

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

October 8, 2021

Scott C. Anderson, RA
Scott Anderson Architect
4419 4th St. NW #B
Albuquerque, NM 87107

Re: Dock Enclosure
7447 Pan American Fwry NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 06-14-219(AA) (D17D077A)
Certification dated 9-28-21

Dear Mr. Anderson,

Based upon the information provided in your submittal received 9-28-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Hydrology Certification is required prior to release of Final CO for Transportation. (See Attached Emails)

Once these corrections are complete, email pictures showing the changes to PLNDRS@cabq.gov, and submit an administrative fee of \$40.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

ADMINISTRATIVE AMENDMENT

FILE # ^{SI-2021-0048}₂ PROJECT # ^{PR-2020-00438}₄

Enclosure of existing loading dock on the north side of building;

Installation of overhead door and CMU to match existing structure facade.

REVISED 6/14/2021: Included Sheet A-202

James M. Aranda

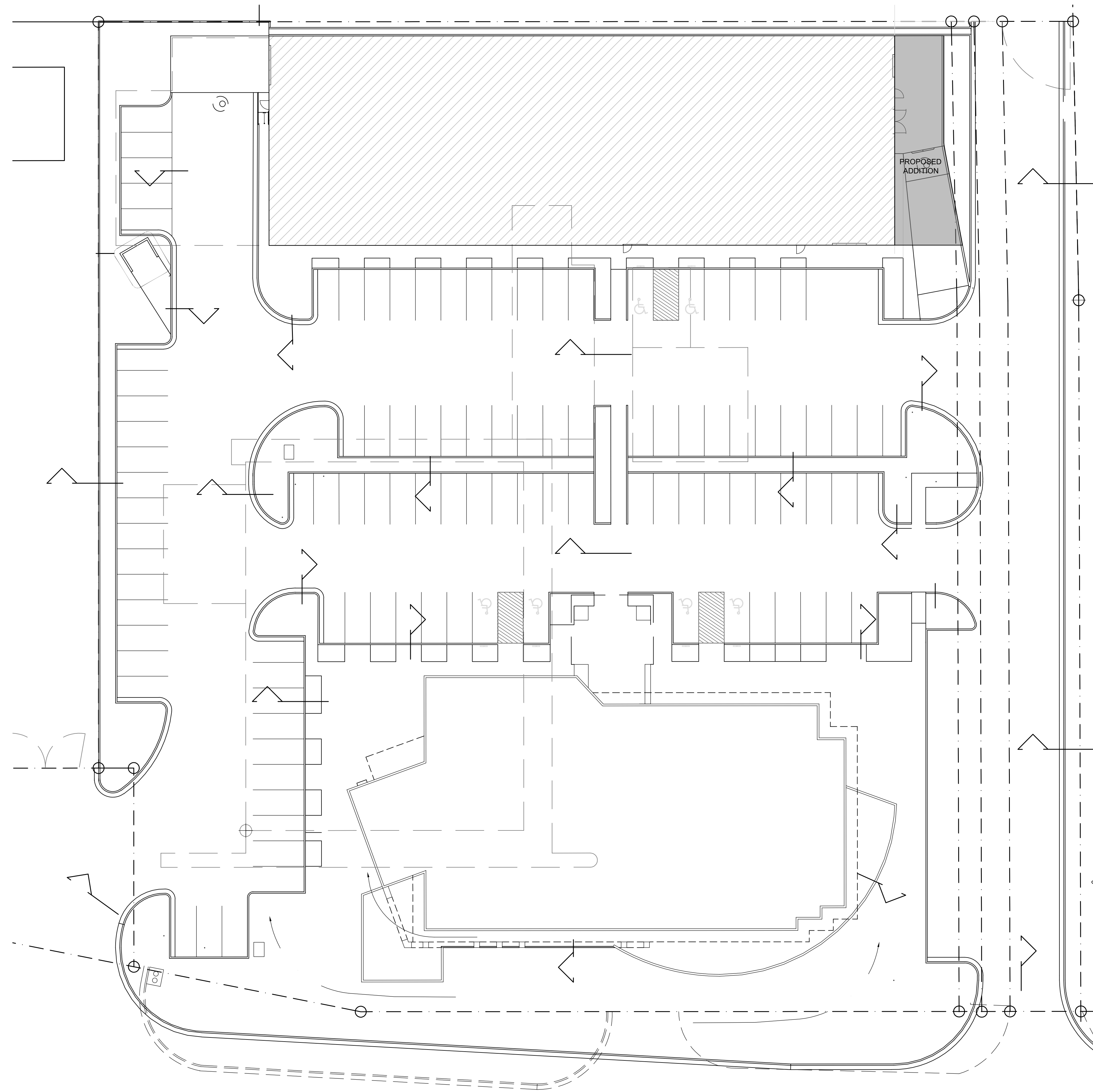
Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of
Albuquerque, ou=Planning Department,
email=jmaranda@cabq.gov, c=US
Date: 2021.06.14 11:59:29 -06'00'

6/14/2021

APPROVED BY

DATE






SITE PLAN

PAN AMERICAN FREEWAY FRONTAGE ROAD NW

SCALE: 1" = 10'-0"

