

KEYED NOTES

- 1 EXISTING PROPERTY LINE
- 2 NEW STRUCTURE
- 3 SCREEN WALL
- 4 CONCRETE DRIVEPAD PER C.O.A. STANDARD DRAWING.
- 5 EXISTING BUILDING TO REMAIN
- 6 REFUSE ENCLOSURE PER C.O.A. STANDARD
- 7 4" CONCRETE SIDEWALK
- 8 LANDSCAPE AREA
- 9 HANDICAPPED CURB RAMP
- 10 6" CMU WALL @ PROPERTY LINE
- 11 PAINTED PARKING STRIPING
- 12 FENCE LINE ON PROPERTY LINE
- 13 CONCRETE RETAINING WALL
- 14 6'-0" CONCRETE PARKING WHEEL STOP
- 15 ASPHALT PAVEMENT
- 16 6" CONCRETE CURB
- 17 2" DIA. PAINTED STEEL TUBE BICYCLE RACK
- 18 HC ACCESSIBLE SIGN, TO BE CENTERED IN FRONT OF PARKING SPACE
- 19 STRIPED HC ACCESS AREA
- 20 SCREEN WALL
- 21 POWER/TELEPHONE RISER

BENCHMARK: ACS 11-D17 ELEVATION 5098.59

ACS 40-PENNY NAIL IN THE NORTH SIDE OF THE MOST NORTHERLY POLE OF TWO DOUBLE PYLONS ON ELECTRIC TRANSMISSION LINES WITH POLE NO. "TET" AND WITH PNM PLATE "G13B, 40" ON THE NORTH SIDE OF THE PINO ARROYO, 0.41 MILES + WEST OF THE CENTERLINE OF JEFFERSON ST. NE, BETWEEN DETENTION BASIN AND WETLANDS POND, 0.3 FT. ABOVE GROUND.

KEYED NOTES

- 1. ALL WALLS TO BE GROUTED.
- 2. HORIZONTAL REINFORCEMENT ALL WALLS TO BE 3" DIA. @ 4" OC.
- 3. NOTE: THIS DESIGN DOES NOT INCLUDE THE PRIVACY WALL ON TOP OF RETAINING WALL.

	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"	9'-0"
1	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
2	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
3	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
4	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
5	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
6	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
7	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
8	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
9	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
10	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
11	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
12	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
13	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
14	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
15	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
16	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
17	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
18	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
19	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
20	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
21	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"

NOT TO SCALE

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAIL ON THIS PLAN TO BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERMEDIATE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1234) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ADJACENT STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE PLAN.
9. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
10. CONTRACTOR IS RESPONSIBLE FOR KEEPING PAVED OFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT AND DEBRIS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

GRADING AND DRAINAGE PLAN

1" = 20'-0"

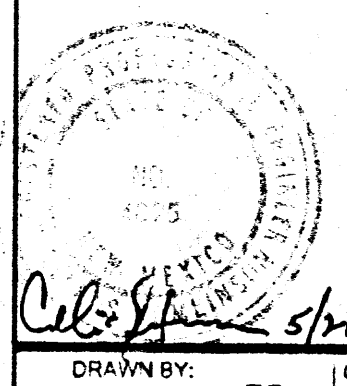
NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.

NOTE: ADD 5000 FEET TO PROPOSED SPOT ELEVATIONS TO GET MEAN SEA LEVEL DATUM ELEVATIONS.

ENGINEERS CERTIFICATION

I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE SITE AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY.

Celia S. Tomlinson 5/21/04
CELIA S. TOMLINSON, PE



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DRAWN BY: RG CHECKED BY: CT FIELD WORK BY: CX, RG DATE: 4/29/2004

REVISION	DATE	DESCRIPTION

PROJECT TITLE:	LOT 14, SOMBRA BUSINESS PARK 3801 HAWKINS STREET N.E. UPC #: 101706308812530103
SHEET TITLE:	DRAINAGE AND GRADING PLAN
MAP NO:	D-17-Z
RHOMBUS JOB NO:	04-C2-02
SHEET	C1

DRAINAGE AND GRADING PLAN

FOR
LOT 14, INTERSTATE INDUSTRIAL TRACT, UNIT 4
CITY OF ALBUQUERQUE
BERNALILLO COUNTY

FLOODPLAIN INFORMATION: The property is located in Zone X, areas determined to be outside the 500-year floodplain, according to the Flood Insurance Rate Map of Bernalillo County, New Mexico and Incorporated Areas, Panel 35001C0136 E, revised April 2, 2002.

