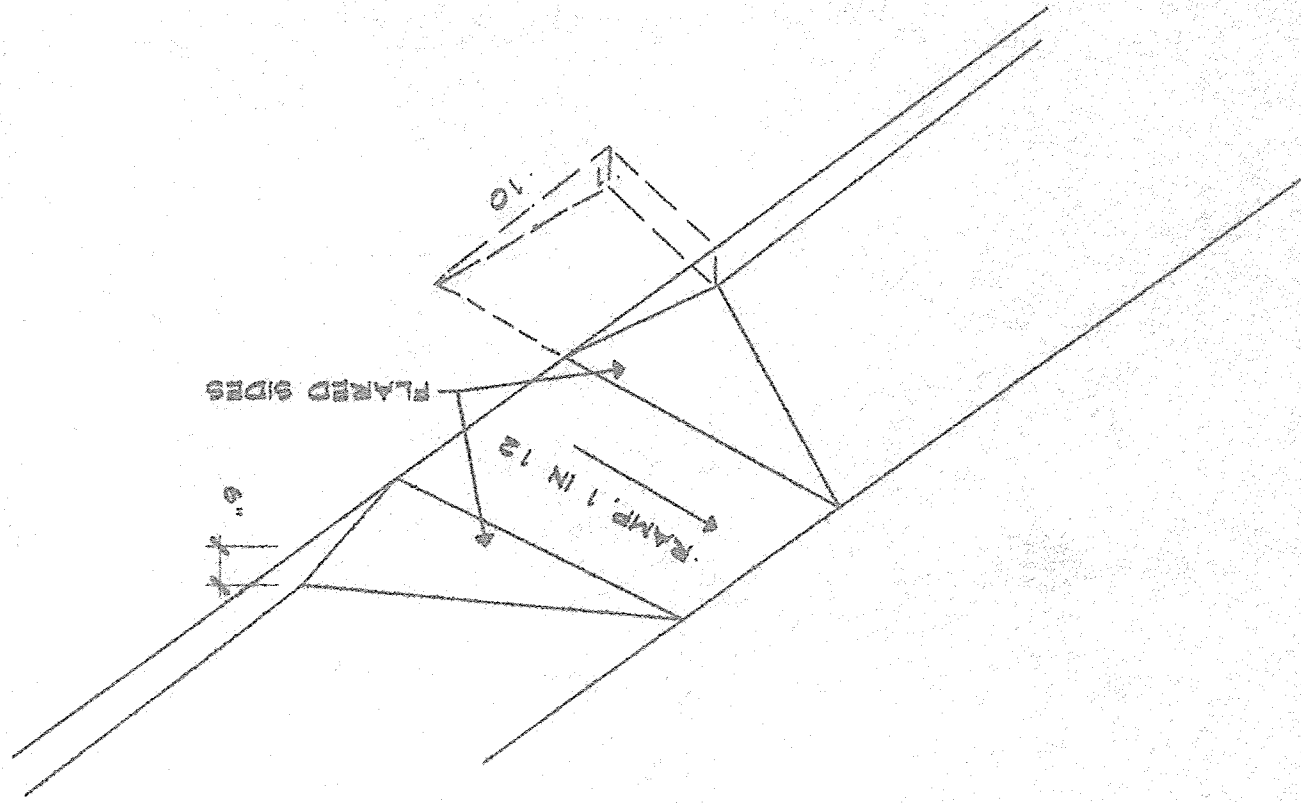
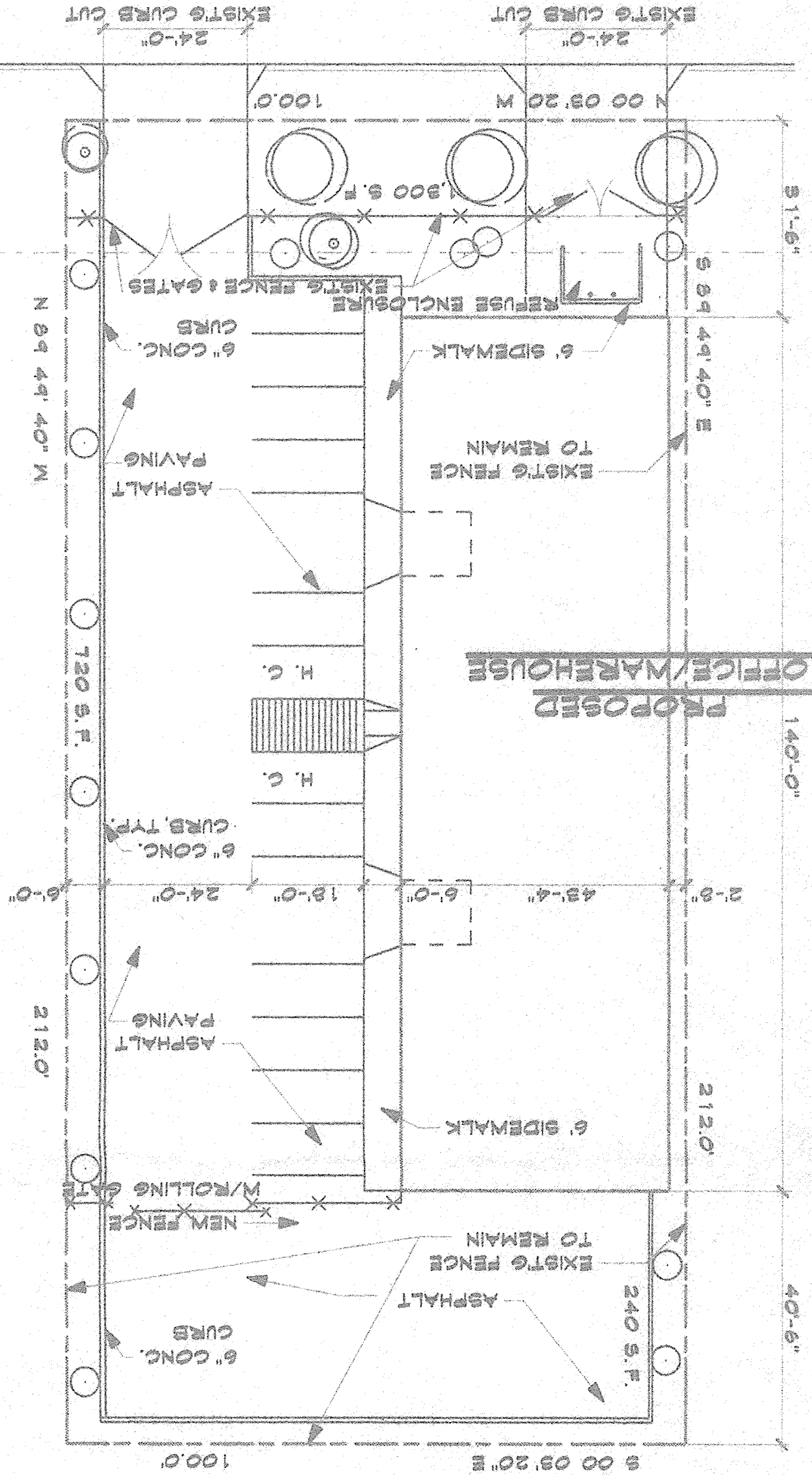