No	Revision	Item	Date




SCOTT C. ANDERSON
& ASSOCIATES ARCHITECTS
1604 RIO PASTORIS NW
ALBUQUERQUE, NM 87120
505.401.7575

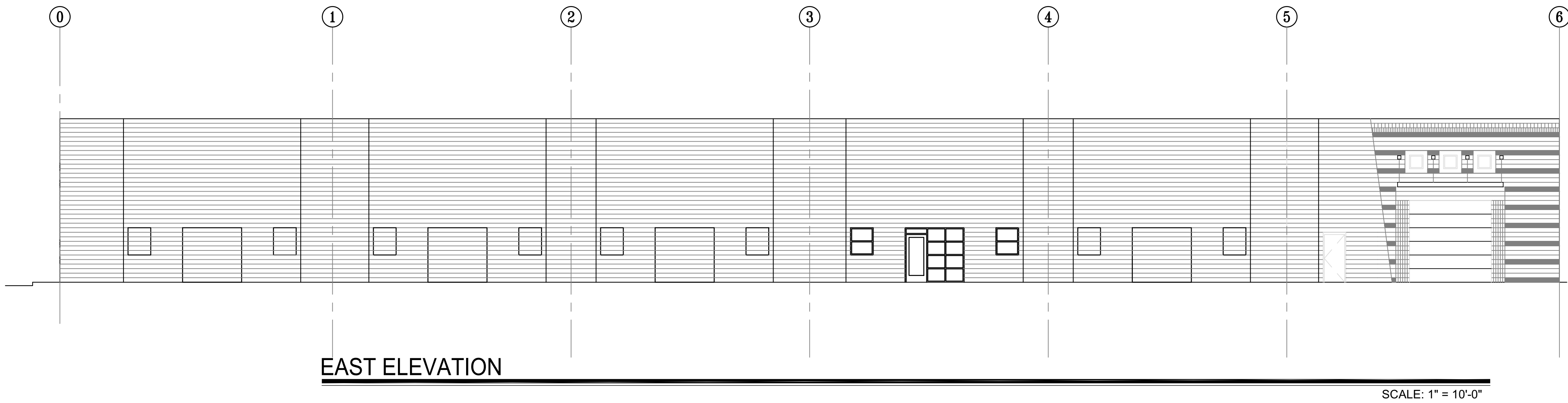
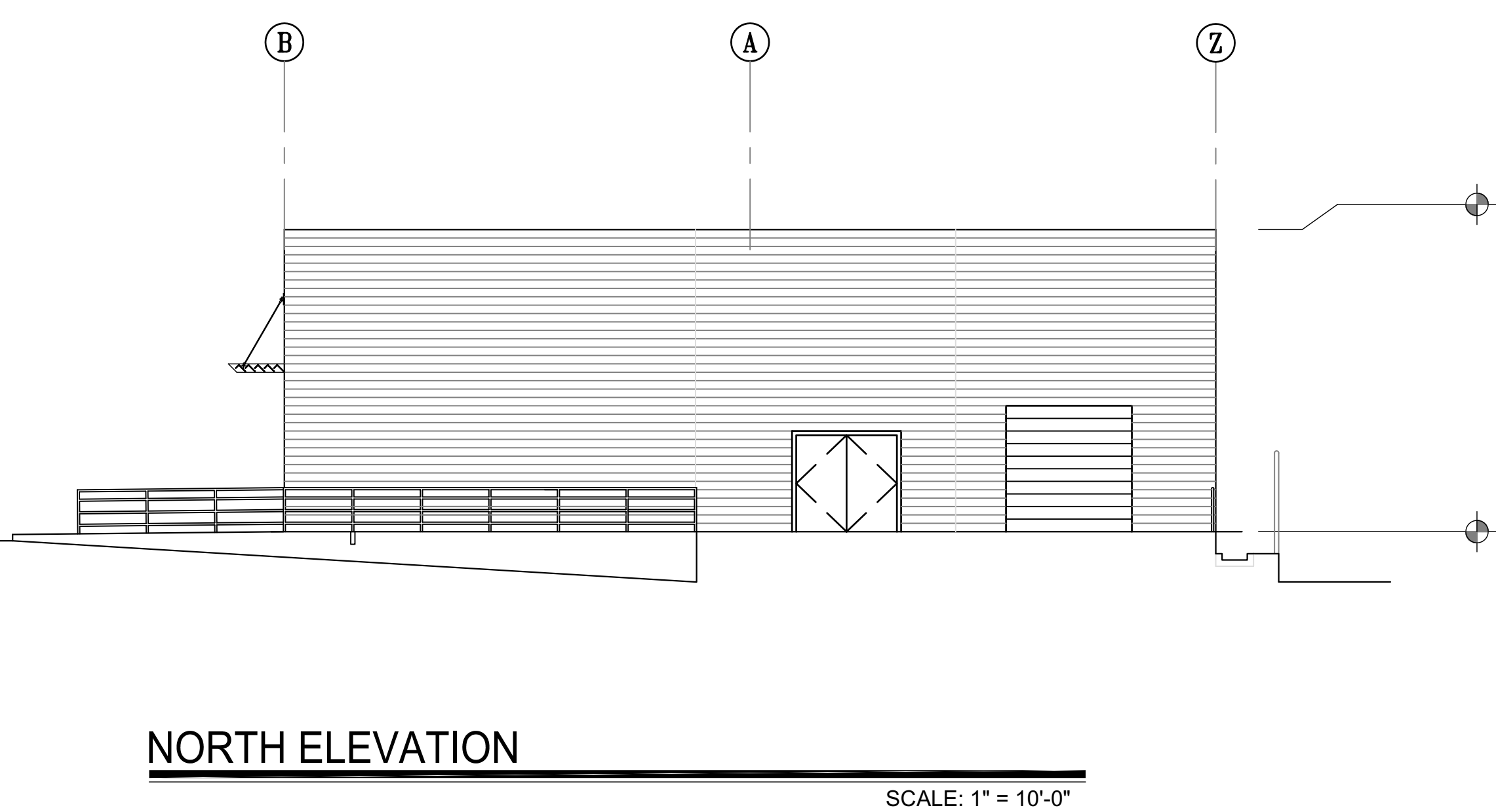
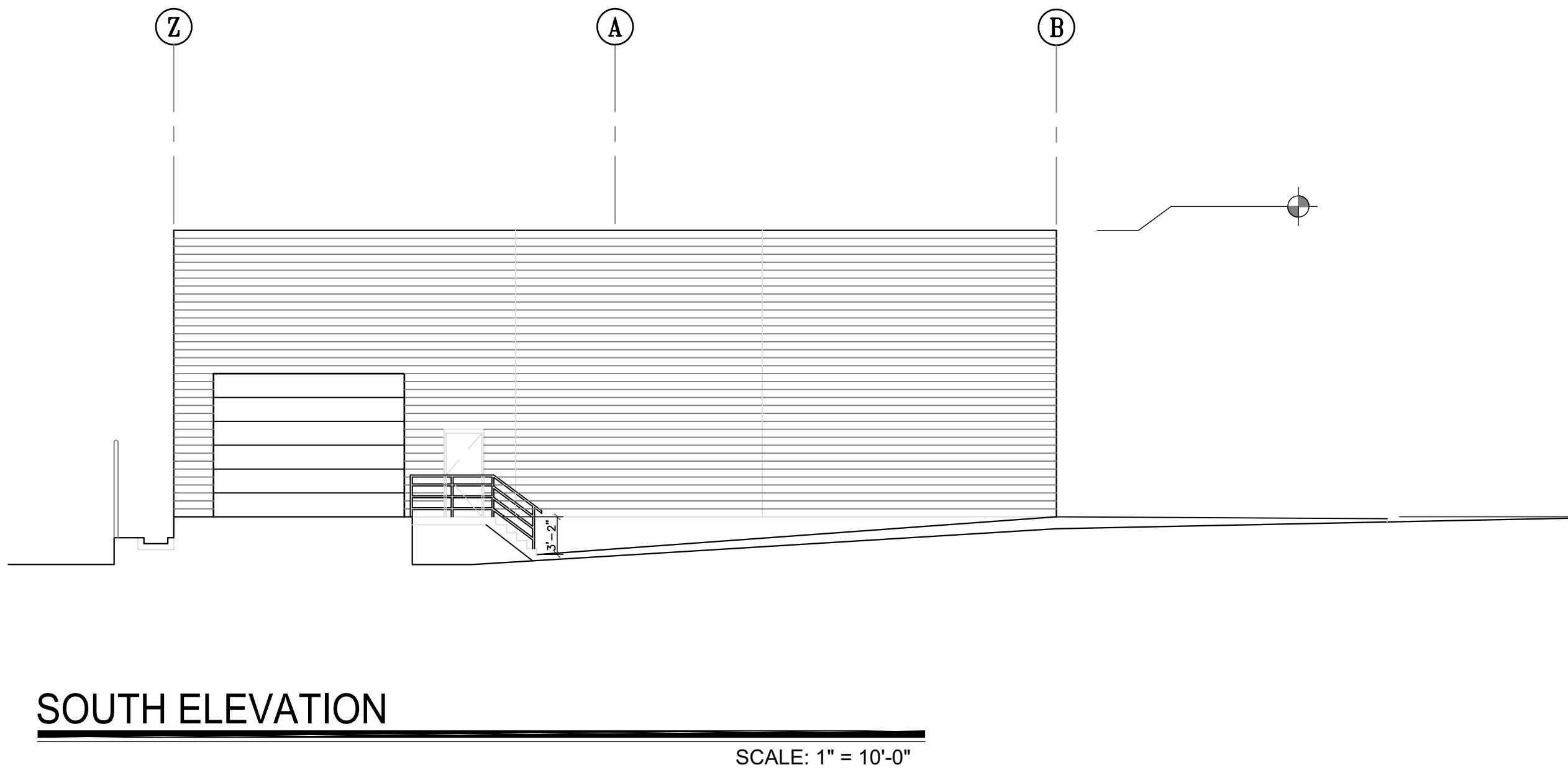
LOADING DOCK ENCLOSURE
7447 PAN AMERICAN FWY NE
ALBUQUERQUE, NM 87109

