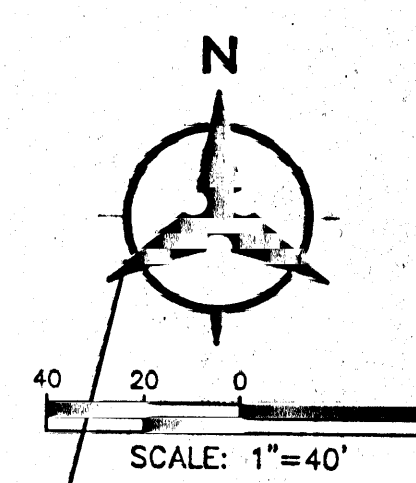
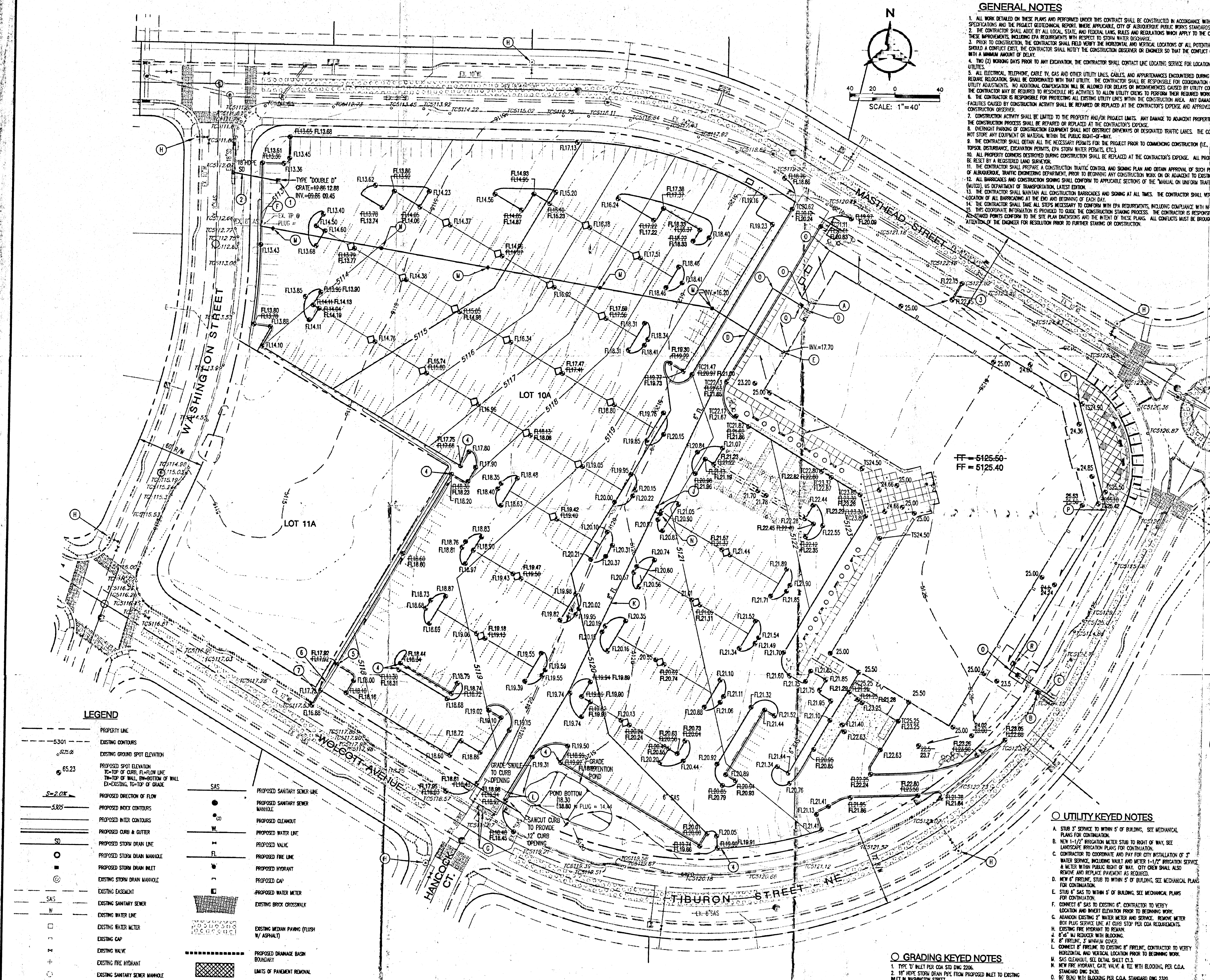