# PROPOSED OFFICE / WAREHOUSE

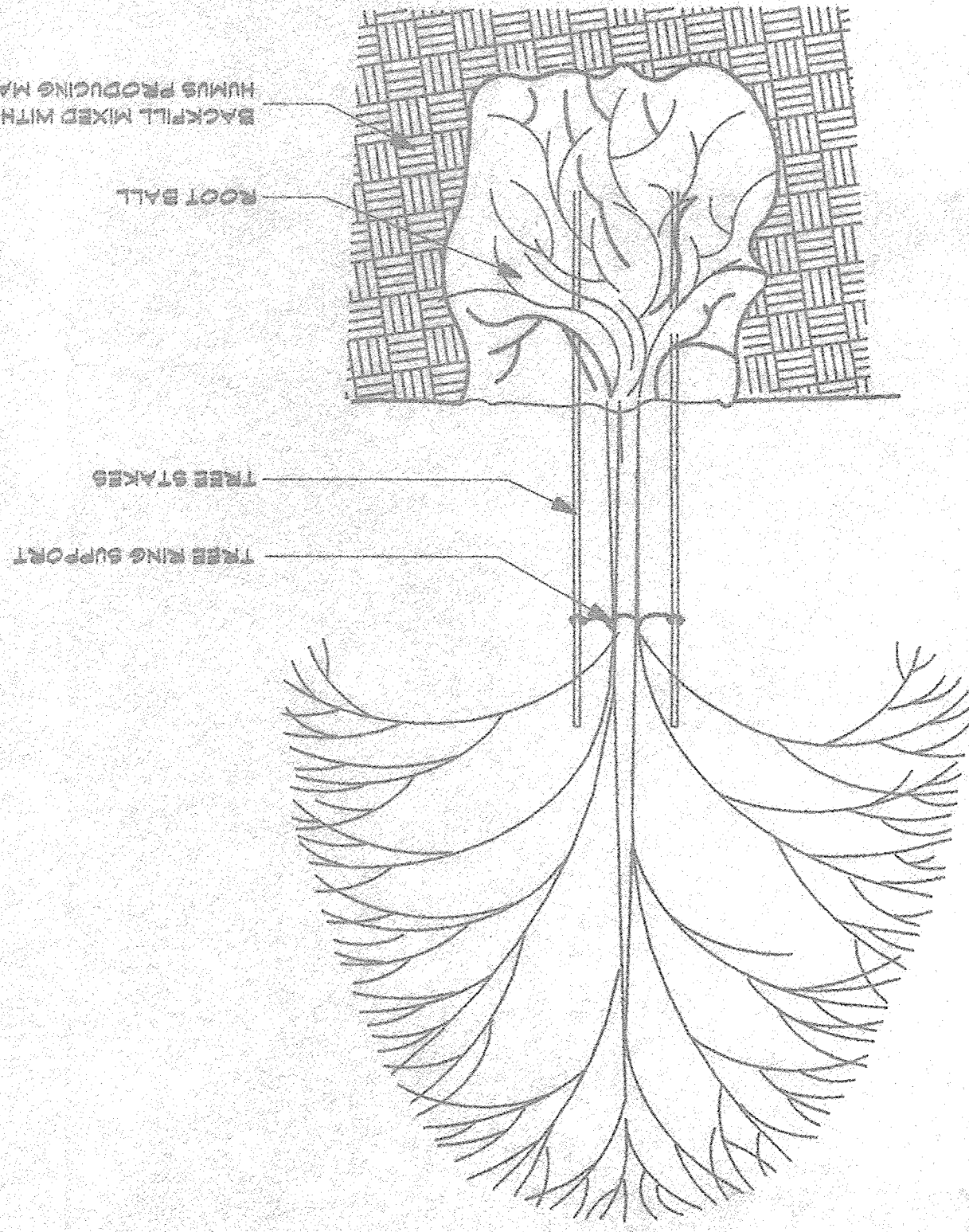
OFFICE / WAREHOUSE