EXISTING ON-SITE CONDITIONS: The site is presently unimproved and covered with native vegetation. It is bound on the north by n/f Tract 7A1, Journal Center commercial property, on the east by the developed Lot 13-A-1 of the Interstate Industrial Park, Unit IV, on the east by the developed Lot 15 of the Interstate Industrial Park, Unit IV and on the south by paved Hawkins Street N.E. The subject property slopes west/norwest. The subject property will require cut and fill work. The surface drainage will be allowed to free discharge to westerly historic flow direction.

OFF-SITE DRAINAGE CONTRIBUTION - the subject property receives no offsite flows.

PROPOSED IMPROVEMENTS: One commercial building will be built on the subject property.

ANALYSIS PHILOSOPHY: The site will be graded such that the all post-development flows will be directed to Hawkins Street N.E. right-of-way and eventually to the existing drainage channel constructed at the cul-de-sac on the west end of the street.

EROSION CONTROL: Water from construction activities and/or rainfall shall be retained on site through temporary ponding areas to prevent any runoff from entering the streets.

NOTE: All references are to City of Albuquerque Development Process Manual, July, 1997

TOTAL LOT SIZE: 1.0220 ACRES

RAIN_ZONE_3 SEE DPM FIGURE A-1, p 22-7
100-YEAR STORM PRECIPITATION (P) DEPTHS, INCHES (DPM TABLE A-2, P22-8)
1 HR 6 HR 24 HR 4 DAY 10 DAY
2.14 2.60 3.10 3.95 4.90

100-YEAR 6-HOUR (360 MINUTE) STORM EVENT
TREATMENT CLASS A B C D
Peak, CFS/ACRE 1.87 2.60 3.45 5.02 (DPM TABLE A-9, P22-15)
E360, INCHES 0.66 0.92 1.29 2.36 (DPM TABLE A-8, P22-13)

EQUATIONS REQUIRED
OVERALL TOTAL (Q_{tot}) = Q_{wa} A_{wa} + Q_{wa} A_{wa} + Q_{wa} A_{wa} + Q_{wa} A_{wa} (DPM EQ. a-10, p 22-16)
E₃₆₀ (WEIGHTED) E = {E_{wa} A_{wa} + E_{wa} A_{wa} + E_{wa} A_{wa} + E_{wa} A_{wa}} / {A_{wa} + A_{wa} + A_{wa} + A_{wa}} (DPM EQ. a-5, p 22-14)
V₃₆₀ (VOLUME RUNOFF) V₃₆₀ = E₃₆₀ (WEIGHTED) {A_{wa} + A_{wa} + A_{wa} + A_{wa}} / 12 (DPM EQ. a-6, p 22-14)
V₃₆₀ (VOLUME) V₃₆₀ = V₃₆₀ (P₃₆₀ - P₃₆₀) / 12 IN/FT (DPM EQ. a-9, p 22-14)

EXISTING CONDITIONS
TREATMENT CLASS A B C D
ACRES 0.0000 0.0000 1.0220 0.0000
Peak, TOTAL CFS 3.53 VOL.360 CF 4.785

DEVELOPED CONDITIONS
TREATMENT CLASS A B C D
ACRES 0.1000 0.0000 0.0000 0.9220
Peak, TOTAL CFS 4.80 VOL.360 CF 8.232

INCREASE IN RUNOFF RATE 1.27 CFS
INCREASE IN RUNOFF VOLUME 3.447 CF

LEGEND

- CONCRETE WHEEL STOP
- PROPOSED CONCRETE PAVEMENT, DRIVEPAD
- ENTRY DOOR
- PROPOSED BIKE RACK LOCATION
- EXISTING FIRE HYDRANT TO REMAIN
- PROPOSED FIRE HYDRANT LOCATION
- EXISTING WATER METER TO REMAIN
- PROPOSED WATER METER
- EXISTING WATER LINE TO REMAIN
- PROPOSED WATER LINE
- EXISTING SEWER LINE TO REMAIN
- EXISTING SEWER MANHOLE
- PROPOSED SEWER LINE
- PROPOSED ELEV. CONTOUR
- EXISTING ELEV. CONTOUR TO REMAIN
- EXISTING ELEV. CONTOUR TO BE MODIFIED
- PROPOSED BUILDING FINISH FLOOR ELEV.
- PROPOSED TOP OF ASPHALT PAVEMENT SPOT ELEVATION
- PROPOSED TOP OF CONCRETE ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- ROOF FLOW DIRECTION
- EXISTING TOP OF ASPHALT ELEVATION TO REMAIN
- EXISTING TOP OF GRADE ELEVATION TO REMAIN
- EXISTING TOP OF CONCRETE ELEVATION TO REMAIN
- EXISTING TOP OF CURB ELEVATION TO REMAIN
- EXISTING FLOWLINE ELEVATION TO REMAIN

