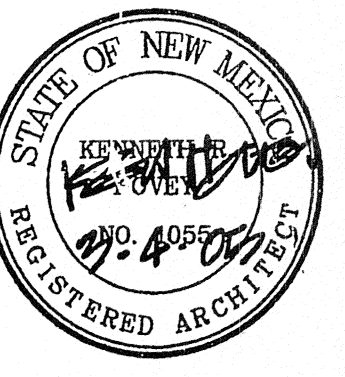




Ellison Office-Warehouse Park
4110 ELLISON STREET NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505 251-8458 • 3808 51M5 AVENUE SE • ALBUQUERQUE, NM • 8706

JOB NO: 0501

DATE: 4 MARCH 2005

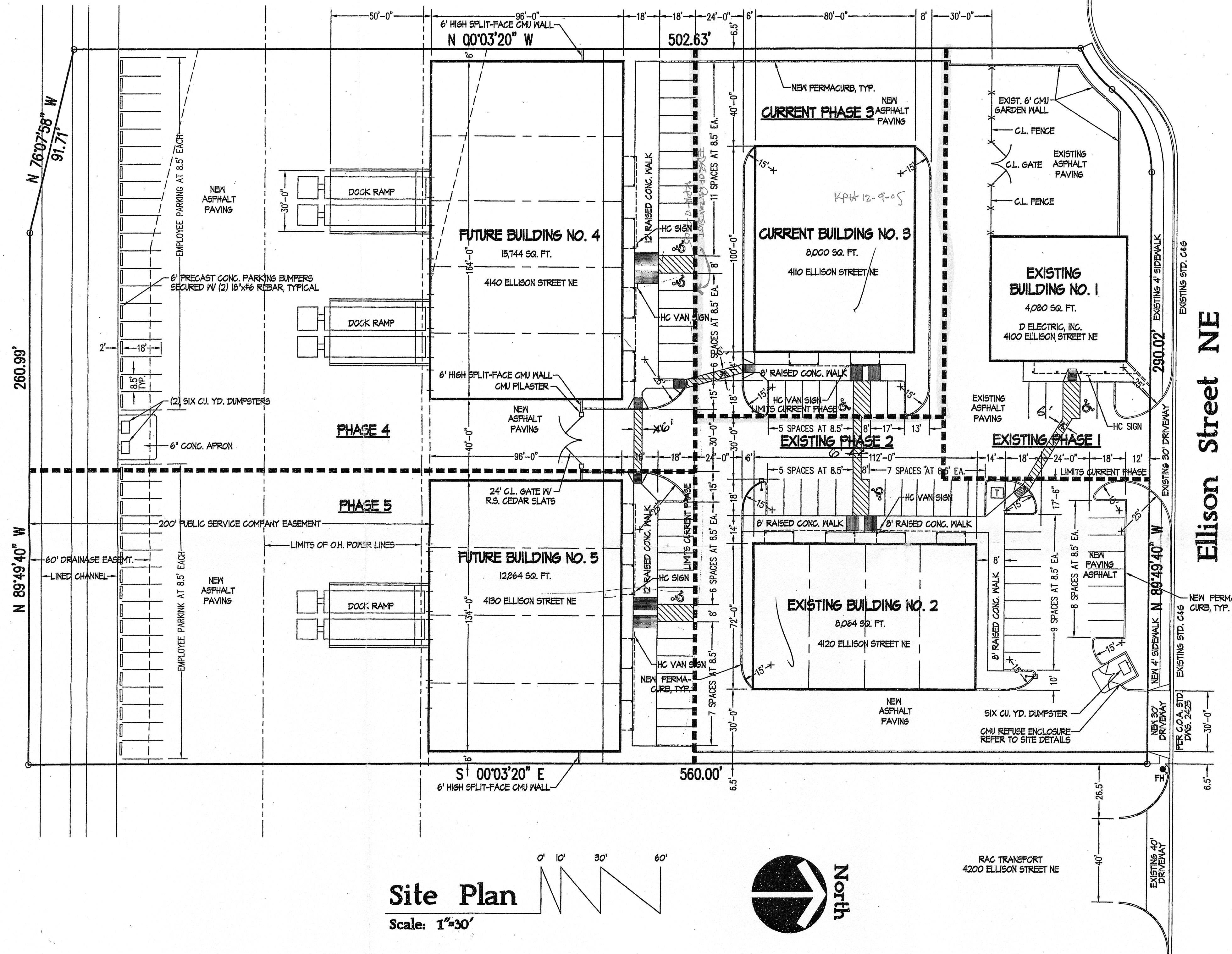
REVISIONS

SHEET NO.

C.1

Washington Street NE

Ellison Street NE



Site Plan

Scale: 1"=30'

Design Data

LEGAL DESCRIPTION: TRACT D-1-A
INTERSTATE INDUSTRIAL TRACT
UNIT 4
BERNALILLO COUNTY,
ALBUQUERQUE, NM

CURRENT ZONING: M-1

ZONE ATLAS PAGE: D-17-2

APPLICABLE BUILDING CODE: IBC-2003

SEISMIC ZONE: CATEGORY D

WIND DESIGN SPEED (3-SECOND GUST): 90 MPH

EXPOSURE: C

TYPE OF CONSTRUCTION: II-B

FIRE SPRINKLERED: YES

FLOOR AREA BUILDING NO. 3: 8,000 SQ. FT.

OFF-STREET PARKING REQUIREMENTS:
FLOOR AREAS ARE NET LEASEABLE

EXISTING BUILDING NO. 1:
EXISTING OFFICE: 1,035 SF
EXISTING WAREHOUSE: 2,454 SF
(1,035/200)+(2,454/2,000)=6.4=7 SPACES

EXISTING BUILDING NO. 2:
OFFICE: 1,770 SF
WAREHOUSE: 6,050 SF
(1,770/200)+(6,050/2,000)=11.9=12 SPACES

CURRENT BUILDING NO. 3:
(ASSUMED) OFFICE: 1,770 SF
WAREHOUSE: 5,992 SF
(1,770/200)+(5,992/2,000)=11.9=12 SPACES

REQUIRED FOR PHASES 1, 2 & 3: 31 SPACES
PROVIDED FOR PHASES 1, 2 & 3: 40 SPACES
INCLUDES 3 DESIGNATED DISABLED SPACES

ENTIRE SITE/ALL BUILDINGS:
(ASSUMED) OFFICE: 8,789 SF
WAREHOUSE: 38,242 SF
(8,789/200)+(38,242/2,000)=63 SPACES

REQUIRED FOR ALL BUILDINGS: 63 SPACES
PROVIDED FOR ALL BUILDINGS: 70 SPACES
INCLUDES 6 DESIGNATED DISABLED SPACES

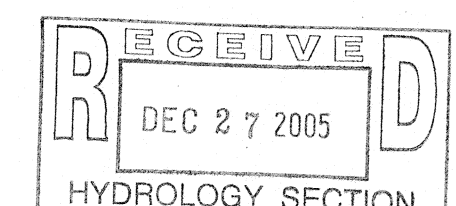
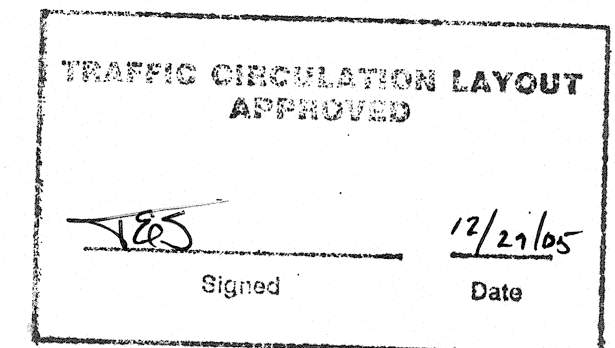
PARKING NOTE:
THE 37 PARKING SPACES ADJACENT TO THE
DRAINAGE CHANNEL NEAR THE SOUTH
PROPERTY LINE ARE NOT INCLUDED IN THE
PARKING CALCULATION. THEY ARE NOT
REQUIRED PARKING SPACES.