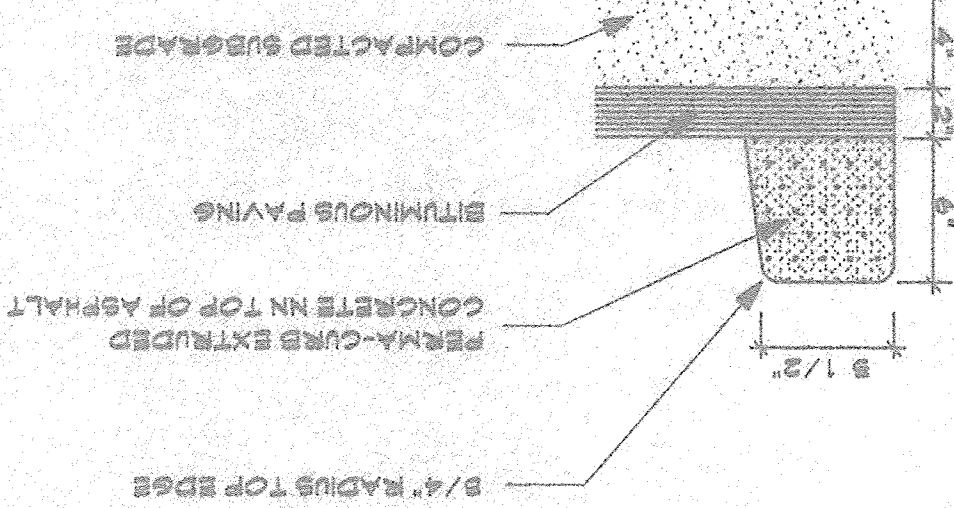
HANDICAPPED RAMP DETAIL



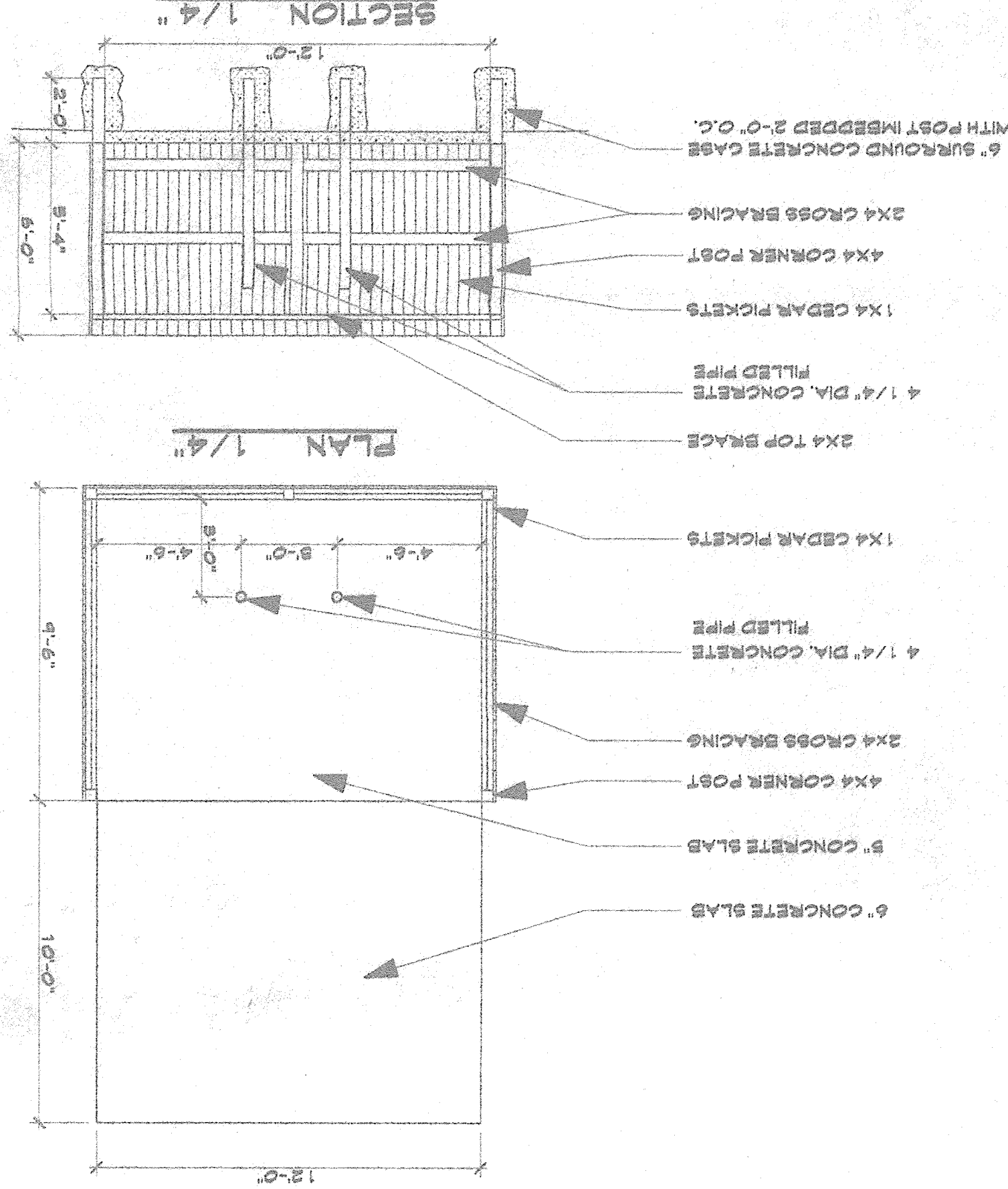
SITE PLAN 1" = 20'



