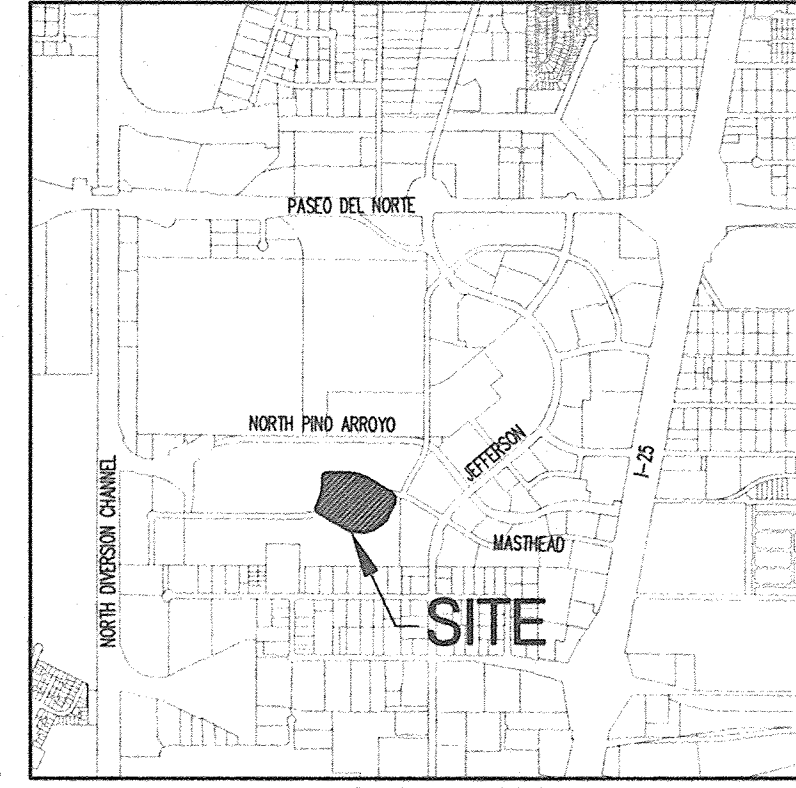
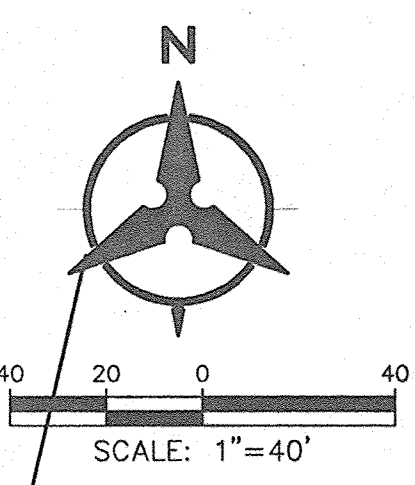


GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADES, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.
15. THIS COORDINATE INFORMATION IS PROVIDED TO CLARIFY THE CONSTRUCTION STAKING PROCESS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT ALL STAKED POINTS CONFORM TO THE SITE PLAN DIMENSIONS AND THE INTENT OF THESE PLANS. ALL CONFLICTS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO FURTHER STAKING OR CONSTRUCTION.



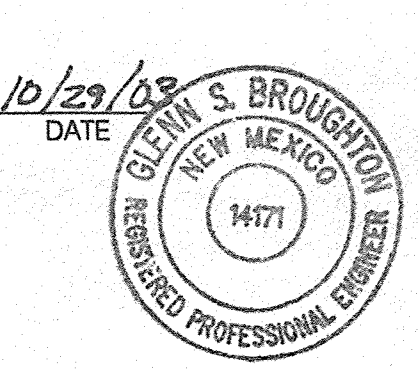
VICINITY MAP  
ZONE MAP NO. D-17-Z  
LEGAL DESCRIPTION:  
LOT 10A JOURNAL CENTER PHASE 2

DRAINAGE CERTIFICATION

I, GLENN BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADDED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02-27-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BILL BOWERS, NMPS 11765, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10-28-03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Glenn Broughton  
GLENN BROUGHTON, NMPE 14171



GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AT THE PROPERTY LINES PER DETAIL ON SHEET C1.3 AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE USER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PAVED AREA AND MUST BE ADJUSTED FOR MEDIAN AND ISLANDS.
10. SIDEWALK GRADES SHALL NOT EXCEED 20 HORIZONTAL TO 1 VERTICAL.