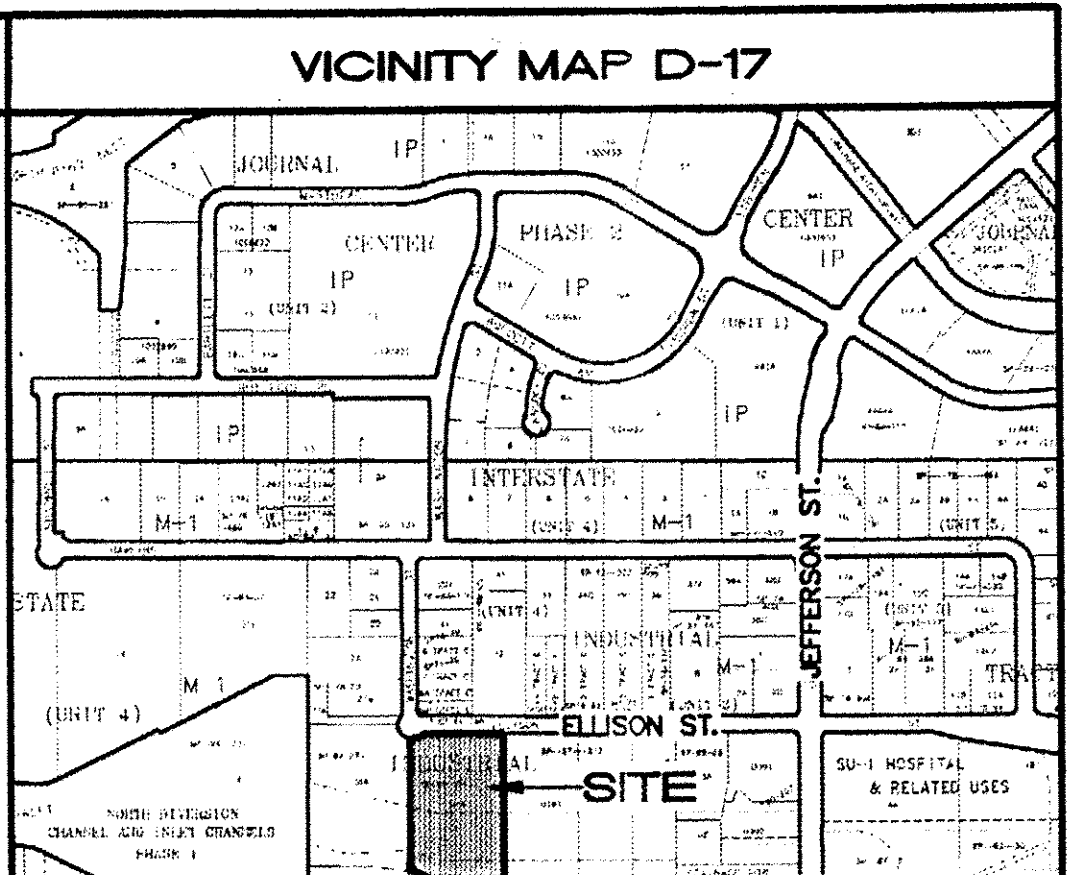
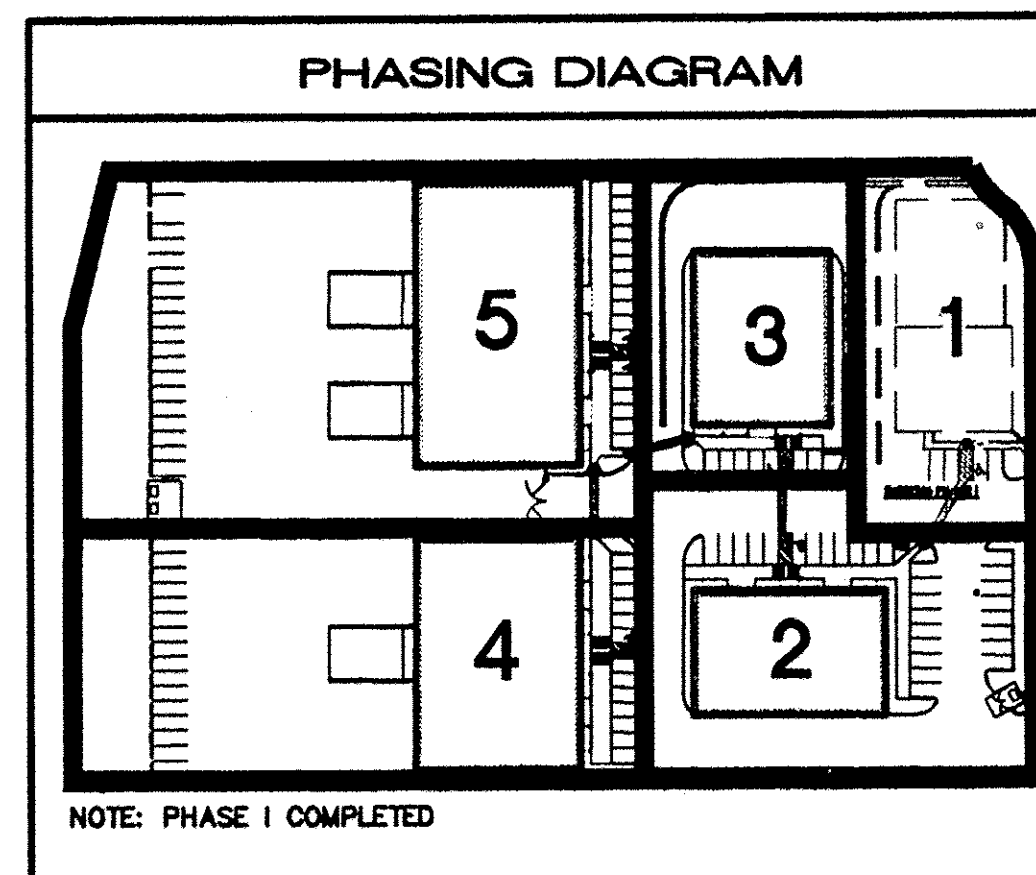
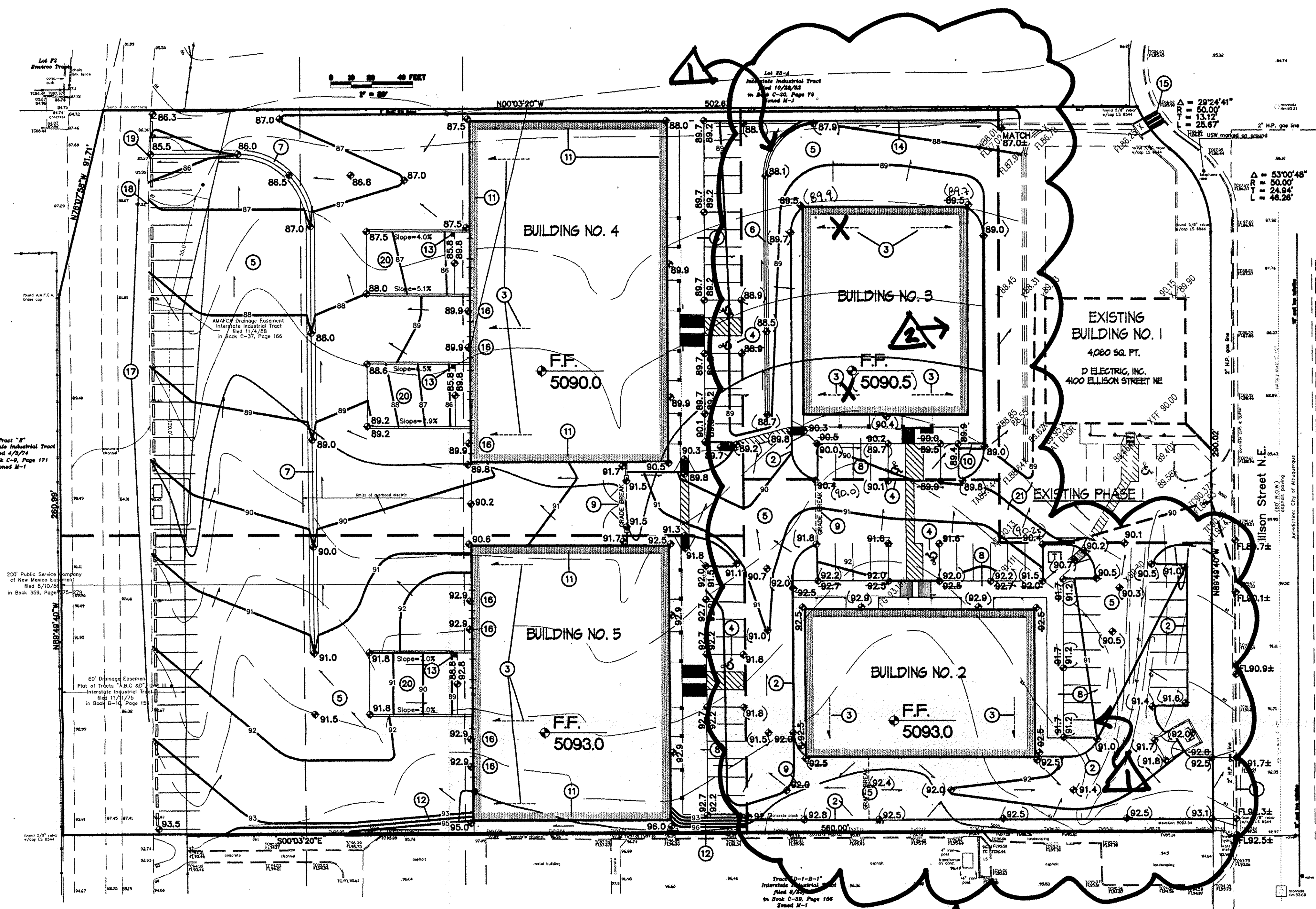
ASPHALT DESIGN:

STRIPPED PARKING SPACE AREAS:
3" OF ASPHALT PAVING ON SUB-GRADE COMPACTED
TO 95 PERCENT OF PROCTOR DENSITY.

INTERNAL CIRCULATION AREAS:
3" OF ASPHALT PAVING ON 4" AGGREGATE BASE
COURSE OVER SUB-GRADE COMPACTED TO 95
PERCENT OF PROCTOR DENSITY.

AREAS WHERE SEMI TRUCKS MANUEVER:
3" OF ASPHALT PAVING ON 6" AGGREGATE BASE
COURSE OVER SUB-GRADE COMPACTED TO 95
PERCENT OF PROCTOR DENSITY.





GENERAL NOTES

LEGAL: TRACT "D-1-A" OF SUBDIVISION MAP FOR TRACT "D-1" INTERSTATE INDUSTRIAL TRACT, ALBUQUERQUE, NEW MEXICO

SURVEYOR: FORSTBAUER SURVEYING L.L.C. 268-2112

B.M.: BENCHMARK: CITY OF ALBUQUERQUE 9-D17. A 40-PENNY NAIL IN THE SOUTH POLE OF PYLON ARE LOCATED ALONG AN ELECTRIC TRANSMISSION LINE 0.50 MILES WEST OF I-25 AND ON THE PROJECTED CENTERLINE OF SAN ANTONIO DRIVE NE. NGVD 1929 ELEVATION: 5124.40

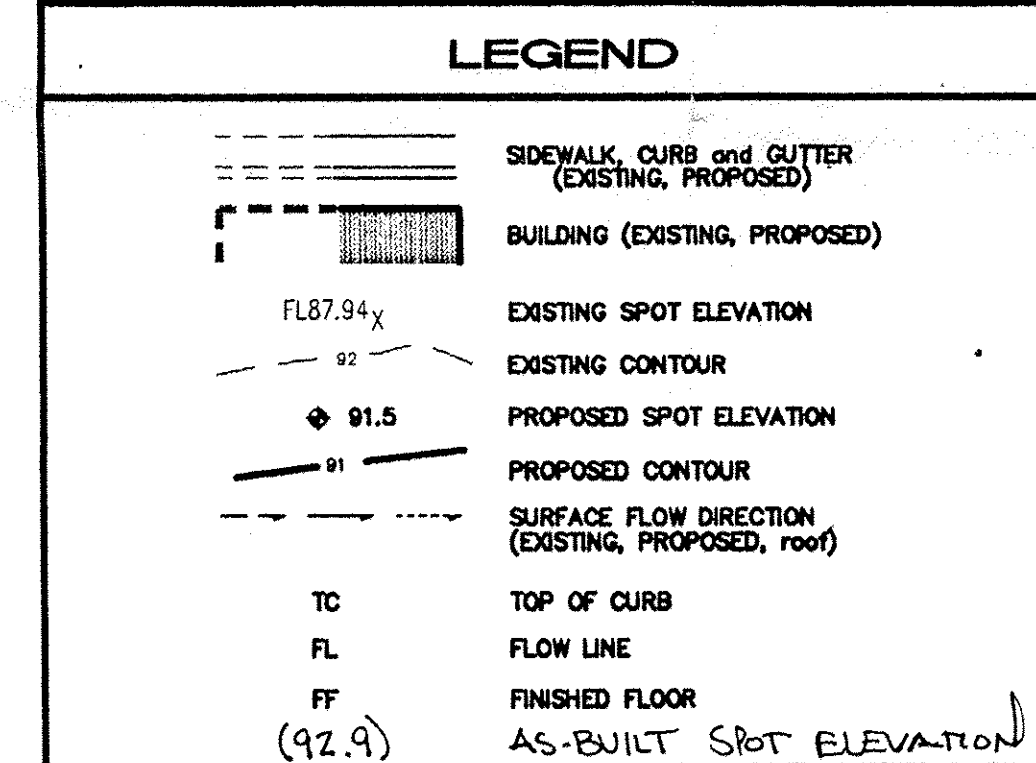
OFF-SITE DRAINAGE: BASED ON FIELD INSPECTION, NO OFFSITE FLOWS IMPACT THIS PROPERTY.

FLOOD HAZARD: PER THE BERNALILLO COUNTY FIRM MAP #136, THE SITE IS NOT LOCATED WITHIN A FLOOD ZONE.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST AND NORTH PROPERTY LINES.

PHASED CONSTRUCTION: BUILDINGS WILL BE CONSTRUCTED IN PHASES WITH INDIVIDUAL SUBMITTALS FOR CERTIFICATES OF OCCUPANCY AS EACH BUILDING IS COMPLETED. SEE PHASE DIAGRAM THIS SHEET FOR BUILDING CONSTRUCTION PHASES. NOTE: PHASE 1 HAS BEEN CONSTRUCTED AND CERTIFIED.