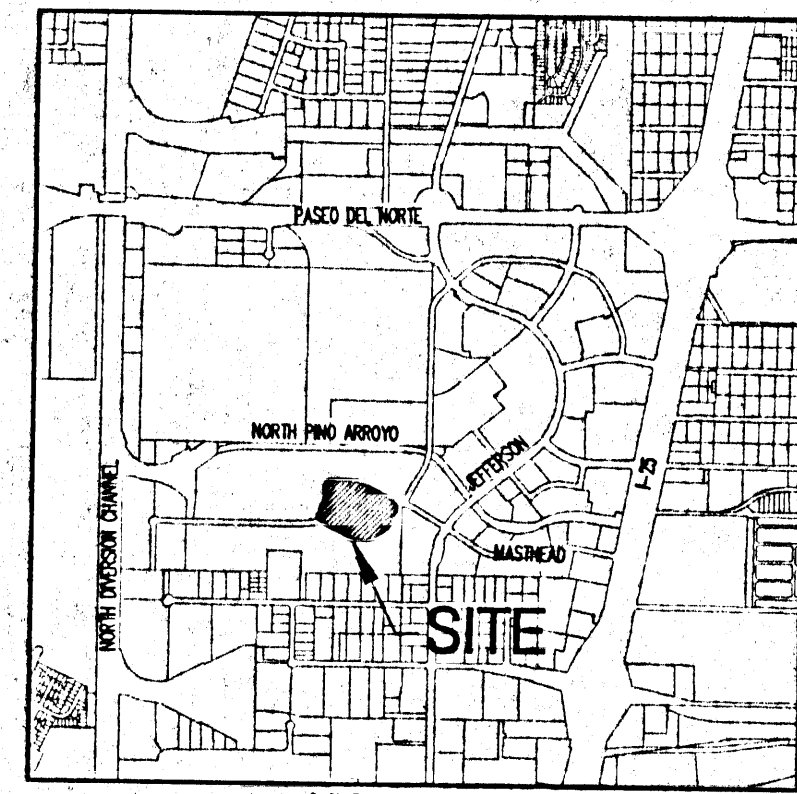
10/23/02 147 (general) (02/01/02) (02/01/02)
October 23, 2002 - 2:05pm
24x36 Plot Sheet

- LEGEND**
- | | |
|-------|---|
| --- | PROPERTY LINE |
| --- | EXISTING CONTOURS |
| --- | EXISTING GROUND SPOT ELEVATION |
| 65.23 | PROPOSED SPOT ELEVATION |
| --- | PROPOSED INTER CONTOUR |
| --- | PROPOSED DRAIN LINE |
| --- | PROPOSED DRAIN MANHOLE |
| --- | PROPOSED DRAIN INLET |
| --- | EXISTING DRAIN MANHOLE |
| --- | EXISTING EASEMENT |
| --- | EXISTING SANITARY SEWER |
| --- | EXISTING WATER LINE |
| --- | EXISTING WATER METER |
| --- | EXISTING CAP |
| --- | EXISTING VALVE |
| --- | EXISTING FIRE HYDRANT |
| --- | EXISTING SANITARY SEWER MANHOLE |
| --- | PROPOSED SANITARY SEWER LINE |
| --- | PROPOSED SANITARY SEWER MANHOLE |
| --- | PROPOSED CLEWOUT |
| --- | PROPOSED WATER LINE |
| --- | PROPOSED VALVE |
| --- | PROPOSED FIRE LINE |
| --- | PROPOSED HYDRANT |
| --- | PROPOSED CAP |
| --- | PROPOSED WATER METER |
| --- | EXISTING BRICK CROSSWALK |
| --- | EXISTING MEDIAN PAVING (FLUSH W/ ASPHALT) |
| --- | PROPOSED DRAINAGE BASIN BOUNDARY |
| --- | LIMITS OF PAVEMENT REMOVAL |
| --- | ASBESTOS SPOT ELEVATION |