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL UTILITIES SHOWN ON THESE PLANS INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (40:5) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER METER FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PROPRATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. PROVIDE BOLLARDS TO PROTECT METER, AS PER PNM & UPC REQUIREMENTS.
12. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE PLAN FOR EXACT EASEMENT GEOMETRY.

UTILITY KEYED NOTES

- A. SUB 3" SERVICE TO WITHIN 5' OF BUILDING, SEE MECHANICAL PLANS FOR CONTINUATION.
- B. NEW 1-1/2" IRRIGATION METER SUB TO RIGHT OF WAY, SEE LANDSCAPE IRRIGATION PLANS FOR CONTINUATION.
- C. CONTRACTOR TO COORDINATE AND PAY FOR CITY INSTALLATION OF 3" WATER SERVICE, INCLUDING VALVE AND METER 1-1/2" IRRIGATION SERVICE & METER WITHIN PUBLIC RIGHT OF WAY. CITY CREW SHALL ALSO REMOVE AND REPLACE PAVEMENT AS REQUIRED.
- D. NEW 6" FIRELINE, SUB TO WITHIN 5' OF BUILDING, SEE MECHANICAL PLANS FOR CONTINUATION.
- E. SUB 6" SAS TO WITHIN 5' OF BUILDING, SEE MECHANICAL PLANS FOR CONTINUATION.
- F. CONNECT 6" SAS TO EXISTING 6" CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO BEGINNING WORK.
- G. REMOVE EXISTING 2" WATER METER AND SERVICE. REMOVE METER BOX PLUS SERVICE LINE AT CURB STOP PER COA REQUIREMENTS.
- H. EXISTING FIRE HYDRANT TO REMAIN.
- I. 6" FIRELINE, 3" MINIMUM COVER.
- J. CONNECT 6" FIRELINE TO EXISTING 6" FIRELINE, CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO BEGINNING WORK.
- K. SAS CLEANOUT, SEE DETAIL SHEET C1.3.
- L. NEW FIRE HYDRANT, GATE VALVE & TEE WITH BLOCKING, PER COA STANDARD DWG 2430.
- M. 90° BEND WITH BLOCKING PER COA STANDARD DWG 2330.
- N. 45° BEND WITH BLOCKING PER COA STANDARD DWG 2330.
- O. 6" REDUCED PRESSURE BACKFLOW PREVENTOR & HOT ENCLOSURE W/ 110V SERVICE. SEE ELECTRICAL SITE PLAN FOR LOCATION.
- P. 3" REDUCED PRESSURE BACKFLOW PREVENTOR & HOT ENCLOSURE W/ 110V SERVICE. SEE ELECTRICAL SITE PLAN FOR LOCATION.

GRADING KEYED NOTES

1. TYPE 1" INLET PER COA STD DWG 2206.
2. 18" HOPK STORM DRAIN PIPE FROM PROPOSED INLET TO EXISTING INLET IN WASHINGTON STREET.
3. 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2238.
4. 12" CURB OPENING.
5. 48" CURB OPENING.
6. 48" BROW CHANNEL PER COA STD DWG 2236. OMT 3/8" CHECKERED PLATE.
7. DOUBLE 24" SIDEWALK CULVERT PER COA STD DWG 2236.

Bohannon & Huston

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Albuquerque  
NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS  
SURVEYORS SOFTWARE DEVELOPERS

REGISTRATION

GLENN S. BROUGHTON  
NEW MEXICO  
14171  
REGISTERED PROFESSIONAL ENGINEER

ISSUE RECORD

01/25/02 REVISIT SUBMITTAL

02/26/02 REVISED PER COA  
REVIEW DATE 12/31/01

04/05/02 REVISED PER COA  
BUILDING PERMIT REVIEW  
COMMENTS

DESIGN NUMBER  
A510220

PROJECT NUMBER

DATE  
12/21/01

PROJECT MANAGER  
T. DAVIDSON

DRAWN BY  
RWB

CHECKED BY  
CSB

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Prepared For

OPUS.

