

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

August 30, 2021

Levi J. Valdez, PE  
George T Rodriguez-Development Consultant  
12800 San Juan Rd. SE  
Albuquerque, NM 87123

**RE: Builders Firstsource Addition  
7801 Tibron St. NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 07/02/21  
Hydrology File: D17D076A**

Dear Mr. Valdez:

Based upon the information provided in your resubmittal received 07/07/2021, the Grading and Drainage Plan is approved for Building Permit.

PO Box 1293 Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

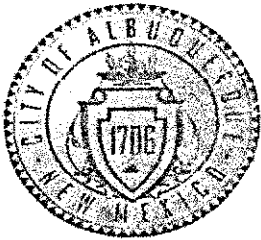
www.cabq.gov Please provide the Drainage Covenant with Exhibit A for the stormwater quality pond per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Marion G. Velasquez ([mgvelasquez@cabq.gov](mailto:mgvelasquez@cabq.gov)) on the 4th floor of Plaza de Sol. Please note that Hydrology will need a pdf copy of the recorded Drainage Covenant prior to Hydrology's approval of Permanent Release of Occupancy.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: BUILDERS FIRSTSOURCE Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT ONE (1), AMERICAN GYPSUM COMPANY

City Address: 7801 TIBURON STREET N.E.

Applicant: BUILDERS FIRSTSOURCE Contact: JERRY PENDLEY

Address: 7801 TIBURON ST. N.E., ALBUQUERQUE, NEW MEXICO

Phone#: 505-390-2355 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: LEVI J. VALDEZ, P.E. Contact: LEVI VALDEZ  
GEORGE T. RODRIGUEZ - DEVELOPMENT CONS. GEORGE RODRIGUEZ

Address: 12800 SAN JUAN N.E., ALBUQ., N.M. 87123

Phone#: 505-610-0593 Fax#: \_\_\_\_\_ E-mail: pawrod@hotmail.com

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 07-07-2021 By: GEORGE T. RODRIGUEZ

COA STAFF:

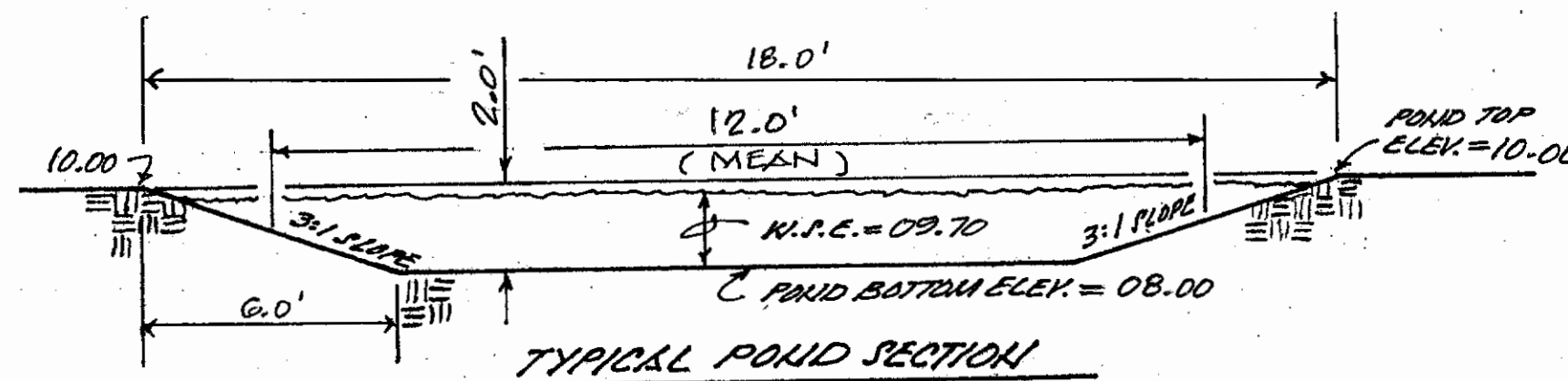
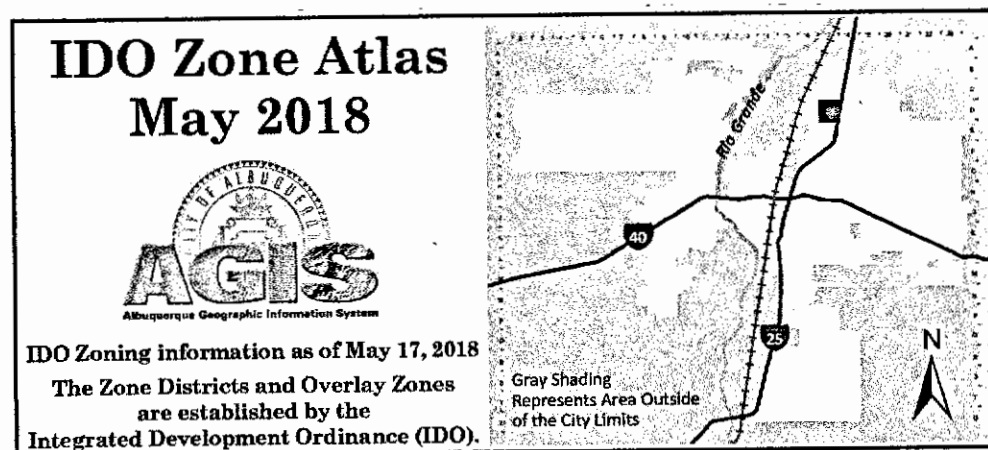
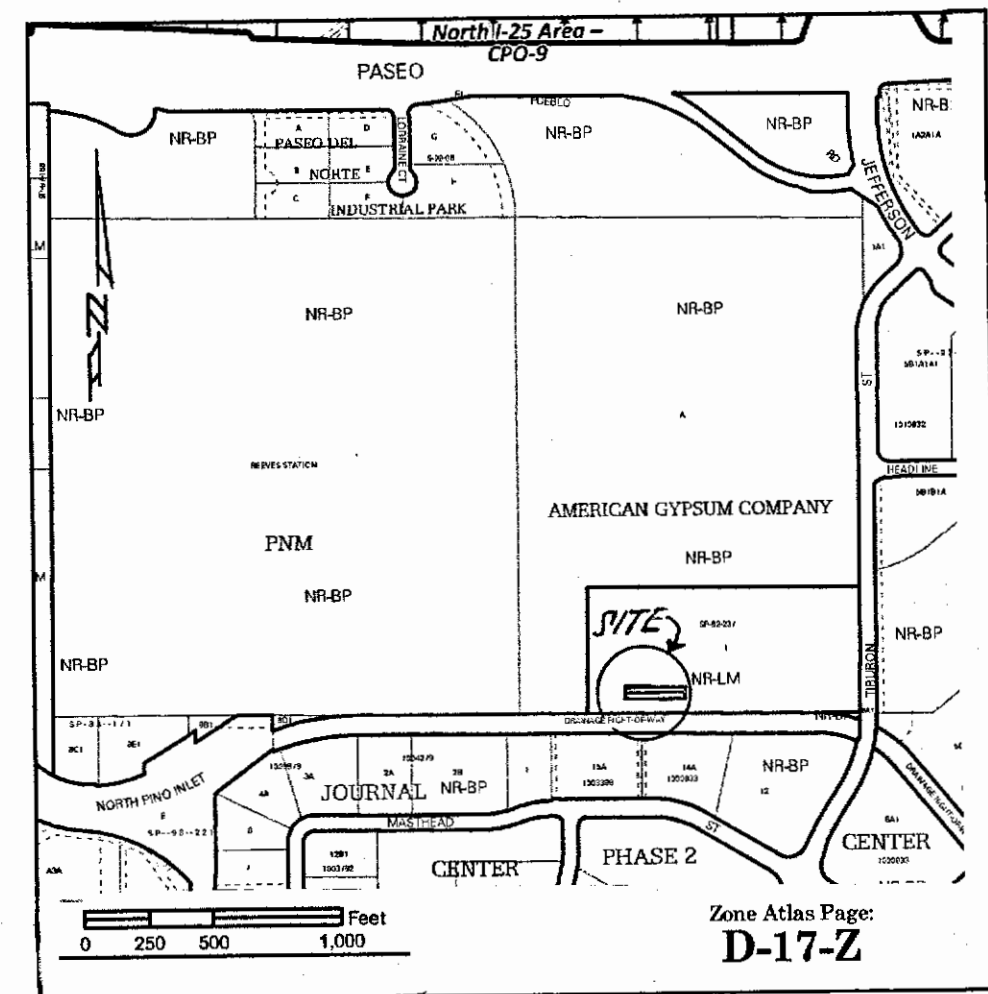
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



# GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "13-D16", HAVING AN ELEVATION OF 5073.471, NAVD 1988.
- 3: UTILITIES SHOWN HEREON ARE IN THE APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 4: THIS IS **NOT** A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON.



## EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

## CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

## DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT 7801 TIBURON N.E. BETWEEN PASEO DEL NORTE BLVD. N.E. AND MASTHEAD STREET N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT PROJECT SITE IS A SOUTHWESTERLY PORTION OF AN INDUSTRIAL PROPERTY THAT PROVIDES LUMBER BUILDING MATERIALS AND SUPPLIES FOR RESIDENTIAL AND COMMERCIAL DEVELOPMENTS.

THIS PLAN IS PREPARED IN SUPPORT OF A BUILDING PERMIT FOR AN OPEN-ENDED 80' X 100' BUILDING EXTENSION AND A NEW 40' X 80' CONCRETE SLAB THAT WILL BE ATTACHED TO AN EXISTING OPEN-ENDED FABRICATION BUILDING. THE NEW 80' X 100' BUILDING AND NEW 40' X 80' CONCRETE SLAB WILL CONSIST OF 11,200.0 SQUARE FEET OF NEW DEVELOPMENT THAT WILL REQUIRE A WATER QUALITY RETENTION POND THAT IS TO BE LOCATED AT THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY AND WILL SPILL INTO AN EXISTING STORM DRAIN INLET (SHOWN ON THE PLAN HEREON) THAT DRAINS INTO AN AMAFCA CONCRETE LINED DRAINAGE CHANNEL THAT DIRECTS FLOWS INTO THE AMAFCA NORTH DIVERSION CHANNEL.

## WATER QUALITY POND CALCULATIONS:

REQUIRED RETENTION VOLUME = 11,200.0 SQ. FT. X 0.26 / 12 = 243.0 CU. FT.

PROPOSED POND SIZE: 12' X 12' X 2.0' = 288.0 CU. FT.

288.0 CU. FT. > 243.0 CU. FT.

LEGAL DESCRIPTION: TRACT ONE (1), OF AMERICAN GYPSUM COMPANY, TO THE CITY OF ALBUQUERQUE, NEW MEXICO.