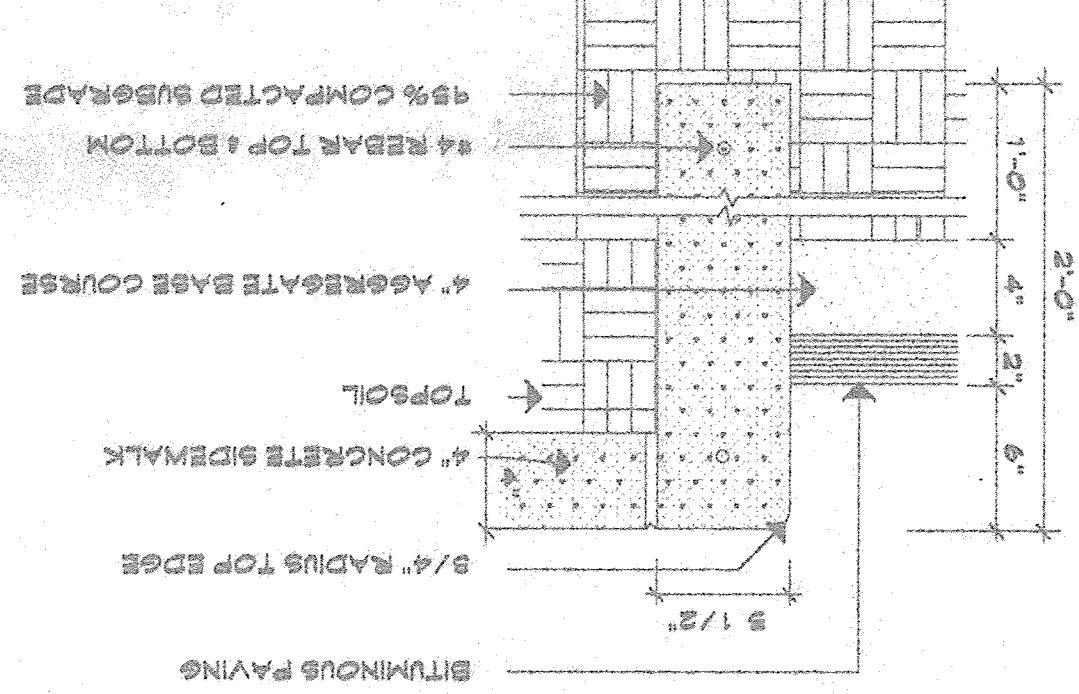
TREE PLANTING DETAIL



PERMA-CURB DETAIL



TRASH ENCLOSURE



CONCRETE CURB

## VICINITY MAP

## DESIGN DATA:

|                   |                               |
|-------------------|-------------------------------|
| OCCUPANCY GROUP   | B & S-1                       |
| CONSTRUCTION TYPE | II N                          |
| SEISMIC ZONE      | 2 B                           |
| SOIL BEARING      | 1,500 PSF                     |
| WIND PRESSURE     | 80 MPH                        |
| ZONE USE          | I P                           |
| CONCRETE:         |                               |
| FOUNDATION        | 3,000 PSI                     |
| FLOOR AREA        | 2,500 PSI                     |
| PLANTING:         |                               |
| OFFICE            | 1,152 S.F. / 200 = 6 SPACES   |
| WAREHOUSE         | 4,948 S.F. / 2,000 = 3 SPACES |
| TOTAL REQD        | = 4 SPACES                    |
| NO. PROVIDED      | = 10 SPACES                   |

## LANDSCAPING:

- MODIFIED ASH - 2" CALIPHER (FRAXINUS VELUTINA)
- PURPLE PLUM - 2" CALIPHER
- GOLDEN ASTER - 3 GAL
- GROUND COVER - ESTABLISHED LAWN
- IRRIGATION BY AUTOMATIC SPRINKLER SYSTEM
- MAINTENANCE BY OWNER

AREA REQUIRED: LOT SIZE = 21,200 S.F.  
LESS BLDG = 6,050 S.F.  
TIMES 0.15  
AREA REQD = 2,275 S.F.  
AREA PROVIDED = 2,334 S.F.