- KEYED CONSTRUCTION NOTES**
1. CONSTRUCT DRIVEPAD ENTRANCE WITH 0.8' MIN. WATERBLOCK. PER C.O.A. STD. DWG. 2425 PROVIDE SMOOTH RIDING TRANSITION.
 2. CONSTRUCT "MEDIAN CURB AND GUTTER" PER C.O.A. STD. DWG. 2415 AT ALL ON-SITE CURB LOCATIONS. TYP.
 3. ROOF FLOWS TO DRAIN IN DIRECTIONS INDICATED. ALL ROOF FLOWS TO BE RELEASED DIRECTLY INTO ADJACENT ASPHALT PARKING AREAS. SEE ARCHITECTURAL FOR SPECIFIC ROOF DRAIN LOCATIONS.
 4. HANDICAP PARKING AREA. SEE ARCHITECTURAL FOR ACCESSIBLE RAMP LOCATIONS, DETAILS AND ADDITIONAL INFORMATION.
 5. PROPOSED ASPHALT PAVING AT ELEVATIONS SHOWN. PROVIDE SHALLOW SWALES (MIN. SLOPE = 1%) WITHIN PAVEMENT AS INDICATED TO DIRECT FLOW. SEE ARCHITECTURAL FOR PAVING SECTIONS, STRIPING, ETC.
 6. CONSTRUCT 2' WIDE X 8" THICK X 1" DEPRESSED CONCRETE ALLEY GUTTER THROUGH ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE = 0.0050'/'. SEE C.O.A. STD. DWG. 2415 (SIMILAR TO ALLEY GUTTER).
 7. CONSTRUCT 4' WIDE X 8" THICK X 2" DEPRESSED CONCRETE VALLEY GUTTER THROUGH ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE = 0.0050'/'. SEE C.O.A. STD. DWG. 2415 (SIMILAR TO ALLEY GUTTER).
 8. CONSTRUCT SIDEWALK (WITH TURNED DOWN EDGE IF ADJACENT TO PAVING) THIS AREA. SEE ARCHITECTURAL FOR WIDTH, MATERIAL AND ADDITIONAL INFORMATION.
 9. HIGH POINT IN PAVEMENT THIS AREA AS SHOWN.
 10. PROVIDE 1' WIDE OPENING IN PARKING ISLAND THIS AREA TO ALLOW MINOR FLOWS TO PASS.
 11. CONSTRUCT RETAINING / EXTENDED STEMWALL AS REQUIRED TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
 12. PROVIDE MAX. 2:1 ASPHALT PAVED SIDE SLOPE OR CONSTRUCT SITE RETAINING WALL AS REQUIRED THIS AREA TO ACHIEVE GRADE DIFFERENCE SHOWN.
 13. INSTALL SUMP INLET / SUMP PUMP AT LOW POINT TO DRAIN DOCK AREA. INSTALL 24" DIA. X 3' DEEP ADS NYLOPLAST DRAIN BASIN WITH 24" GRATE (H-10) ON 36"x36"x4" THICK CONCRETE BASE. INSTALL ELECTRICITY TO DRAIN BASIN. INSTALL ELECTRIC SUMP PUMP (HYDROMATIC SW33) TO PUMP DOCK FLOW TO ADJACENT PAVEMENT.
 14. CONSTRUCT 2' GUTTER WIDTH X 1' CURB HEIGHT CONCRETE CURB / GUTTER TO DIRECT CONCENTRATED FLOWS TO ELLISON STREET. SEE DETAIL THIS SHEET.
 15. EXISTING SIDEWALK CULVERTS CONSTRUCTED AS PART OF PHASE I.
 16. PROPOSED OVERHEAD / ENTRY DOORS TO BE FLUSH WITH ADJACENT ASPHALT PAVEMENT. ENSURE POSITIVE DRAINAGE AWAY FROM DOORS (MIN. SLOPE = 1%).
 17. PROVIDE THICKENED ASPHALT EDGE AT EDGE OF PAVEMENT. MIN. 8" THICK X 12" WIDE X LENGTH.
 18. EXISTING 12' WIDE MAINTENANCE ROAD THIS AREA SHALL NOT BE OBSTRUCTED.
 19. EXTEND CONCRETE VALLEY GUTTER TO EDGE OF PAVEMENT. RELEASE FLOWS AT LOW POINT TO PASS OVER MAINTENANCE ROAD TO CHANNEL.
 20. CONSTRUCT LOADING DOCK RETAINING WALLS THIS AREA. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
 21. REMOVE / REPLACE ASPHALT THIS AREA TO ACHIEVE SMOOTH TRANSITION.



I, Scott M. McGee, NMPE No. 10519 of the firm Isaacson & Arfman, P.A. hereby certify that this project (Bldgs. 2 and 3) has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 09-20-04. The record information edited onto the original design document has been obtained by Joaquim Arguelles, Jr., NMPS 7472. I further certify that I or a member of my firm under my direct supervision have visited the project site on 9-20-05 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent Certificate of Occupancy.

AREAS OF MODIFICATION BETWEEN APPROVED DRAINAGE GRADING PLAN AND ACTUAL AS-BUILT

1. Birdbath within pavement this area - recommended correction to owner.
2. Building 3 roof discharges to north only. OK

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

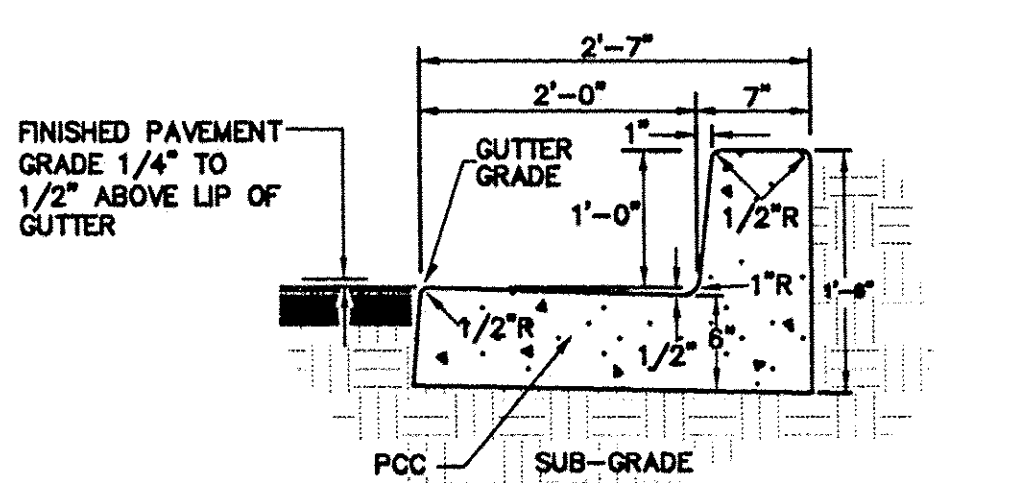
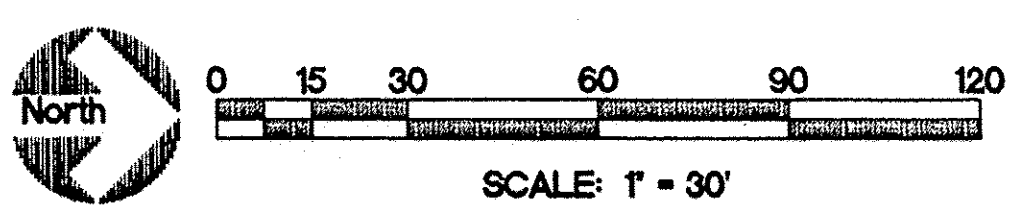
Scott M. McGee 9/21/05
SCOTT M. MCGEE NMPE #10519 DATE

Survey Notes	
1. Underground structures, including but not limited to utilities, are not a part of this survey.	
2. Waterline & sanitary sewer locations were provided by City of Albuquerque, Public Works Department.	
3. Per FIRM Flood Insurance Rate Map, Bernalillo County, New Mexico, and Incorporated Areas, Panel 136 of 825, Map No. 35001C0136 D, effective September 20, 1996, the subject property is located in Zone X, areas to be determined to be outside 500-year floodplain, and the 100-year flood is confined to constructed channel.	
4. Per the City of Albuquerque Transportation Department there are no planned street widenings anticipated.	
5. Measured bearings & distances are identical to record bearings & distances.	

LEGEND	
TBM - Temporary Bench Mark	
PP - power pole	
LP - light pole	
TC - top of curb	
FL - flow line	
LS - landscaping conc. - concrete	
HP - high pressure	

Note:	
A. Zoning information is as shown in 1999 City of Albuquerque Zone Atlas.	
B. Gas line location was provided by PNM Electric & Gas Services and its location should be considered approximate.	

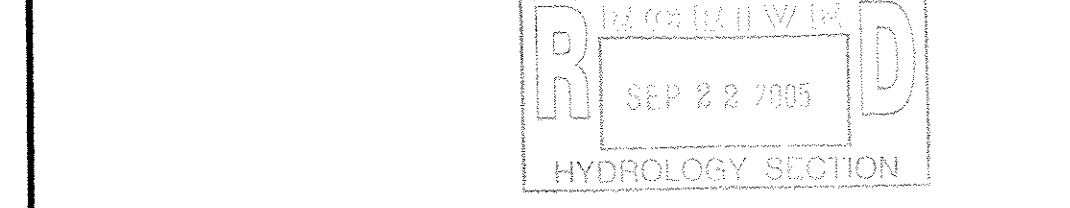
Documents used:	
1. Plot of Tract D-1, Interstate Industrial Tract filed 11/04/1988, Volume C37, Folio 166.	
2. Plot of Tracts D-1-B-1 & D-1-C-2-A, Interstate Industrial Tract, filed 08/23/1989 Volume C39, Folio 156.	
3. Title Commitment No. 01993840, issued by First American Title Company, effective November 19, 1999.	



GENERAL NOTES

1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
2. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.