DRAWING TITLE


SITE PLAN

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-100 ____ OF ____
	DATE	

2/6/2021




No	Revision	Item	Date

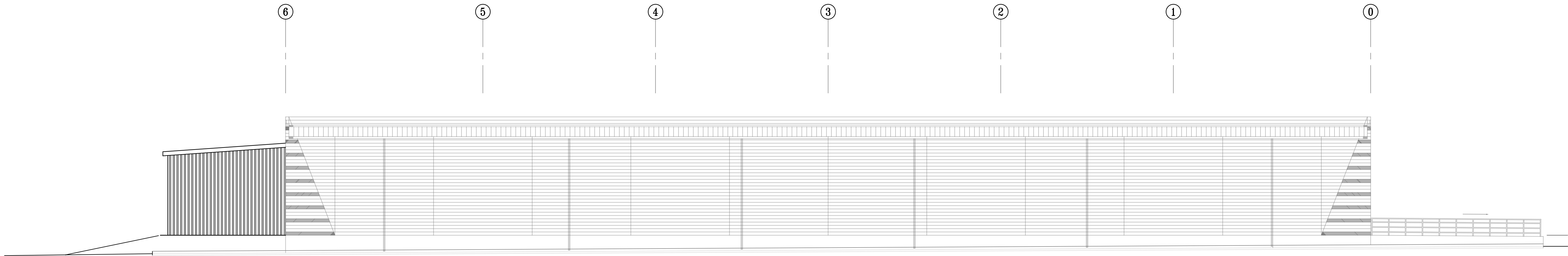


SCOTT C. ANDERSON
& associates architects
7414 TIA PARRANOS DR
ALBUQUERQUE, NM 87120
505.401.7575