## LEGAL DESCRIPTION:

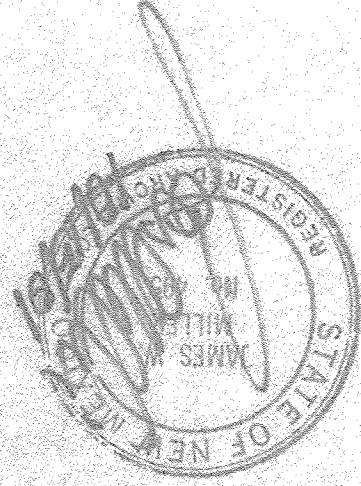
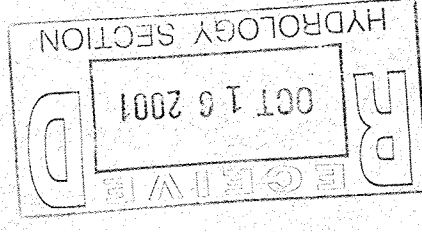
TRACT #7, UNIT #4, INTERSTATE

MILLER AND ASSOCIATES  
ARCHITECTS PLANNERS  
7033 MICHIGAN AVE  
ANN ARBOR, MI 48106-2707

SHEET TITLE  
SITE PLAN, MISC. DETAILS

PROPOSED  
OFFICE/WAREHOUSE  
7108 WASHINGTON STREET N.E.

1



JMM  
DRAWN BY  
JMM  
CHECKED BY  
JMM  
DATE  
May 01  
JOB NO.  
0119



# GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 7 TRACT C (7108 WASHINGTON ST. NE) OF THE INTERSTATE INDUSTRIAL UNIT 4 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO ARE CONTAINED HEREON:

1. VICINITY MAP 2. FEMA FLOOD MAP 3. DRAINAGE CALCULATIONS

## EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.49 ACRES AND IS LOCATED NORTH OF THE INTERSECTION OF WASHINGTON ST. AND ELLISON ST. NE (EAST OF WASHINGTON). THE EXISTING TOPO SLOPES FROM EAST TO WEST TOWARDS WASHINGTON ST. NE. THE SITE IS BEING USED AS A STORAGE YARD, A CHAINLINK FENCE AND A BLOCK WALL WITH GATES IN THE FRONT FACING WASHINGTON ST. SURROUND THE SITE. ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL 0136D, DATED SEPTEMBER 20, 1996, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE NOR DOES IT CONTRIBUTE TO ANY DOWNSTREAM FLOODING.

## PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 6000 SQ. FT. OFFICE/WAREHOUSE BUILDING WITH ASSOCIATED PAVED PARKING AND LANDSCAPED AREAS. THE DEVELOPED RUN-OFF WILL BE ROUTED TOWARDS THE EXISTING DRIVEPADS LOCATED ON WASHINGTON ST. NE. NO OFF-SITE FLOWS ENTER THE SITE. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA, DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

## DOWNSTREAM CAPACITY

THERE IS AN EXISTING DRAINAGE EASEMENT LOCATED WEST OF THE CUL-DE-SAC OF THE INTERSECTION OF WASHINGTON AND ELLISON WHICH CONVEYS THE RUN-OFF INTO THE NORTH DIVERSION CHANNEL.

7108 WASHINGTON AREA = 0.49ac.

ZONE 2  
PRECIPITATION: 360 = 2.35in.  
1440 = 2.75in.  
10da = 3.95in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

| TREATMENT   | AREA    | PEAK DISCHARGE |
|-------------|---------|----------------|
| TREATMENT A | 0.53in. | 1.56 cfs/ac.   |
| TREATMENT B | 0.78in. | 2.28 cfs/ac.   |
| TREATMENT C | 1.13in. | 3.14 cfs/ac.   |
| TREATMENT D | 2.12in. | 4.70 cfs/ac.   |

| EXISTING CONDITIONS: | PROPOSED CONDITIONS: |
|----------------------|----------------------|
| TREATMENT A          | 0.0ac.               |
| TREATMENT B          | 0.0ac.               |
| TREATMENT C          | 0.073ac.             |
| TREATMENT D          | 0.414ac.             |

## EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(0.07) + (2.12)(0.00) / 0.49ac.  
= 1.13  
V100-360 = 1.13(0.49) / 12 = 0.0458ac-ft = 1998 cf

## EXISTING PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.00) + (3.14)(0.07) + (4.70)(0.00) = 1.53cfs

## PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53)(0.00) + (0.78)(0.00) + (1.13)(0.07) + (2.12)(0.41) / 0.49ac.  
= 1.97  
V100-360 = 1.97(0.49) / 12.0 = 0.0800ac-ft = 3485 cf