Opus West Corporation

2415 EAST CAMELBACK ROAD SUITE 800  
PHOENIX, AZ 85016-4201  
602-468-7000  
602-468-7010 FAX

PROJECT

U.S. DEPARTMENT  
OF THE INTERIOR  
AT JOURNAL CENTER 2

LOCATION  
ALBUQUERQUE, NM

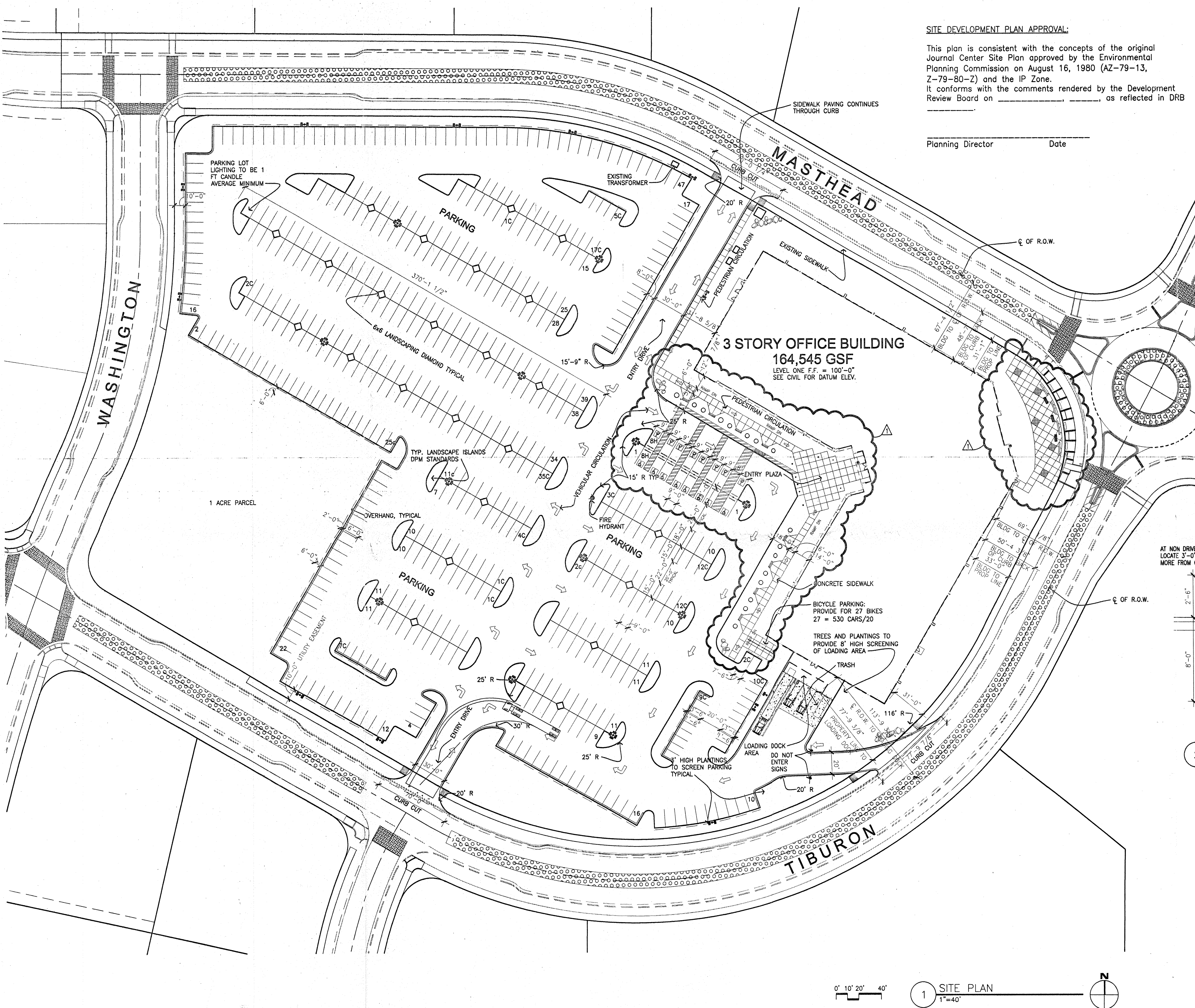
SHEET TITLE

GRADING /  
DRAINAGE &  
UTILITY PLAN

SHEET NUMBER

C1.2





SITE DEVELOPMENT PLAN APPROVAL:

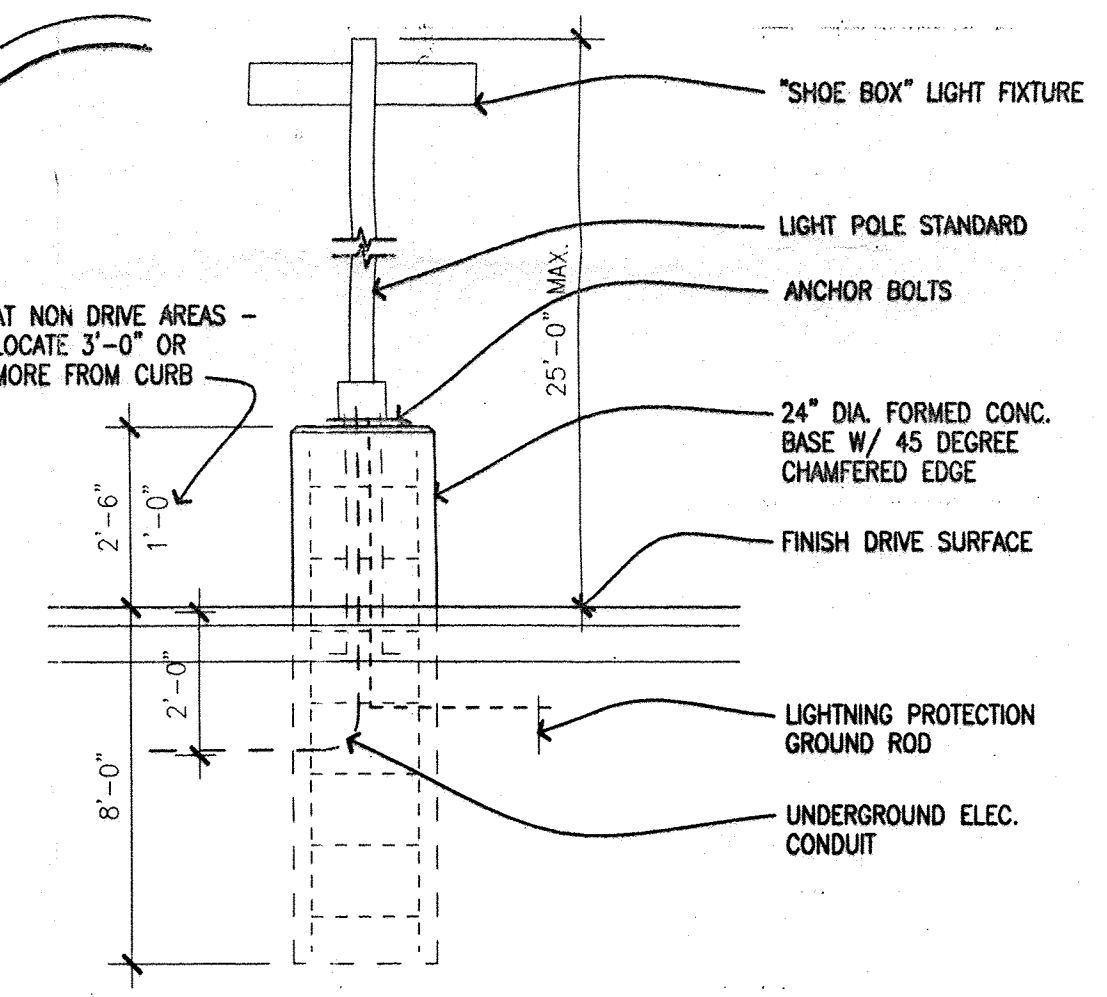
This plan is consistent with the concepts of the original Journal Center Site Plan approved by the Environmental Planning Commission on August 16, 1980 (AZ-79-13, Z-79-80-Z) and the IP Zone. It conforms with the comments rendered by the Development Review Board on \_\_\_\_\_, \_\_\_\_\_, as reflected in DRB \_\_\_\_\_