LOADING DOCK ENCLOSURE
7447 PAN AMERICAN FWY NE
ALBUQUERQUE, NM 87109

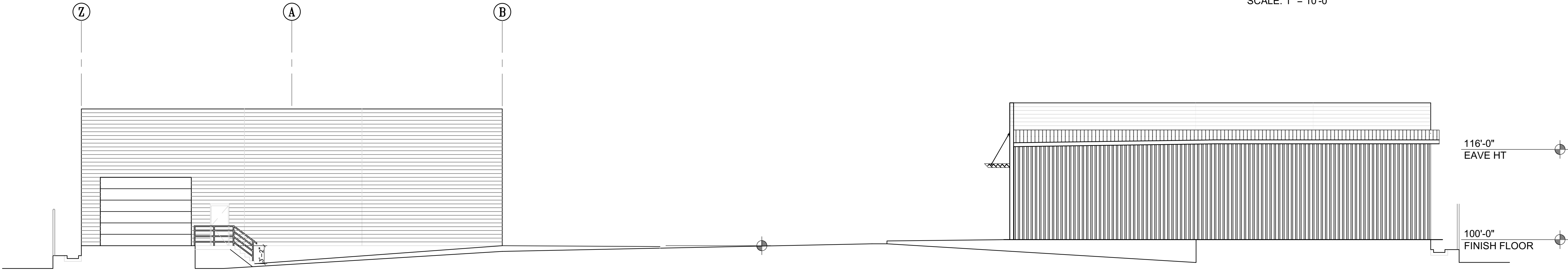
DRAWING TITLE
EXISTING BUILDING ELEVATIONS

	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-201 _____ OF _____
	DATE 9/2/2020	



WEST ELEVATION

SCALE: 1" = 10'-0"

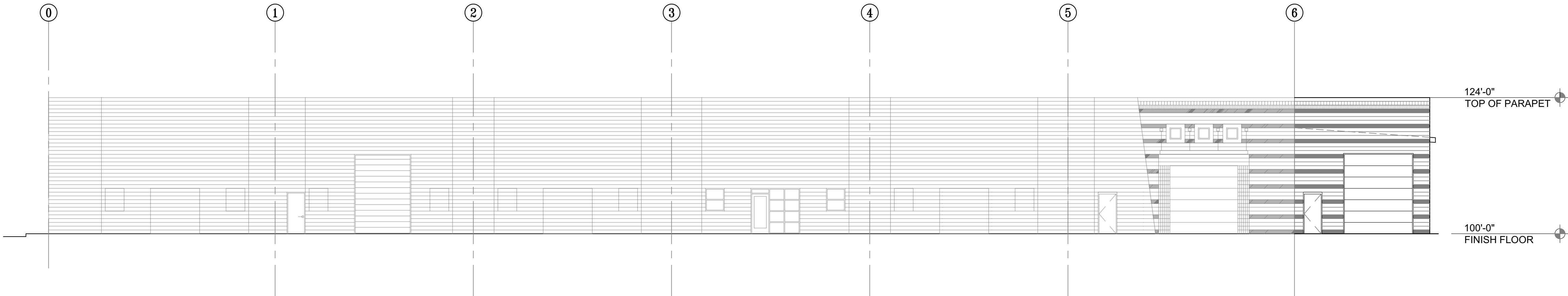


SOUTH ELEVATION

SCALE: 1" = 10'-0"

NORTH ELEVATION


SCALE: 1" = 10'-0"



EAST ELEVATION

SCALE: 1" = 10'-0"

No	Revision	Item	Date



SCOTT C. ANDERSON
& associates architects
State registration no.
albuquerque, nm 87120
scottc@scottcandassociates.com
505.401.7575