V100-1440 = (0.08) + (0.41) x (2.75 - 2.35) / 12 = 0.0938ac-ft = 4087 cf

V100-10day = (0.08) + (0.41) x (3.95 - 2.35) / 12 = 0.1352ac-ft = 5890 cf

## PROPOSED PEAK DISCHARGE:

Q100 = (1.56)(0.00) + (2.28)(0.00) + (3.14)(0.07) + (4.70)(0.41) = 2.18cfs

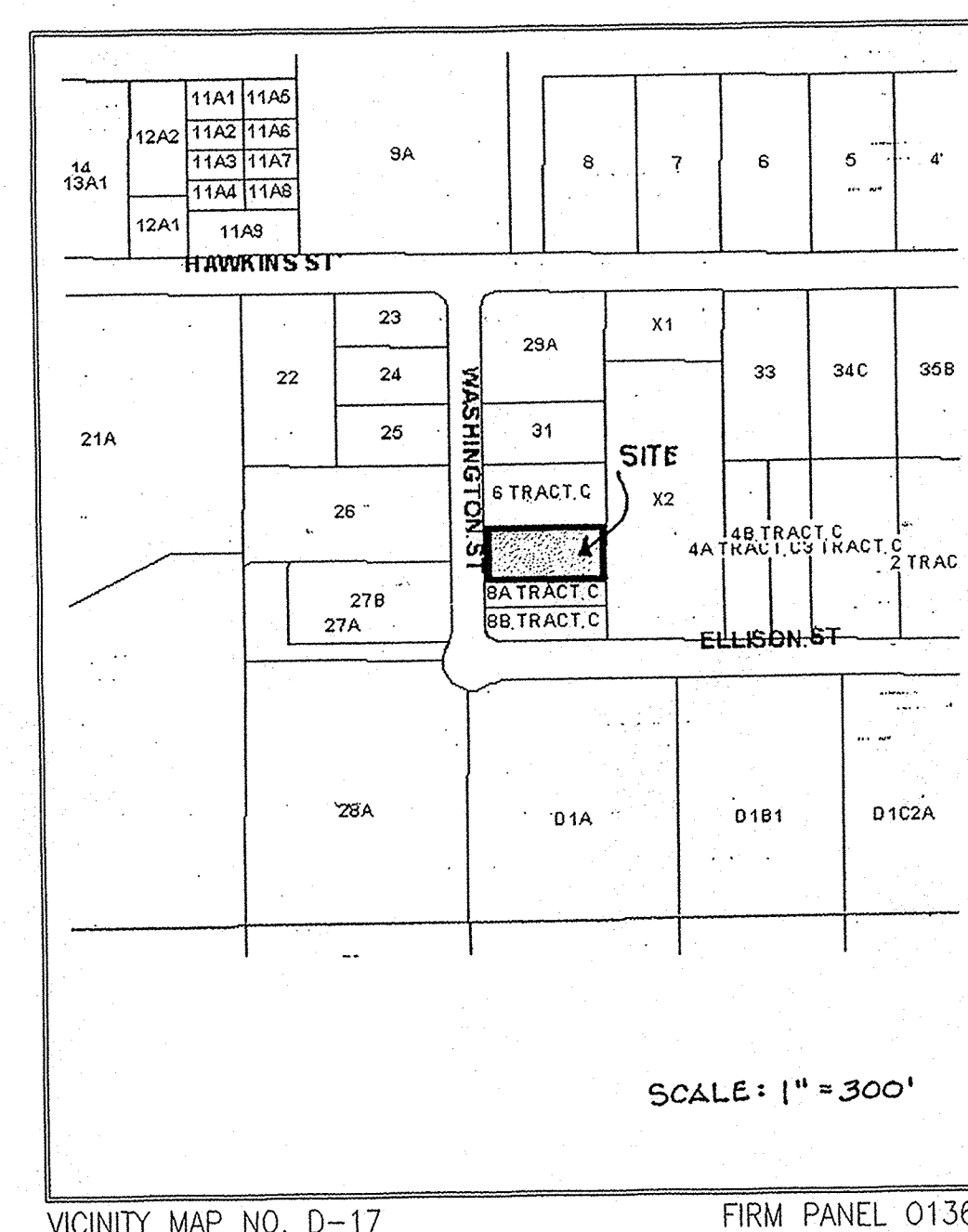
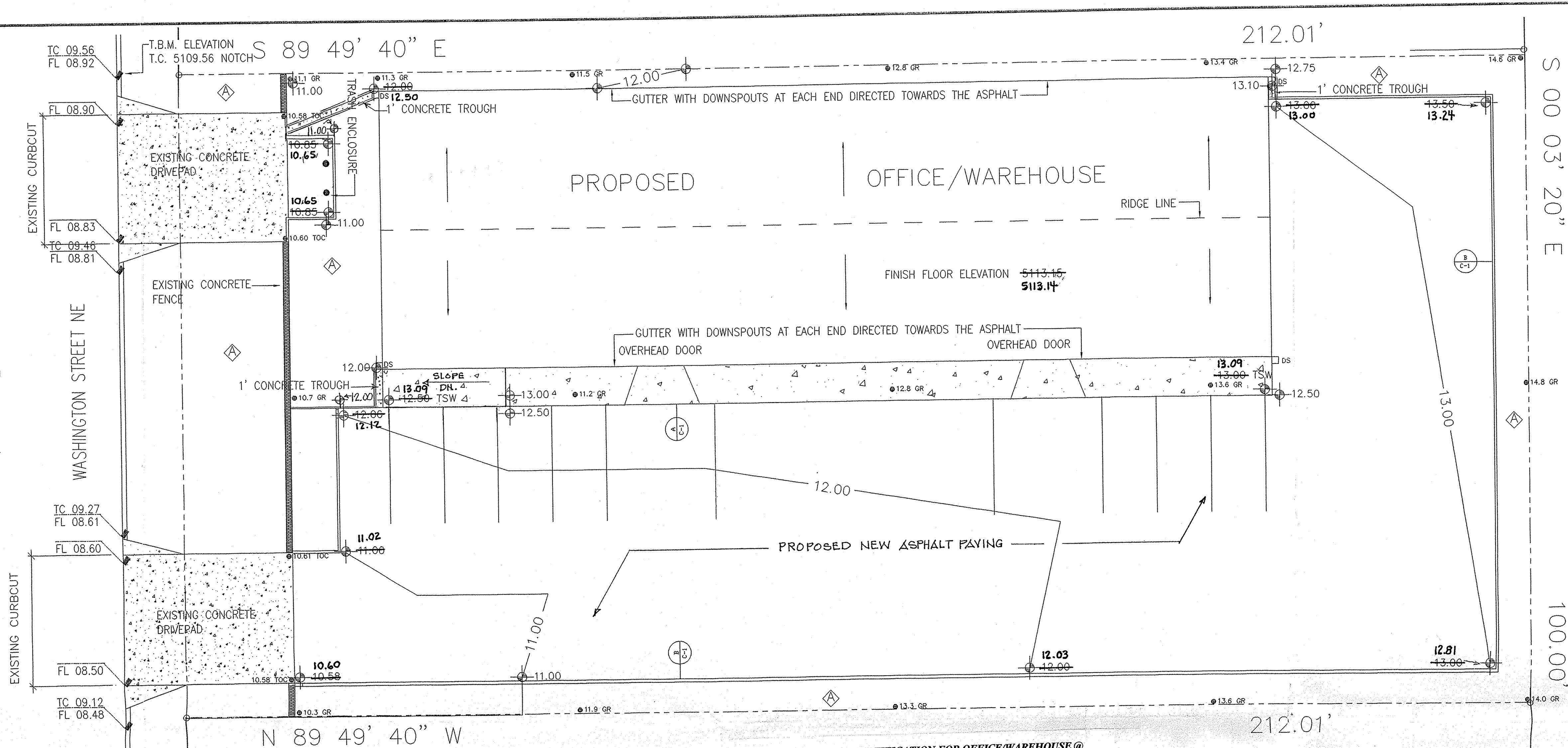
INCREASE 2.18 CFS - 1.53 CFS = 0.65 CFS

