# CITY OF ALBUQUERQ



Richard J. Berry, Mayor

April 3, 2017

Billy O. McCarty, P.E. P.O. Box 487 Reserve, NM, 87830

RE: American Gypsum Recycle Plant

**Grading Plan** 

**Stamp Date: 3/30/17** Hydrology File: D17D076

Dear Mr. McCarty:

Based upon the information provided in your re-submittal received 4/3/2017, the Grading

Plan is approved for Building Permit and Grading Permit.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Albuquerque

PO Box 1293

Sincerely,

New Mexico 87103

Reneé C. Brissette, P.E.

Renee C. Brissett

www.cabq.gov

Senior Engineer, Hydrology Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: AMERICAN GYPSUM RECYCLE PLANT  Building Permit #:  EPC#:  Legal Description:	mit #: City Drainage #: D17D108  Work Order#:
City Address: 4600 PASEO DEL NORTE BLVD., ALBUQUERQUE, NM 87109	6
Engineering Firm: BILLY O. MCCARTY	Contact: BILLY 0. MCCARTY
35-6	E-mail: mccarty.b.o@gmail.com
Owner:	Contact:
Address: Phone#:	E-mail:
Architect: G. DONALD DUDLEY AIA	Contact: DONALD DUDLEY
Phone#: 505-243-8100 Fax#:	E-mail:
Other Contact:GARVIN CONSTRUCTION INC.	Contact: CHRISTOPHER P. TEAGUE
505-792-1291	E-mail:
Check all that Apply:	
DEPARTMENT:  X HYDROLOGY/ DRAINAGE X TRAFFIC/ TRANSPORTATION  MS4/ EROSION & SEDIMENT CONTROL  CERT	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:  X BUILDING PERMIT APPROVAL  CERTIFICATE OF OCCUPANCY
TYPE OF SUBMITTAL:  ENGINEER/ ARCHITECT CERTIFICATION  SITE	PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN  X GRADING PLAN  DRAINAGE MASTER PLAN  X DRAINAGE REPORT	SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	SO-19 APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)  TRAFFIC IMPACT STUDY (TIS)  EROSION & SEDIMENT CONTROL PLAN (ESC)  CLON	PAVING PERMIT APPROVAL GRADING/PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR
OTHER (SPECIFY)	PRE-DESIGN MEETING OTHER (SPECIEV)
IS THIS A RESUBMITTAL?: X Yes No	
DATE SUBMITTED: 3-31-17 By: Belly O.	O mark

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:

# BILLY O. MCCARTY

Civil Engineering
P. O. Box 487
Reserve, NM 87830
Phone: (505) 235-9588
Fax: (575) 533-6631

Email: mccarty.b.o@gmail.com

March 30, 2017

Ms. Reneé Brissette. P.E. COA Hydrology Dept. PO Box 1293 Albuquerque, NM 87103

# American Gypsum Recycle Plant Grading Plan D17D108 RE:

Dear Ms. Brissette:

Your comments from your letter dated Thank you for reviewing the plans submitted on 3/9/17. 3/28/17 are addressed as follows:

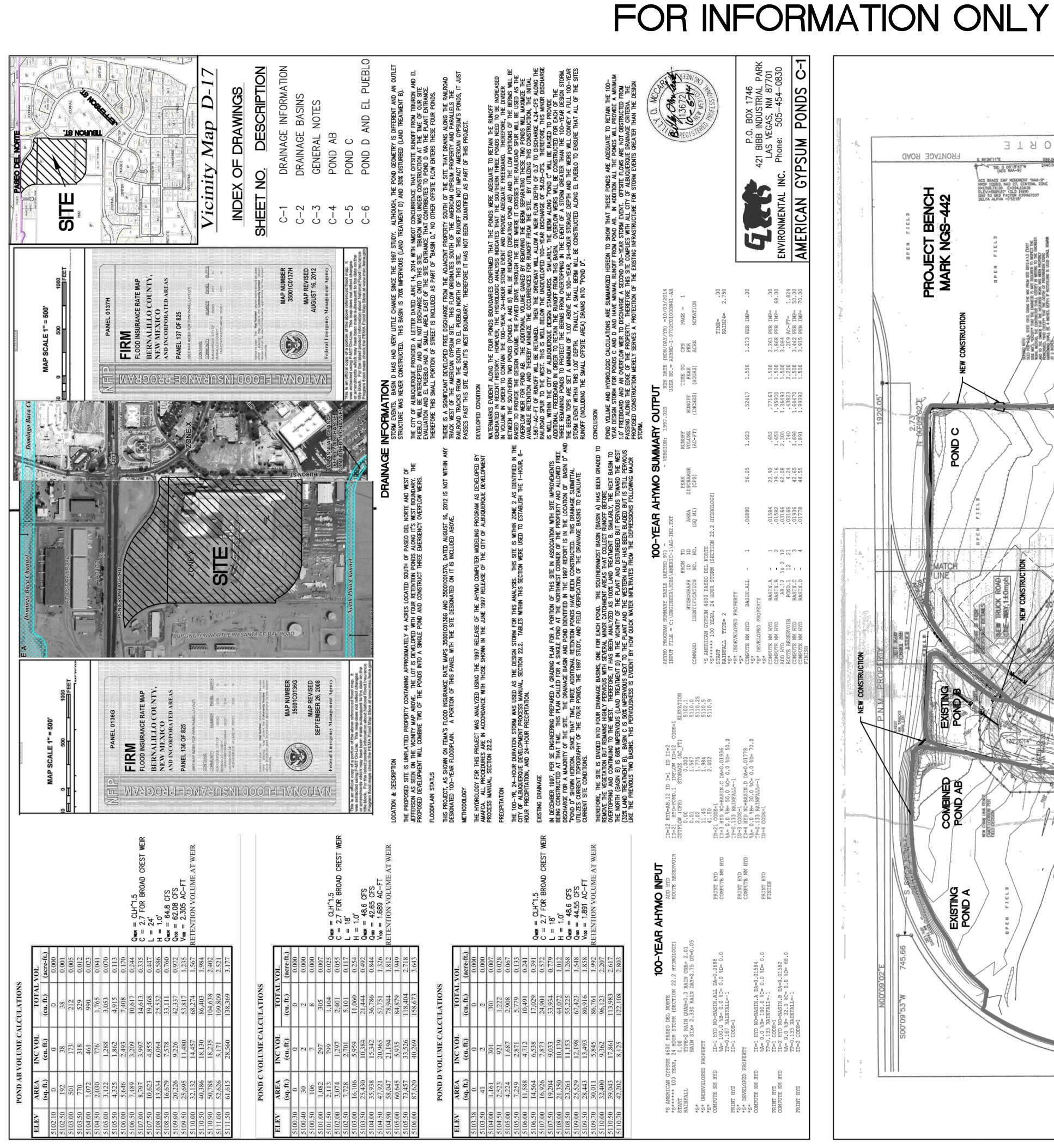
- runoff north to Pond 'D'. This swale and drainage basin is shown on the approved Drainage Plan shown on Sheet C-100. Therefore, the only runoff in the swale on the south side of the the north. The runoff then surface flows along the wall north of the proposed building, across the existing asphalt drive and is intercepted in the existing drainage swale which conveys the I have added flow directional arrows and notes to sheet C-102 to show that the roof drains to building is from the slope of the stockpiled gypsum.
- Ponds 'C' and 'D' are retention ponds that retain the 100-year, 24-hour storm event and the Pond 'C' retains 1.812ac-ft. below its overflow weir and has a 100-year, 24-hour runoff construction area has already been analyzed as impervious so we are not changing the volume. entering it of 1.689 ac-ft. Likewise, Pond 'D' has a retention volume of 1.992 ac-ft. and an entering runoff of 1.891 ac-ft. Therefore, not only is the first flush captured, but the entire runoff from these basins. The minor runoff from this one swale on the south side of the Upon reviewing the approved Drainage Plan shown on Sheet C-100, one will see that both building is not going to alter the performance of the ponds. ri