LOADING DOCK ENCLOSURE
7447 PAN AMERICAN FWY NE
ALBUQUERQUE, NM 87109

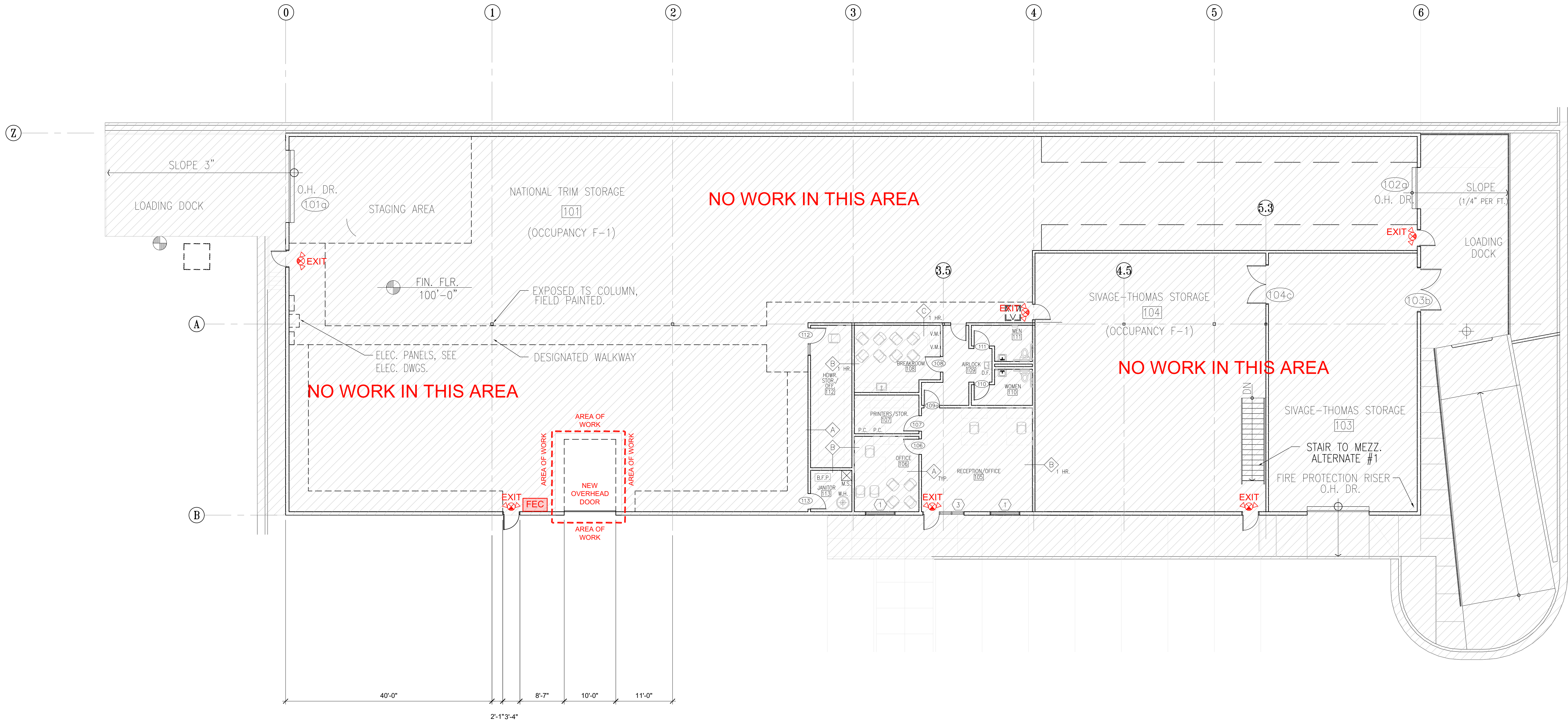
DRAWING TITLE

NEW BUILDING ELEVATIONS

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	
DATE	9/2/2020



A-202
____ OF ____



CODE ANALYSIS / FIRE 2 PLAN

SCALE: 1" = 10'-0"



CODE ANALYSIS
IEBC 2015
OCCUPANCY CLASSIFICATION STORAGE GROUP F-1
SCOPE OF WORK: ADD NEW OVERHEAD DOOR ALTERATION LEVEL 2

BUILDING TYPE:
IBC TABLE 601 & SECTION 602.2
CONSTRUCTION TYPE TYPE II-B-S1

FIRE-RESISTIVE REQUIREMENTS PER IBC TABLE 601
STRUCTURAL FRAME 0 HR
BEARING WALLS 0 HR
NON-BEARING WALLS 0 HR
ROOF CONSTRUCTION 0 HR

ALLOWABLE GROSS FLOOR AREA:
IBC TABLE 506.2
F-1 OCC. / TYPE II-B-S1 CONST
2 FLOORS / 55 FT 62,000 SQ. FT.

ACTUAL FLOOR AREA:
TOTAL BUILDING AREA 16,250 SQ. FT.