CHANNEL CURB AND GUTTER
SEE KEYED NOTE #14



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-263-8828 Fax: 505-268-2632
1390GRD.dwg/b/b 09.20.04

D ELECTRIC PHASES 2 THROUGH 5			
DRAINAGE AND GRADING PLAN			
Checked By: SM	Drawn By: BJB	No. 1390	Revision
Date: 09.20.04	Job Number: 1390		C-1
			SH OF

SEP 18 2000
HYDROLOGY SECTION

KEYNOTES

1. CONSTRUCT SITE ENTRANCE / VALLEY GUTTERS / 0.01 MIN. WATERFLOWS AT ELEVATIONS SHOWN. PROVIDE VALLEY GUTTER TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER PER C.O.A. STD. DWG. 2420. TRANSITION FROM STANDARD C.O.A. TO VALLEY GUTTER ON 5' SLOPE. CONSTRUCT HANDICAP ACCESS RAMP WHERE SHOWN PER C.O.A. STD. DWG. 2415.
2. CONSTRUCT MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 AT ALL CURB LOCATIONS. WHEN GUTTER CONCENTRATED FLOWS, AND AS NOTED.
3. CONSTRUCT CONCRETE HEADER CURB PER C.O.A. STD. DWG. 2415 AT ALL CURB LOCATIONS UNLESS NOTED.
4. ROOF FLOWS TO DRAIN IN DIRECTIONS INDICATED. ALL ROOF FLOWS TO BE RELEASED DIRECTLY INTO ADJACENT ASPHALT PARKING AREAS. SEE ARCHITECTURAL FOR SPECIFIC ROOF DRAIN LOCATIONS.
5. HANDICAP PARKING AREA. SEE ARCHITECTURAL FOR ACCESSIBLE RAMP LOCATIONS AND ADDITIONAL INFORMATION.
6. PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR PAVING SECTIONS, STRIPING, ETC.
7. PROVIDE SHALLOW SWALE WITHIN ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE: 0.0007.
8. CONSTRUCT 2' WIDE X 6" THICK X 2' DEEPRESSED CONCRETE ALLEY BUTTER THROUGH ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE: 0.0007. SEE C.O.A. STD. DWG. 2415 SIMILAR TO ALLEY BUTTER.
9. CONSTRUCT 4' WIDE X 6" THICK X 2' DEEPRESSED CONCRETE VALLEY GUTTER THROUGH ASPHALT PAVING TO DIRECT FLOWS AS SHOWN. MINIMUM SLOPE: 0.0007. SEE C.O.A. STD. DWG. 2415.
10. CONSTRUCT SIDEWALK WITH TURNED DOWN EDGE IF ADJACENT TO PAVING. THIS AREA. SEE ARCHITECTURAL FOR WIDTH, MATERIAL, AND ADDITIONAL INFORMATION.
11. HIGH POINT IN PAVEMENT THIS AREA AS SHOWN.
12. PROVIDE 1' WIDE OPENING IN CURB THIS AREA TO ALLOW MINOR FLOWS TO PASS.
13. CONSTRUCT RETAINING / EXTENDED STEPMILL AS REQUIRED TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
14. PROVIDE MAX. 21' LANDSCAPED SIDE SLOPE OF CONSTRUCT SITE RETAINING WALL AS REQUIRED. THIS AREA. A COMBINATION OF BOTH TO ACHIEVE GRADE DIFFERENCE SHOWN.
15. INSTALL SUMP INLET / SUMP PUMP AT LOW POINT TO DRAIN DRAIN AREA DISCHARGE TO ADJACENT PAVEMENT.
16. CONSTRUCT 2' BOTTOM WIDTH X 1' HIGH CONCRETE CURB BUTTER TO DIRECT CONCENTRATED FLOWS TO ELLISON STREET. SEE DETAIL THIS SHEET.
17. CONSTRUCT THREE 18" BOTTOM WIDTH X 8' LONG SIDEWALK CULVERTS PER C.O.A. STD. DWG. 2235 WITH FLOWLINE ELEVATIONS AS SHOWN.
18. PROVIDE THREE 18" WIDE X 8" HIGH OPENING IN WALL AT GUTTER FLOWLINE TO ALLOW CONCENTRATED FLOWS TO PASS TO SIDEWALK CULVERT. CONSTRUCT 6" WIDE X 1' DEEP CONCRETE CHANNEL TO SIDEWALK CULVERT AS SHOWN.
19. CONSTRUCT CONCRETE CUT-OFF WALL AT ELEVATIONS SHOWN. FLOW WITH TOP OF ASPHALT PAVING. THIS AREA TO TRANSITION TO GRAVEL PAVING. SEE C.O.A. STD. DWG. 2415 FOR ADDITIONAL INFORMATION.
20. ENSURE POSITIVE DRAINAGE AWAY FROM OVERHEAD / ENTRY DOORS FLOW WITH PAVEMENT.
21. MINOR FLOWS THIS AREA SHALL BE UTILIZED WITHIN LANDSCAPING WITH STORM RELEASED OVER WEST WALK.
22. EDGE OF ASPHALT PAVING THIS AREA.
23. EXISTING 12' WIDE MAINTENANCE ROAD THIS AREA SHALL NOT BE CONSTRUCTED. FLOWS WILL BE RELEASED AT LOW POINT AND WILL PASS OVER MAINTENANCE ROAD TO CHANNEL.
24. PROPOSED GRAVEL PAVING. SEE ARCHITECTURAL FOR PAVING SECTIONS, ETC.
25. CONSTRUCT LOADING DOCK RETAINING WALL THIS AREA. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
26. RELATIONSHIP OF TOP OF ASPHALT TO TOP OF WALK PAVED TO PROVIDE DRAINAGE THIS AREA.
27. CONSTRUCT 6" WIDE ASPHALT PAVEMENT ADJACENT TO CHANNEL. GUTTER AT ELEVATIONS SHOWN.

GENERAL NOTES:

1. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
2. ALL SPOT ELEVATIONS WITHIN PAVEMENT AREA REPRESENT TOP OF PAVING UNLESS NOTED. ADD 0.5" TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS.
3. SEE TOPOGRAPHIC / BOUNDARY SURVEY FOR ALL EASEMENT INFORMATION.

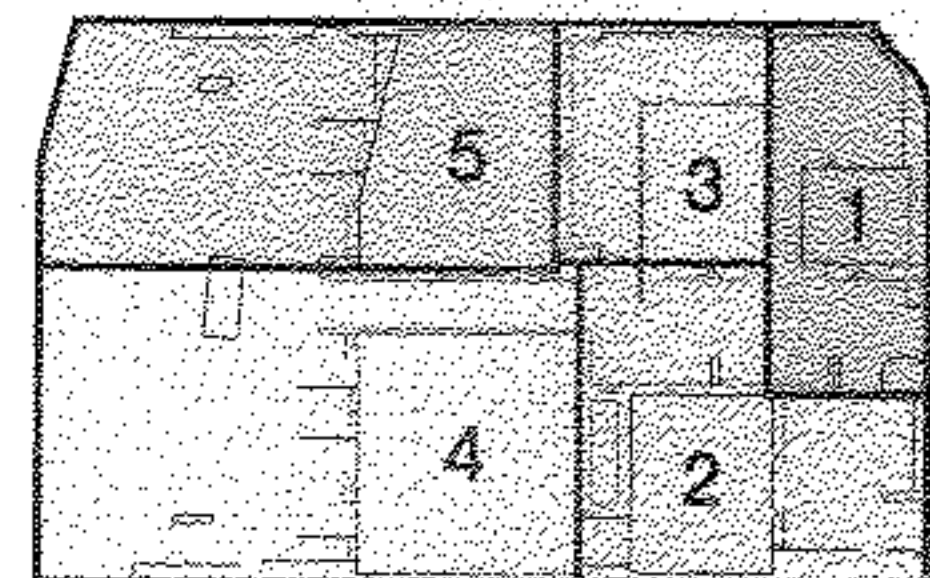
CL. WEISS ENGINEERING, INC.

