidewalk, 4,000 psi, 6% air entrainment.
- 6'-6" high steel fence (painted charcoal).
- 7'-6" high steel swing gates (painted charcoal), 24' opening.
- 3'-2" wide x 6'-6" high steel man gate (painted charcoal).
- Existing chainlink fence on property line to be removed.
- Proposed new fire hydrant.
- 6' bollard x 4' tall (painted charcoal color).
- Post indicator valve (PIV).
- Pavement markings.
- Fire riser.
- Fire department connection (FDC).
- Sidewalk to extend 6-ft south of building.
- Concrete sidewalk ramp; detectable warning where detailed.
- Existing power poles (6 total) and associated guy wires.
- Refuse container concrete pad, apron and bollards.
- Existing 6' high chainlink fence to be removed.
- 6' high concrete block wall (replaces existing 6' high chainlink fence).
- Existing concrete retaining wall.
- Existing concrete drainage channel.
- Concrete truck ramp, 5 1/2" thick with #3 rebar at 18" OC each way, 6% air entrainment.
- Flag pole and foundation, see detail 5 / A1.0.
- 6' long bench.
- Van accessible parking space, see detail 2 / T.2.
- HC accessible parking space, see detail 1 / T.2.
- Bicycle parking rack.
- Knox box.
- Ingress / egress location, 26' wide drive aisle.
- Pole light, 25' tall pole.
- Wall pack light, mounted at 28' AFF.
- Recessed can light fixture in soffit.
- Ground-mounted light for monument sign.
- 24" high rooftop HVAC units, typical.
- Crushed aggregate driving surface.
- Loading space, 12' x 65' per IDO requirements.
- Motorcycle parking spaces (qy. 3), 4.5' x 10' size.
- Roof access ladder, see detail 12 / A4.1.
- PNM transformer on concrete pad.
- 6' long pre-cast concrete parking stop, centered in parking space, set 24" from sidewalk edge, curb or property line.
- Parking spaces delineated by painted markings on concrete block wall, 4' wide x 48" tall painted stripe.
- Concrete curb and gutter, see detail 8 / T.2.
- Bicycle parking rack, see details 3 / T.2.14 / T.2 & 15 / T.2.
- Motorcycle parking sign, see detail 4 / T.2.
- Concrete sidewalk ramp; detectable warning where detailed.
- 10' x 10' x 4" thick concrete pad (4,000 psi with #3 rebar at 18" OC, each way, 6% air entrained).
- Retention pond and channel rundown, see grading and drainage plan.
- Premise ID on building wall, see north elevation.
- Scupper, 8" x 8"

VACINITY MAP

ZONE ATLAS MAP D-17-Z



Project location:  
4000 Ellison St. NE  
Albuquerque, NM 87109

0 15 30 60  
SCALE: 1" = 30'-0"



TRAFFIC 1

SHEET  
T.1

SCALE:  
As indicated

DATE:

10-8-2021

DRAWN BY:

JCS

OWNER APPROVAL:

John Mechenbier

ELLISON ST. OFFICE WAREHOUSE

4000 ELLISON ST. NE  
ALBUQUERQUE, NM 87109

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