CODE ANALYSIS

AREA SEPARATION:
IBC TABLE 508.4
NONE REQUIRED

OCCUPANT LOAD:
IBC TABLE 1004.1.1
UNCHANGED

AUTOMATIC SPRINKLER SYSTEM:
PROVIDED

FIRE ALARM & DETECTION SYSTEM: IBC 907.2.2
PROVIDED

GROUP F-1 PLUMBING:
IBC 2902.1
NO CHANGE TO OCCUPANCY OR OCCUPANT LOAD
EXISTING FIXTURE COUNT TO REMAIN PER IEBC

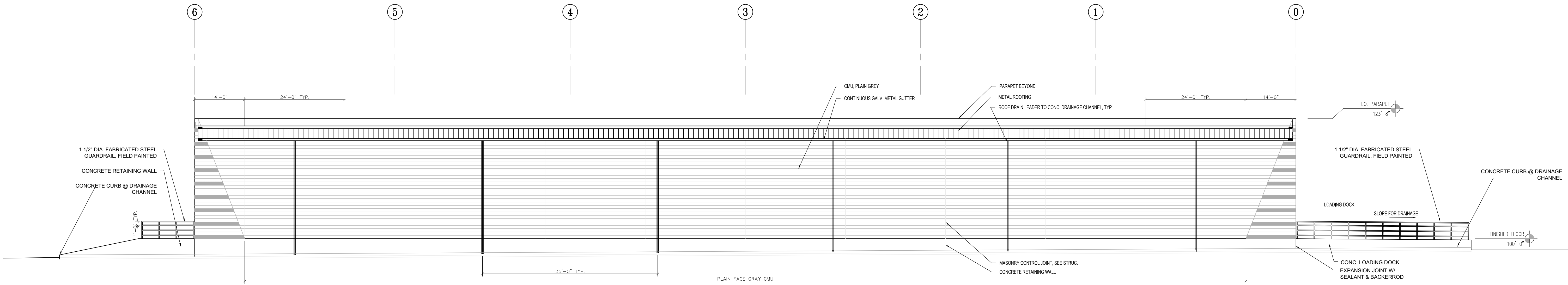
CODE LEGEND

3 HOUR FIRE RATED ASSEMBLY
2 HOUR FIRE RATED ASSEMBLY
1 HOUR FIRE RATED ASSEMBLY
SMOKE BARRIER 1 HOUR RATED
DIRECTION OF EGRESS
DIRECTION OF EGRESS WITH
NUMBER OF OCCUPANTS INDICATED
FIRE EXTINGUISHER CABINET
FIRE EXTINGUISHER IN AREAS OTHER THAN THE KITCHEN
ARE TO BE 2A:10BC SURFACE MOUNTED TYPE ABC. FIRE
EXTINGUISHER IN THE KITCHEN TO BE TYPE K.
FIRE DEPARTMENT HOSE CONNECTION

NOTE:

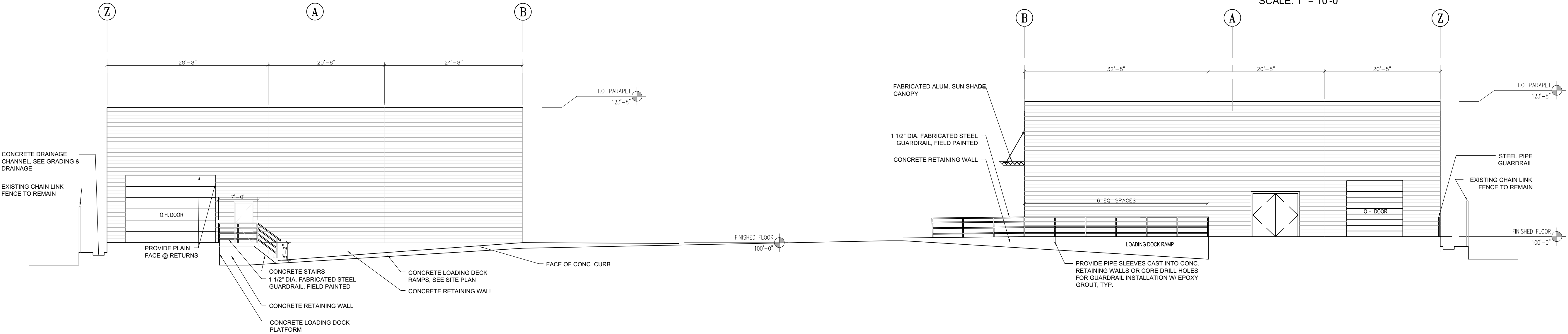
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL FOR ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.
- THE FIRE SPRINKLER SYSTEM SHALL BE SUPERVISED.

No	Revision	Item	Date
<div><div></div><div>SCOTT C. ANDERSON & associates architects 4429 4th St. NW Ste. B Albuquerque, NM 87107 scott@scottcanderson.com 505.401.7575</div></div>			
WAREHOUSE DOOR ADDITION 7447 PAN AMERICAN FWY NE ALBUQUERQUE, NM 87109			
DRAWING TITLE CODE ANALYSIS PLAN FIRE 2 PLAN			
<div>SEAL</div> <div></div>	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	G-101 _____ OF _____	
	DATE 8/14/2020		



WEST ELEVATION

SCALE: 1" = 10'-0"

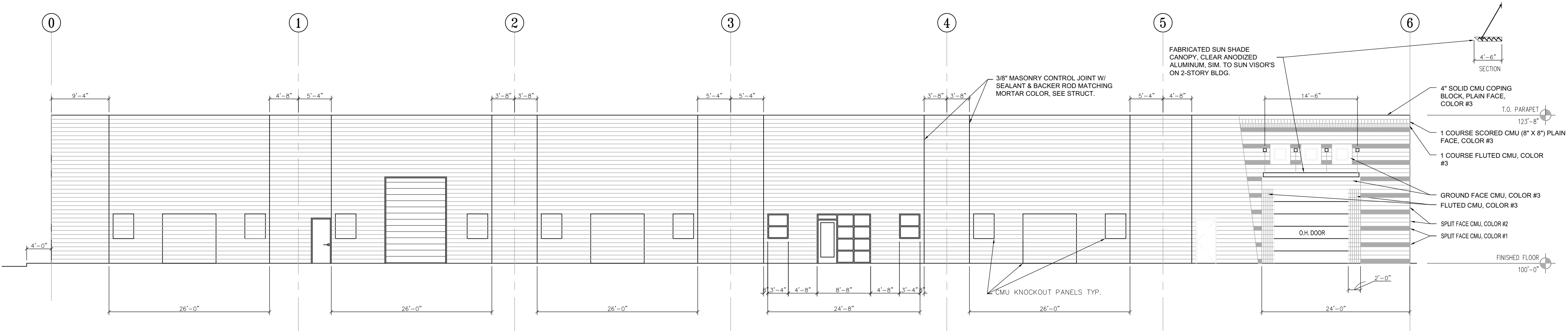


SOUTH ELEVATION

SCALE: 1" = 10'-0"

NORTH ELEVATION

SCALE: 1" = 10'-0"



EAST ELEVATION

SCALE: 1" = 10'-0"

No.	Revision	Item	Date



SCOTT C. ANDERSON
& associates architects
4429 4th St. NW Ste. B
Albuquerque, NM 87107
scott@scottcanderson.com
505.401.7575

WAREHOUSE DOOR ADDITION
7447 PAN AMERICAN FWY NE
ALBUQUERQUE, NM 87109

DRAWING TITLE
NEW BUILDING ELEVATIONS

DESIGNED	PROJECT NO.