CL. WEISS ENGINEERING, INC.
10000 N. ALBUQUERQUE BLVD. SUITE 100
ALBUQUERQUE, NM 87112
TEL: 505.261.1111
FAX: 505.261.1112
WWW.CLEWEISS.COM

ELLISON OFFICE
WAREHOUSE PARK
LEE GAMESKY, ARCHITECT - P.C.
Drainage and Grading Plan
C-1
SEP 18 2000



0 30 60 90

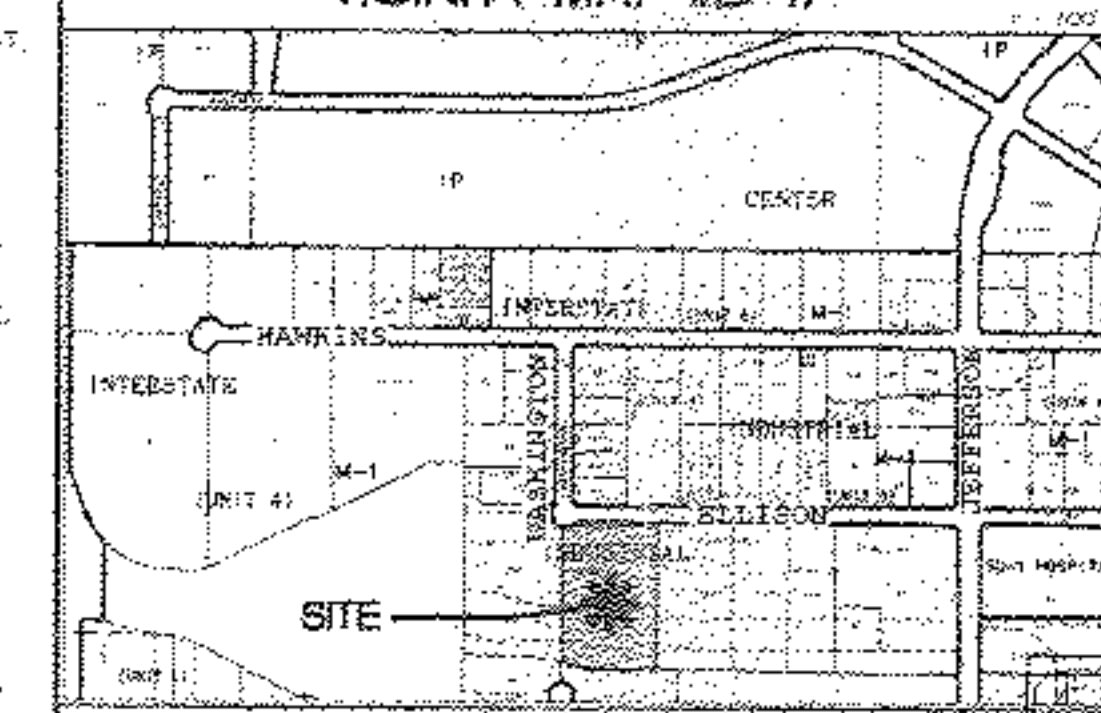


PHASE DIAGRAM

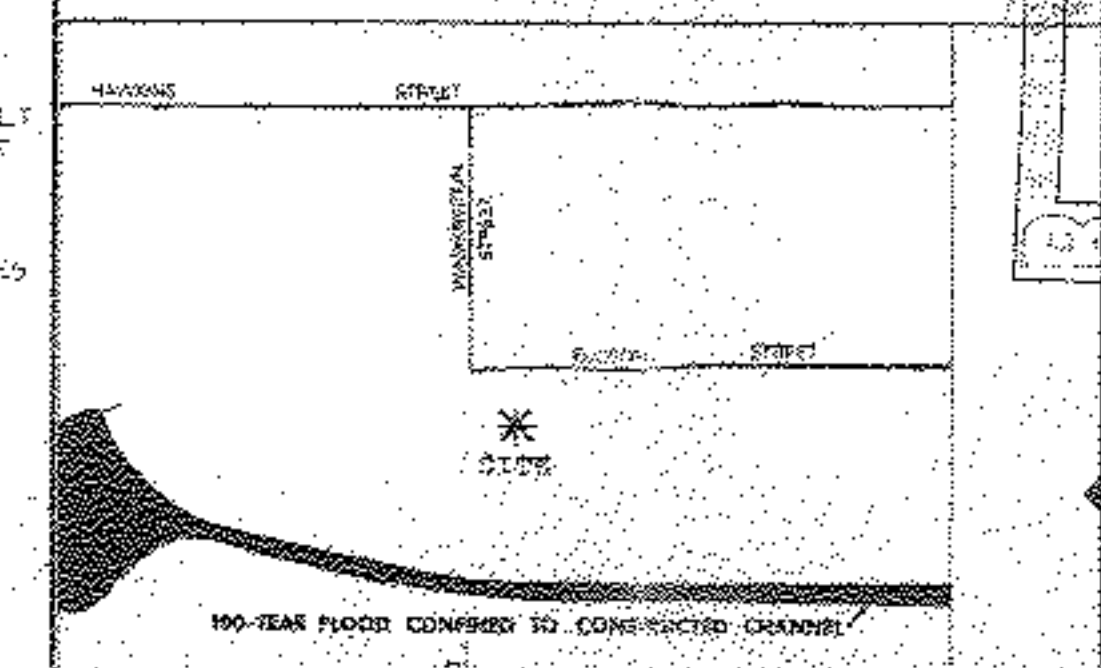
LEGEND

- SIDEWALK, CURB AND GUTTER EXISTING PROPOSED
- PROPOSED PAVED DRIVE
- BUILDING EXISTING PROPOSED
- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- SURFACE FLOW DIRECTION
- UNDERPAVED AREA
- TOP OF GRADE WALL 1' HIGH
- TOP OF RETAINING WALL 1' HIGH
- TOP OF ASPHALT
- TOP OF CURB
- FLOW LINE
- FINISHED FLOOR
- RIGHT OF WAY
- PROPERTY LINE
- POWER POLE
- ENTRY / EXIT LOCATION

VICINITY MAP #D-17



FIRM MAP #136



LEGAL TRACT D-1-A OF SUBDIVISION MAP FOR TRACT D-1 INTERSTATE INDUSTRIAL TRACT, ALBUQUERQUE, NEW MEXICO

SUBJECT: FORSTDAUER SURVEYING L.L.C. 208-212

B.M. BENCHMARK CITY OF ALBUQUERQUE 4-DIT A 40' PRINT NAIL IN THE SOUTH POLE OF Pylon SIGN LOCATED ALONG AN ELECTRIC TRANSMISSION LINE 0.50 MILES WEST OF I-25 AND ON THE PROPOSED CENTERLINE OF SAN ANTONIO DRIVE NE NOVD 1125 ELEVATION: 5124.40

OFF-SITE DRAINAGE: BASED ON FIELD INSPECTION, NO OFF-SITE FLOWS IMPACT THIS PROPERTY.

FLOOD HAZARD: PER THE BERNALILLO COUNTY FIRM MAP #136, THE SITE IS NOT LOCATED WITHIN A FLOOD ZONE.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BARRIERS OR SILT FENCES AT THE LOW POINTS ON THE WEST AND NORTH PROPERTY LINES.

PHASED CONSTRUCTION: BUILDINGS WILL BE CONSTRUCTED IN PHASES WITH INDIVIDUAL SUBMITTALS FOR CERTIFICATES OF OCCUPANCY AS EACH BUILDING IS COMPLETED. SEE PHASE DIAGRAM THIS SHEET FOR BUILDING CONSTRUCTION PHASES.