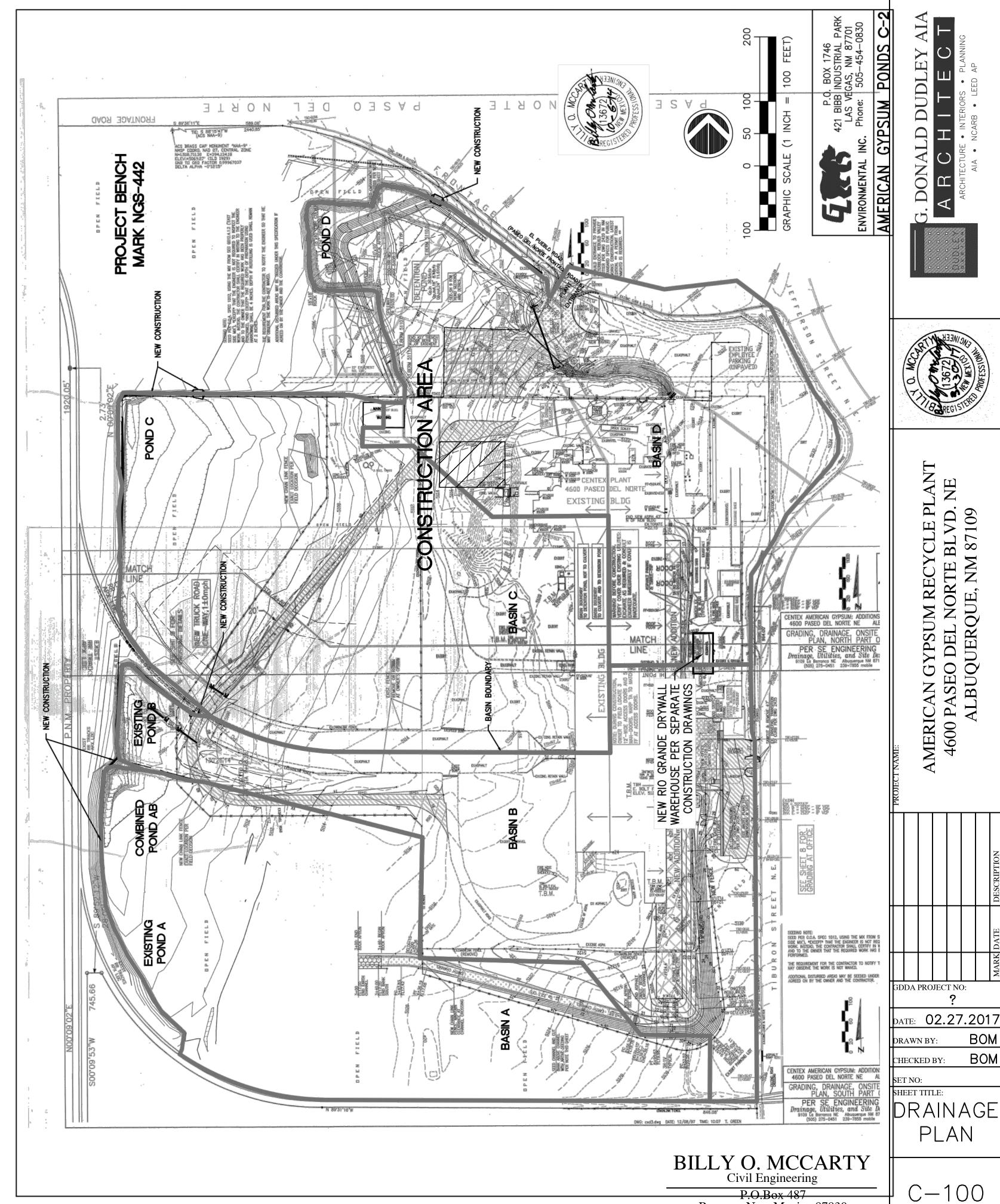
Although I have only added clarifying notes to sheet C-102, I am resubmitting all three sheets with you need any other clarifications, please let me know. Otherwise, please approve these plans for building permit. If today's date on the engineers stamp for clarity in tracking purposes.

Sincerely,

Billy O. McCarty, P.E.

Principal Engineer





P.O.Box 487
Reserve, New Mexico 87830 (505) 235-9588

INV = INVERT ELEVATION

PROP = PROPOSED

STD = STANDARD

STA = STATION

SD = STORM DRAIN

= NATURAL GROUND

PCC = PORTLAND CEMENT CONCRETE

RCP = REINFORCED CONCRETE PIPE

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

## WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

## SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT, RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL/LOCATION	PERCENT	COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA		95%
SUBBASE FOR SLAB SUPPORT		95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL	_	
FILL OR ROADWAY PAVEMENT		95%
MISCELLANEOUS BACKFILL BELOW UNPAVED,		
NON-BUILDING AREAS		90%
ROADWAY PAVEMENT SUBGRADE		95%
SIDEWALK SUBGRADE		90%
CURB AND GUTTER SUBGRADE		95%