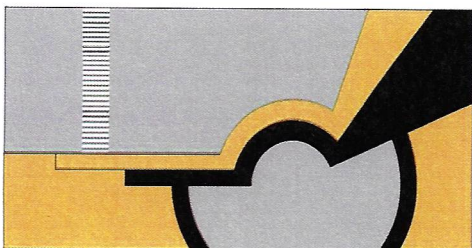
DRAWN	SCALE

CHECKED	DRAWING NO.

REVIEWED	DATE
	9/2/2020



A-202



SCOTT C. ANDERSON
& associates architects

7604 rio penasco nw
albuquerque, nm 87120
andersonscottc@comcast.net
505.401.7575

September 28, 2021

Jeanne Wolfenbarger
Transportation Dept
City of Albuquerque
jwolfenbarger@cabq.gov
505 924-3991

RE: Traffic Certification for Dock Enclosure, 7447 Pan American Fwy NE

Dear Ms. Wolfenbarger:

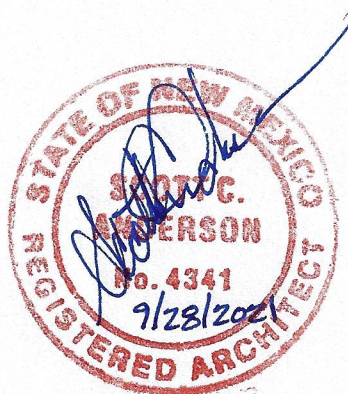
I, Scott C. Anderson, New Mexico Architect 4341 of the firm Scott C. Anderson & Associates Architects, hereby certify that the loading dock located at 7447 Pan American Freeway NE is in substantial compliance with and in accordance with the design intent of the approved Administrative Amendment dated June 14, 2021. I further certify that I have personally visited the project site on September 27, 2021 and have determined by visual inspection that as-built condition is representative of approved Administrative Amendment and is true and correct to the best of my knowledge and belief.

This Certification is submitted in support of a request for a Certificate of Occupancy.

The record information presented hereon is complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Respectfully,

Scott C. Anderson AIA
NM Architect # 4341
September 28, 2021



Gomez, Ernest P.

From: Armijo, Ernest M.
Sent: Tuesday, June 22, 2021 2:48 PM
To: 'Mike Silva'; Biazar, Shahab; Williams, Brennon; Westen Caswell; Scott Anderson
Cc: Brissette, Renee C.; Blount, Veronica; Gomez, Ernest P.
Subject: RE: 7447 Pan American Freeway

Mr. Silva,

I have had the hold for Hydrology removed with the condition that prior to CO an approved grading and drainage plan must be in place. As I did this I was informed that Zoning still has not reviewed this and Fire has denied this. Because of these you still will not be able to pull your permit until zoning reviews and approves and any issues Fire has are taken care of.



ERNEST ARMIJO, P.E.
principal engineer
o 505.924.3986
e earmijo@cabq.gov
cabq.gov/planning

From: Mike Silva [mailto:mike@carloinc.com]
Sent: Tuesday, June 22, 2021 2:25 PM
To: Biazar, Shahab; Williams, Brennon; Westen Caswell; Scott Anderson
Cc: Brissette, Renee C.; Armijo, Ernest M.; Blount, Veronica; Gomez, Ernest P.
Subject: RE: 7447 Pan American Freeway

Hi Shahab,

We have had some trouble paying for this permit and were told that it was not officially released. Are you able to officially release the permit. We are starting construction tomorrow and will need to call for inspection on Thursday. Thank you for your time.

Thank You,
Michael

From: Mike Silva
Sent: Thursday, June 3, 2021 5:14 PM
To: Biazar, Shahab <sbiazar@cabq.gov>; Williams, Brennon <bnwilliams@cabq.gov>
Cc: Brissette, Renee C. <rbrissette@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Blount, Veronica <vblount@cabq.gov>; Gomez, Ernest P. <epgomez@cabq.gov>
Subject: RE: 7447 Pan American Freeway

Hi Shahab,

Thank you very much for your quick response! Shawn Biazar will be the Civil Engineer that our architect will consult with during the permit process. We cannot thank you all enough for your hard work and time.

Thank You,
Michael

From: Biazar, Shahab <sbiazar@cabq.gov>

Sent: Thursday, June 3, 2021 2:41 PM

To: Mike Silva <mike@carloinc.com>; Williams, Brennon <bnwilliams@cabq.gov>

Cc: Brissette, Renee C. <rbrissette@cabq.gov>; Armijo, Ernest M. <earmijo@cabq.gov>; Blount, Veronica <vblount@cabq.gov>; Gomez, Ernest P. <epgomez@cabq.gov>

Subject: RE: 7447 Pan American Freeway

Mr. Silva,

I talked with Renee regarding your project. Your architect was notified regarding the need for a grading and drainage plan. But unfortunately your architect decided to prepare the grading plan himself. An architect, under the NM Board of Licensing, is not allowed to prepare a grading and drainage plan. A grading and drainage plan must be prepared by a Professional Civil Engineer. And as of today a grading and drainage plan is not submitted by a Professional Civil Engineer. I do not believe the delay in obtaining a building permit was caused by City staff. At this point (given the size of the project) we are willing to approve the building permit without a grading and drainage plan as long as you will hire a Civil Engineer to guide you during the building permit process. Then we would need an as-built drawing along with the drainage analysis prior to Certification of Occupancy. Please let us know who is going to be your Civil Engineer, so we can have further discussion for requirements of the Certification of Occupancy.