Planning Director \_\_\_\_\_ Date \_\_\_\_\_

Drawing Index	
A1.1 - Site Plan and Details	
L1 - Schematic Landscape Plan	
C1 - Conceptual Grading and Utility Plan	
A3.1 - Exterior Elevations	

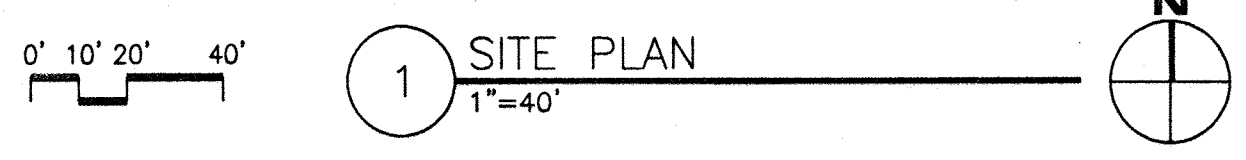
PROJECT DATA	
Zoning	= IP (Industrial Park)
Site Area	= 8.35 Acres +/-
Building Area	= 160,455 RSF +/-
Building Coverage	= 15%
FAR	= .44
Parking Required	= 530 (3.3 / 1000 RSF)
Parking Provided	= 642 (4.0 / 1000 RSF) Lot 12 (3.8) 1000 SF
Compact Standard	= 160
Handicap	= 466-433
Total	= 16

- GENERAL NOTES
- SEE CIVIL DRAWINGS FOR BUILDING LAYOUT, CURB DIMENSIONS, HORIZONTAL CONTROL AND PROPERTY DIMENSIONS.
  - SEE CIVIL DRAWINGS FOR SITE GRADING AND DRAINAGE.
  - SEE LANDSCAPING DRAWINGS FOR SITE HARDSCAPE PLANS, DIMENSIONS, TEXTURES, PATTERNS AND SITE DETAILS.



2 LIGHT STANDARD BASE  
NO SCALE (FOR USE IN PAVED AREAS)  
PROJECT # 1000693  
Application # 01420-1574

Development Review Board Member Approval	
<i>Richard D. ...</i>	11/21/01
Traffic	Date
<i>Nancy ...</i>	11/21/2001
Utilities	Date
<i>William E. ...</i>	11/21/01
and Recreation	Date
<i>Bradley D. ...</i>	11/21/01
City Engineer/AMAFCA	Date
<i>James ...</i>	11/24/01
DRB Chair	Date
Solid Waste Dept.	Date



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10350 Bran Road West  
Minnetonka, MN 55343-0110  
952-855-4444  
952-855-4529 fax

REGISTRATION	
ISSUE RECORD	
10/22/01	DRB
11/19/01	PRE-DRB MEETING COMMENTS

DESIGN NUMBER	A510220
PROJECT NUMBER	
DATE	10/22/01
PROJECT MANAGER	
DRAWN BY	J. BAUMGARDNER
CHECKED BY	R. CLARK / D. WENKUS

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PHOENIX, AZ 85016-4201  
602-468-7000  
602-468-7010 FAX

PROJECT  
**4400 MASTHEAD JOURNAL CENTER**  
**PHASE 2, UNIT 1**  
LOCATION  
ALBUQUERQUE, NM  
SHEET TITLE  
**SITE PLAN AND DETAILS**

SHEET NUMBER  
**A1.1**

ADMINISTRATIVE AMENDMENT NO. 1, NOV. 2002