**ABBREVIATIONS** 

AD = AREA DRAIN

BM = BENCHMARK

CMP = CORRUGATED METAL PIPE

COA = CITY OF ALBUQUERQUE

BLDG = BUILDING

CO = CLEANOUT

CONC = CONCRETE

CL = CENTERLINE

# **PAVEMENT**

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

DIA = DIAMETER

DTL = DETAIL

DWG = DRAWING

EX = EXISTING

ELEV = ELEVATION

FL = FLOW LINE

FG = FINISHED GRADE

FF = FINISHED FLOOR ELEVATION

## <u>UTILITIES</u>

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES. EXITING OR NEW. IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

# EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC.. SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER, CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

TA = TOP OF ASPHALT PAVEMENT

TCC = TOP OF CONCRETE CURB

TG = TOP OF GRATE

TYP = TYPICAL

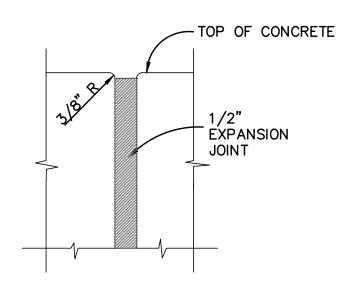
W = WATER

TS = TOP OF SIDEWALK

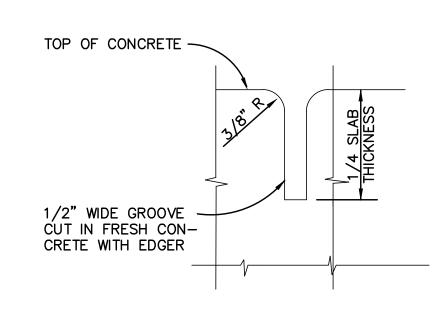
= TOP OF CONCRETE SLAB (PAVEMENT)

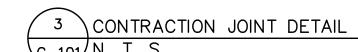
# TOP OF CONCRETE /2" EXPANSION

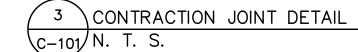


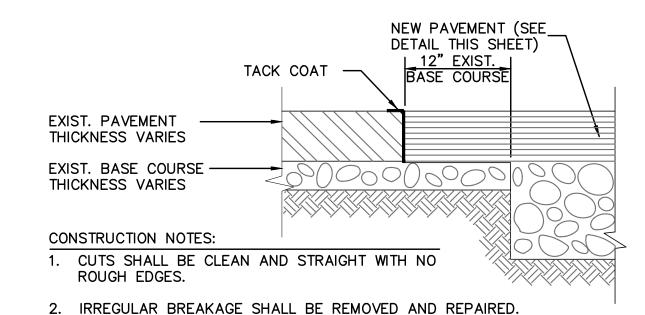






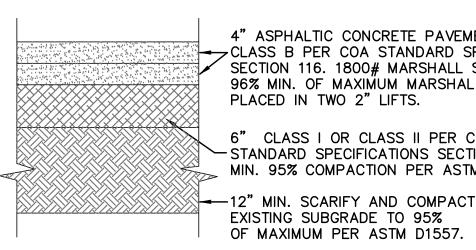






- 3. LAY NEW ASPHALT PAVING ON EXIST. BASE COURSE AT JOINT.





(C-101/N. T. S.

4" ASPHALTIC CONCRETE PAVEMENT CLASS B PER COA STANDARD SPECIFICATIONS SECTION 116. 1800# MARSHALL STABILITY. 96% MIN. OF MAXIMUM MARSHAL DENSITY. PLACED IN TWO 2" LIFTS. 6" CLASS I OR CLASS II PER COA

-STANDARD SPECIFICATIONS SECTION 302 MIN. 95% COMPACTION PER ASTM D-1557.

\HEAVY ASPHALT PAVEMENT SECTION

**BILLY O. MCCARTY** Civil Engineering

P.O.Box 487 Reserve, New Mexico 87830 (505) 235-9588

YPSUI CAN GYASEO LBUQU MERI

GDDA PROJECT NO:

DATE: 02.27.201

BOM DRAWN BY: BOM CHECKED BY:

SET NO: SHEET TITLE:

NOTES & DETAILS

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