Thanks



SHAHAB BIAZAR, P.E.

city engineer

development review services

o 505.924.3999

e sbiazar@cabq.gov

cabq.gov/planning

From: Mike Silva <mike@carloinc.com>

Sent: Thursday, June 3, 2021 12:53 PM

To: Biazar, Shahab <sbiazar@cabq.gov>; Williams, Brennon <bnwilliams@cabq.gov>

Subject: RE: 7447 Pan American Freeway

External

Hi Brennon and Shahab,

Would you mind giving me a hand with a permit for 7447 Pan American Freeway. We have been waiting for many months to have this reviewed and it is currently sitting with Renee in Hydrology. Our architect is frustrated and does not know what else he can do to satisfy this department. Our project costs have increased by 30% since it has been in review by the city. I understand that you have quite a bit going on in your offices and only have so many people to address all

the work you see. I would really appreciate it if you could assist us in this matter. Thank you for your time and hard work.

Thank You,
Michael

From: Biazar, Shahab <sbiazar@cabq.gov>
Sent: Friday, June 26, 2020 11:20 AM
To: Williams, Brennon <bnwilliams@cabq.gov>
Cc: Mike Silva <mike@carloinc.com>
Subject: RE: 3600 Osuna Rd. NE

Hi,

I already inform our staff to process the permit, but we have not received an application as of today.

Thanks



SHAHAB BIAZAR, P.E.
city engineer
development review services
o 505.924.3999
e sbiazar@cabq.gov
cabq.gov/planning

From: Williams, Brennon
Sent: Friday, June 26, 2020 10:47 AM
To: Biazar, Shahab <sbiazar@cabq.gov>
Cc: mike@carloinc.com
Subject: FW: 3600 Osuna Rd. NE

Shahab – Would you please have staff confirm that they’ve updated DPS that this proposal can move forward to create the outdoor seating area as we’ve discussed? Thank you, Brennon



BRENNON WILLIAMS
planning director
o 505.924.3454

e bnwilliams@cabq.gov
cabq.gov/planning

From: Biazar, Shahab

Sent: Wednesday, June 17, 2020 4:27 PM

To: Wolfley, Jolene <jwolfley@cabq.gov>; Williams, Brennon <bnwilliams@cabq.gov>

Cc: Griego, Robert E. <regriego@cabq.gov>; Grush, Matthew P. <mgrush@cabq.gov>; Gould, Maggie S. <MGould@cabq.gov>; Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>

Subject: RE: 3600 Osuna Rd. NE

I just talked with our Transportation group, and no plans were submitted. They are wanting to have a seating area in the grass area in front of the Café. I do not see an issue with them wanting to use the area. I believe there might be a way for them to create the seating area by just building a wood deck (including ramps for ADA) or something similar. This would be cheaper and can be considered a temporary structure instead of concrete surface and possible need for retaining wall. If they decide to keep it, they can always submit an amendment to the site plan (if one exists).





Thanks



SHAHAB BIAZAR, P.E.
city engineer
development review services
o 505.924.3999
e sbiazar@cabq.gov
cabq.gov/planning

From: Biazar, Shahab
Sent: Wednesday, June 17, 2020 4:01 PM
To: Wolfley, Jolene <jwolfley@cabq.gov>; Williams, Brennon <bnwilliams@cabq.gov>
Cc: Griego, Robert E. <regriego@cabq.gov>
Subject: RE: 3600 Osuna Rd. NE

Hi,

I will check with our Transportation group on the details and see what we can do.

Thanks



SHAHAB BIAZAR, P.E.
city engineer
development review services
o 505.924.3999
e sbiazar@cabq.gov
cabq.gov/planning

From: Wolfley, Jolene
Sent: Wednesday, June 17, 2020 3:53 PM
To: Williams, Brennan <bnwilliams@cabq.gov>; Biazar, Shahab <sbiazar@cabq.gov>
Cc: Griego, Robert E. <regriego@cabq.gov>
Subject: RE: 3600 Osuna Rd. NE

I am still checking on this one. Maggie is not feeling well and I am not sure I will reach her.

From: Williams, Brennan
Sent: Wednesday, June 17, 2020 1:14 PM
To: Wolfley, Jolene <jwolfley@cabq.gov>; Biazar, Shahab <sbiazar@cabq.gov>
Cc: Griego, Robert E. <regriego@cabq.gov>
Subject: 3600 Osuna Rd. NE

Jolene / Shahab –

Would you please look into a request for creating an outdoor dining area at the subject address for Vic's Daily Café? I'm told that the owner has hired DPS to assist with their request but they've been informed by Matt Grush and Maggie that the installation of a 24" retaining wall and concrete surfacing for outdoor seating is a "permanent" improvement, not a temporary one. Like our efforts with all businesses during this time, I'd like to see if we can't find a way to make this proposal happen to be of significant assistance.

Thanks,
Brennon



BRENNON WILLIAMS
planning director
o 505.924.3454
e bnwilliams@cabq.gov
cabq.gov/planning



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Deck Enclosure Building Permit #: 21-07042 Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Al Al Academ 4 for Boys

City Address: 1447 Pan America Fwy NE

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Scott Anderson Contact: _____

Address: 4419 4th St NW #B, Alb. NM 87107 scott@

Phone#: 505 401 7575 Fax#: _____ E-mail: scanditecs.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☒ OTHER (SPECIFY) TCL Cert

DATE SUBMITTED: 9/28/2021 By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____