## NOTE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating Services for locating existing utilities (260-1990).
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to residential use.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.

## EROSION CONTROL MEASURES

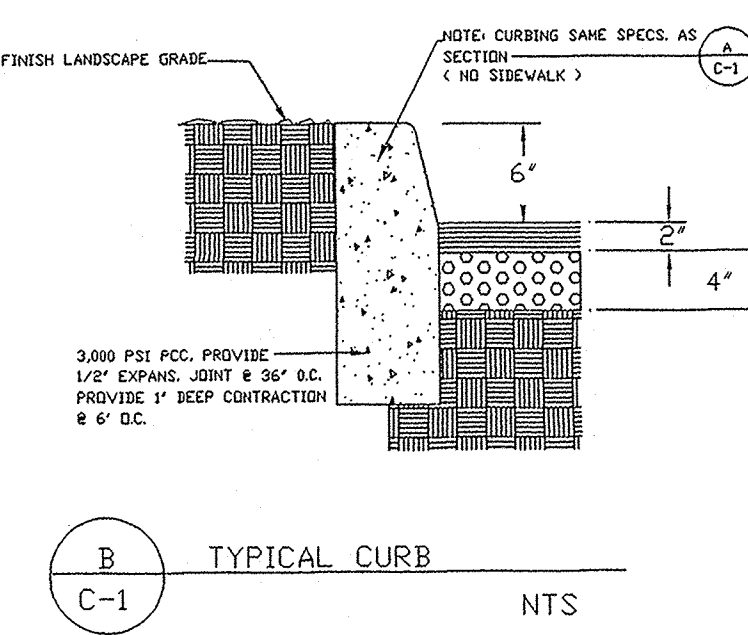
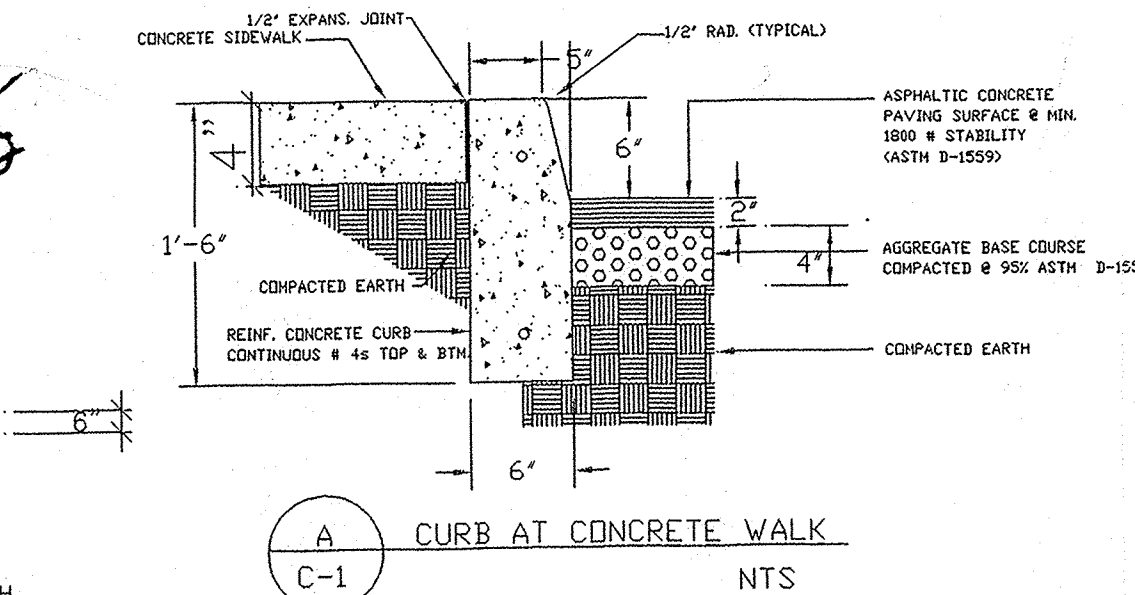
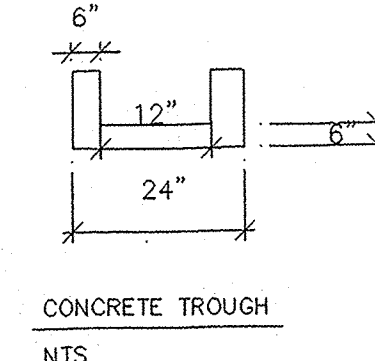
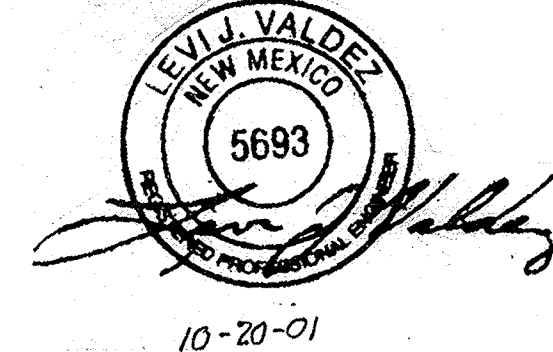
1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN.
  - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
  - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