NOTICE TO CONTRACTOR

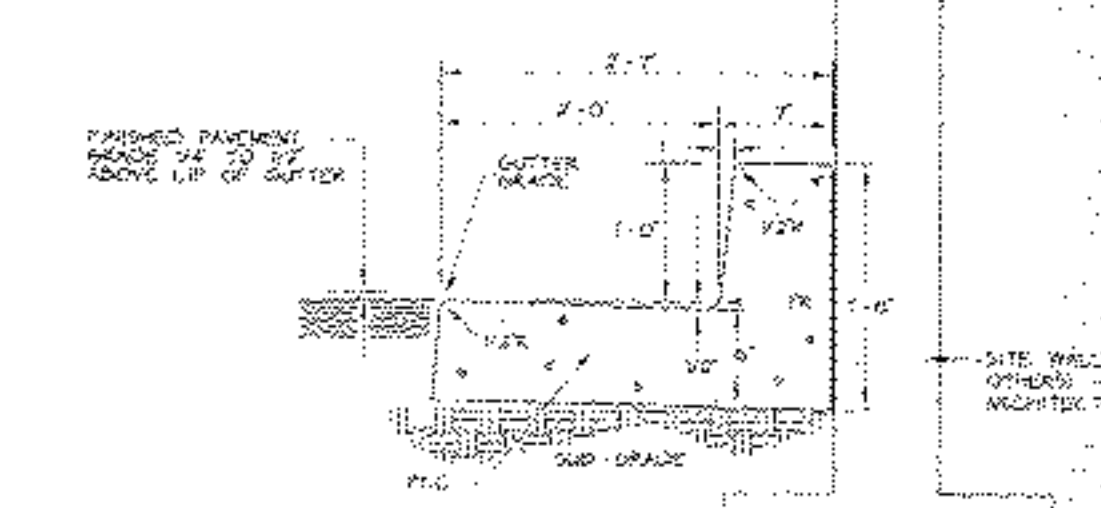
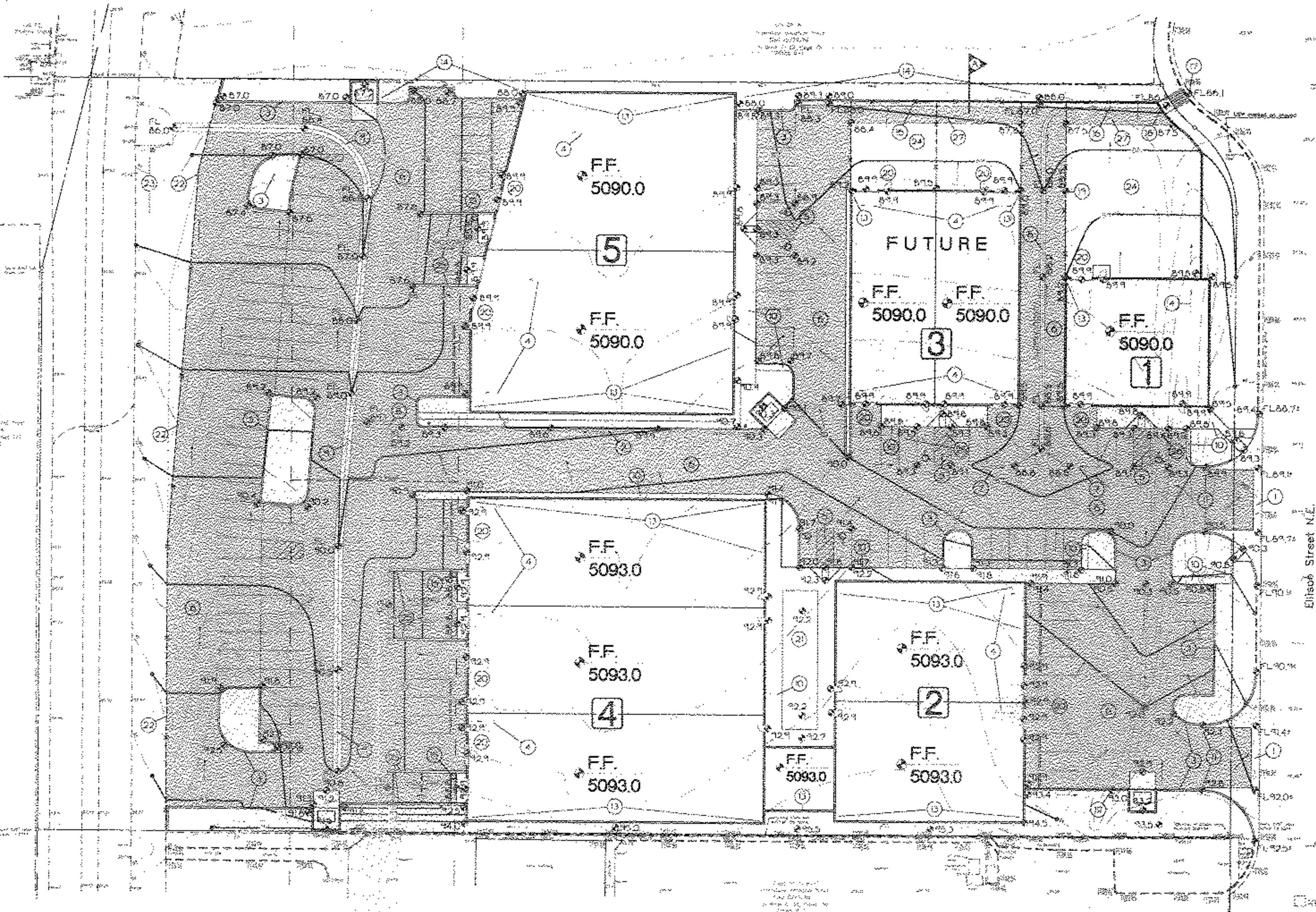
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 705-1134, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF TIME.
5. DRAINAGE CONSTRUCTION SHALL BE ACCORDING TO COLLECTION STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVING.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERT/RAIN.
8. RECORD OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY E.C.C.

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

DESIGNER APPROVAL: _____ DATE: _____

REVISION APPROVAL: _____ DATE: _____

CONTRACTOR APPROVAL: _____ DATE: _____



SECTION A: CHANNEL CURB AND GUTTER

Survey Notes

1. Underground structures, including but not limited to utilities, are not a part of this project.
2. Waterline and sanitary sewer locations were provided by City of Albuquerque Public Water Department.
3. Per FIRM Flood Insurance Rate Map, Bernalillo County, New Mexico, and subdivided from Parcel 156 of BNS Year No. 2000/00135 D, effective September 20, 1998, the subject property is located in June X, areas to be determined to be outside 500-year floodplain, and the 100-year flood is not on a constructed channel.
4. On the City of Albuquerque Transportation Department there are no planned street widening projects.
5. Measured bearings & distances are based on reading bearings & distances.

LEGEND

- 20M - Temporary Bench Mark
- SP - power pole
- LP - light pole
- TC - top of curb
- FL - flow line
- LS - landscaping
- CL - concrete
- HP - high pressure

Note

A. Zoning information is as shown in 1989 City of Albuquerque Zoning Atlas.

B. Gas line location was provided by NM Electric & Gas Service and its location should be considered approximate.

Documents used

1. Plat of Tract D-1, Interstate Industrial Tract, Subdivided from Parcel 156 of BNS Year No. 2000/00135 D, effective September 20, 1998, Volume C-15, Page 156.
2. Plat of Tract D-1-A & D-1-B-1 & D-1-B-2, Interstate Industrial Tract, Subdivided from Parcel 156 of BNS Year No. 2000/00135 D, effective September 20, 1998, Volume C-15, Page 156.
3. 1008 Certificate No. 01082465, issued by First American Title Company, effective November 14, 1995.



Ellison Office-Warehouse Park

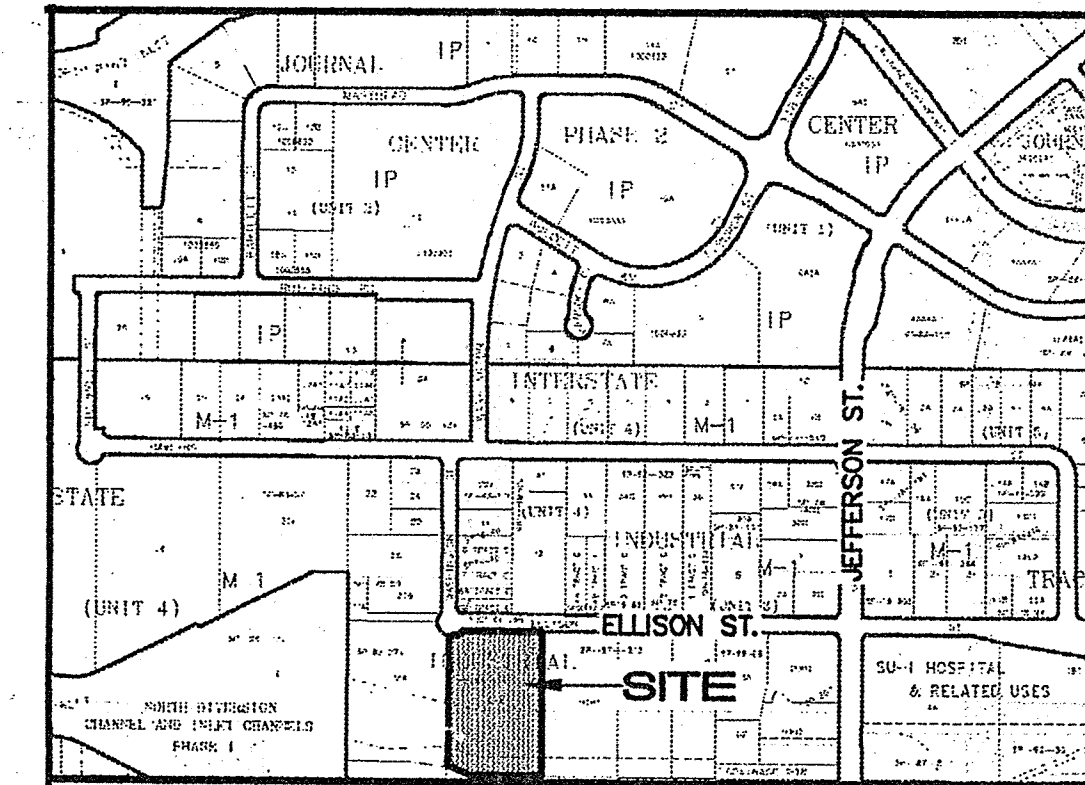
4120 ELLISON STREET NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
1501 251-8458 • 3808 SIMMS AVENUE SE • ALBUQUERQUE, NM • 8706

JOB NO:	0422
DATE:	30 SEPTEMBER 2004
REVISIONS	
	25 NOVEMBER 2004

SHEET NO.
C.1

Washington Street NE



Vicinity Map
ZONE ATLAS PAGE: D-17

Design Data

LEGAL DESCRIPTION: TRACT D-1-A
INTERSTATE INDUSTRIAL TRACT
UNIT 4
BERNALILLO COUNTY,
ALBUQUERQUE, NM

CURRENT ZONING: M-1

ZONE ATLAS PAGE: D-17-Z

APPLICABLE BUILDING CODE: UBC-1997

SEISMIC ZONE: 2B

WIND DESIGN SPEED: 75 MPH

EXPOSURE: C

TYPE OF CONSTRUCTION: II-N

FIRE SPRINKLERED: YES

FLOOR AREA BUILDING NO. 2: 8,064 SQ. FT.

OFF-STREET PARKING REQUIREMENTS:
FLOOR AREAS ARE NET LEASEABLE

EXISTING BUILDING NO. 1:
EXISTING OFFICE: 1,035 SF
EXISTING WAREHOUSE: 2,454 SF
 $(1,035/200) + (2,454/2,000) = 6.4 = 7$ SPACES

CURRENT BUILDING NO. 2:
(ASSUMED) OFFICE: 1,770 SF
WAREHOUSE: 6,050 SF
 $(1,770/200) + (6,050/2,000) = 11.9 = 12$ SPACES

REQUIRED FOR PHASES 1 & 2: 19 SPACES

PROVIDED FOR PHASES 1 & 2: 33 SPACES
INCLUDES 2 DESIGNATED DISABLED SPACES

ENTIRE SITE/ALL BUILDINGS:
(ASSUMED) OFFICE: 8,789 SF
WAREHOUSE: 38,242 SF
 $(8,789/200) + (38,242/2,000) = 63$ SPACES

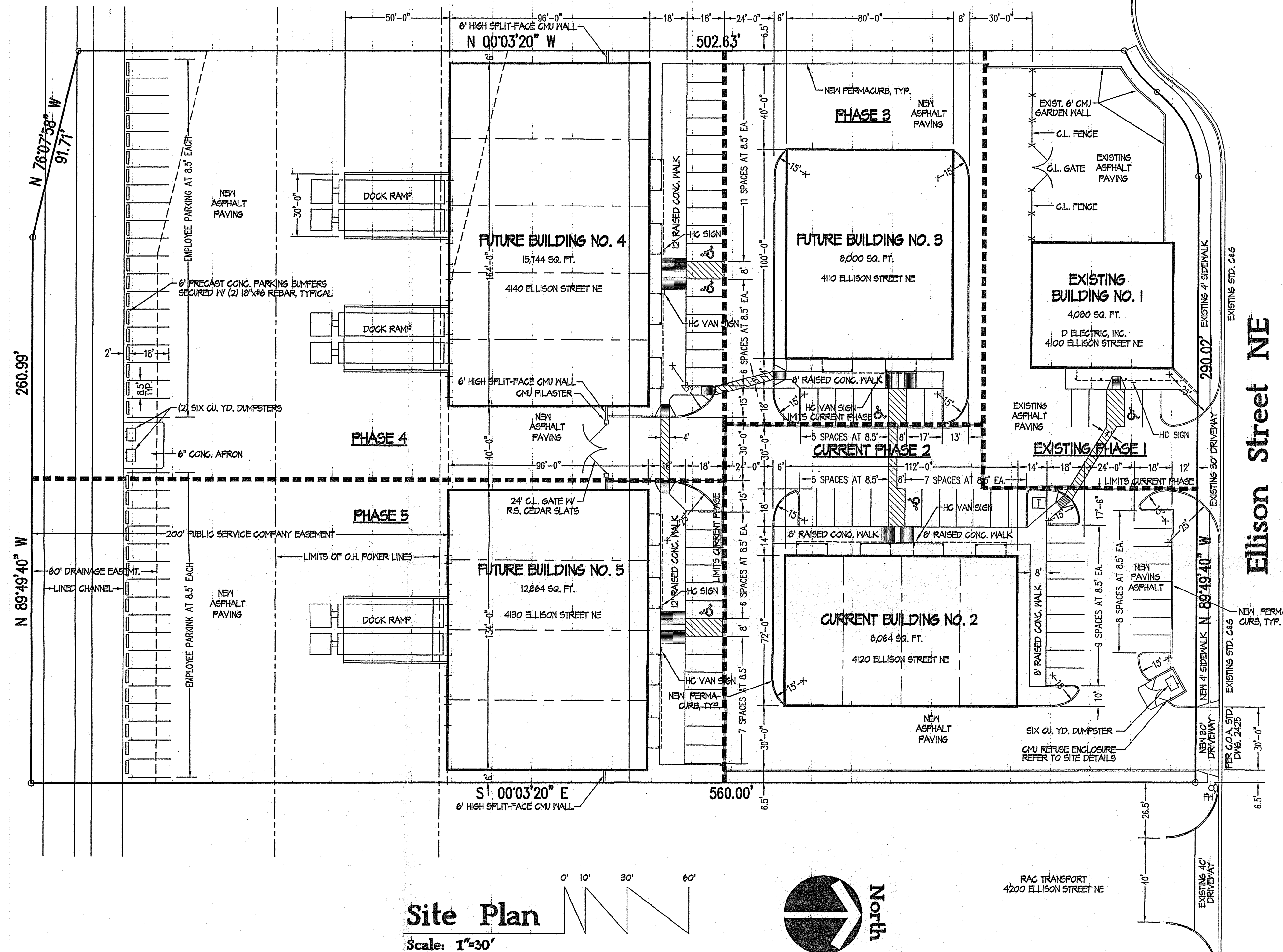
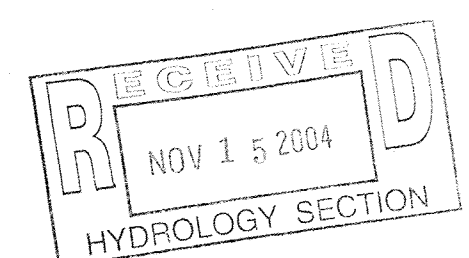
REQUIRED FOR ALL BUILDINGS: 63 SPACES

PROVIDED FOR ALL BUILDINGS: 70 SPACES
INCLUDES 6 DESIGNATED DISABLED SPACES

PARKING NOTE:
THE 37 PARKING SPACES ADJACENT TO THE DRAINAGE CHANNEL, NEAR THE SOUTH PROPERTY LINE ARE NOT INCLUDED IN THE PARKING CALCULATION. THEY ARE NOT REQUIRED PARKING SPACES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

TRAFFIC CIRCULATION LAYOUT
APPROVED
KAR 11/19/04
Signed Date



Site Plan

Scale: 1"=30'