- NOTE: 1.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT PROPERTY OTHER THAN SHOWN ON THE PLAN HEREON OR THE SUBJECT PLAT OF RECORD.
- 2.) NO PROPERTY BOUNDARY SURVEY HAS BEEN PERFORMED ON THE SUBJECT SITE.

## ENGINEER CERTIFICATION FOR OFFICE/WAREHOUSE @ 7108 WASHINGTON ST. N.E.

AS INDICATE BY THE AS-BUILT INFORMATION SHOWN HEREON, THE OFFICE/WAREHOUSE @ 7108 WASHINGTON N.E. HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN DATED 5/21/2001. THE AS-BUILT INFORMATION SHOWN HEREON WAS OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF KNOWLEDGE AND BELIEF.



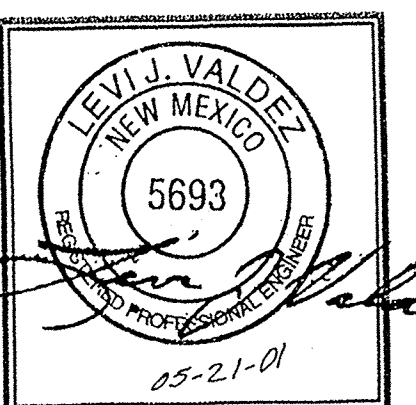
## SYMBOL LEGEND

PROPOSED LANDSCAPE AREA  
PROPOSED CONTOUR  
EXISTING SPOT ELEVATION  
DESIGNED SPOT ELEVATION  
PROPERTY LINE  
EASEMENT LINE  
FLOW DIRECTION  
DOWN SPOUT  
AS-BUILT SPOT ELEV.

ABBREVIATION LEGEND  
TOP OF CON. PAD - TCP  
TOP OF CURB - TC  
TOP OF ASPHALT - TA  
FLOWLINE - FL  
TOP OF WALL - TW  
TOP OF SIDEWALK - TSW

## LEGAL DESCRIPTION

LOT 7 TRACT "C"  
INTERSTATE INDUSTRIAL TRACT UNIT III  
BERNALILLO COUNTY  
ALBUQUERQUE, NEW MEXICO  
BENCHMARK:  
A 40 PENNY NAIL IN THE SOUTH POLE  
OF PYLON #R8  
LOCATED ALONG AN ELECTRIC X-MISSION  
LINE, IN AN OPEN FIELD, ELEV. 5109.28  
TBM: SW CORNER OF LOT 8 ELEV. 5109.58  
CURB SLASH



|           |            |
|-----------|------------|
| JOB NO:   |            |
| DATE:     | APRIL 2001 |
| REVISIONS |            |

|             |                         |
|-------------|-------------------------|
| Sheet Title | GRADING & DRAINAGE PLAN |
| Drawn By:   | BJM                     |
| Checked By: |                         |

|                            |                         |
|----------------------------|-------------------------|
| BJM DEVELOPMENT CONSULTANT | GRADING & DRAINAGE PLAN |
| DESIGN - PLANNER           |                         |
| Albuquerque, New Mexico    |                         |

|              |                         |
|--------------|-------------------------|
| Project Name | WASHINGTON ST. NE       |
| Project No.  | 408                     |
| Office       | OFFICE/WAREHOUSE        |
| City         | ALBUQUERQUE, NEW MEXICO |

|           |    |
|-----------|----|
| SHEET NO. | GD |
|-----------|----|