GENERAL NOTES

1. ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES, AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITY LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR MOVEMENTS CAUSED BY UTILITY COMPANY WORK SCHEDULES.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL, DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SCHEDULING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SCHEDULING SHALL CONFORM TO APPLICABLE SPECIFICATIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SCHEDULING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NIMES REQUIREMENTS. THIS COORDINATE INFORMATION IS PROVIDED TO GUIDE THE CONSTRUCTION SCHEDULING PROCESS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT ADJUSTED POINTS CONFORM TO THE SITE PLAN DIMENSIONS AND THE INTENT OF THESE PLANS. ALL CONFLICTS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO FURTHER STAGING OR CONSTRUCTION.



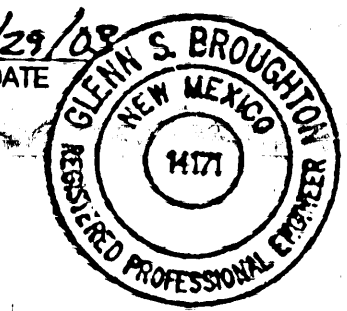
VICINITY MAP
ZONE MAP NO. D-17-Z
LEGAL DESCRIPTION:
LOT 10A JOURNAL CENTER PHASE 2

DRAINAGE CERTIFICATION

I, GLENN BROUGHTON, NMPE 14171, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02-27-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BILL BOWERS, NMPS 11766, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/23/02 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Glenn Broughton
GLENN BROUGHTON, NMPE 14171



GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROJECT BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BOMS AT THE PROPERTY LINES PER DETAIL ON SHEET C1.3 AND WEETING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNDESIRABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND Haul TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAID ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PAVING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
10. SIDEWALK GRADES SHALL NOT EXCEED 20 HORIZONTAL TO 1 VERTICAL.

UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATIVE TO MECHANICAL UTILITIES, INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEWOUT PIPS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND SEALING. ANY WORK NOT REQUIRED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REPAIRED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DETAILS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTIONS.
3. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED BY THE ARCHITECT, BE CONSTRUCTED IN ACCORDANCE WITH THE DAPM UNIFORM PAVING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (4:05) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SINKER WORKSHEED FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PROFITA AND OTHER SPECIAL ASSIGNMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAN LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. PROVIDE BALLAST TO PROTECT METER, AS PER PMM & LFC REQUIREMENTS.
12. UTILITY ELEVATIONS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY BLOCKED ELEVATIONS. SEE PLAN FOR EXACT EASEMENT GEOMETRY.

UTILITY KEYED NOTES

- A. STUB 3" SERVICE TO WITHIN 5' OF BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION.
- B. NEW 1-1/2" BRIGGION METER STUB TO RIGHT OF WAY, SEE LANDSCAPE BRIGGION PLANS FOR CONTINUATION.
- C. CONTRACTOR TO COORDINATE AND PAY FOR CITY INSTALLATION OF 3" WATER SERVICE, INCLUDING WALK AND METER 1-1/2" BRIGGION SERVICE & METER WITHIN PUBLIC RIGHT OF WAY. CITY CROWN SHALL ALSO REMOVE AND REPLACE PAVEMENT AS REQUIRED.
- D. NEW 6" FIRELINE, STUB TO WITHIN 5' OF BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION.
- E. STUB 6" GAS TO WITHIN 5' OF BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION.
- F. CORRECT 6" GAS TO EXISTING 6". CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO BEGINNING WORK.
- G. ABANDON EXISTING 2" WATER METER AND SERVICE. REMOVE METER BOX PLUS SERVICE LINE AT CURB STOP PER COA REQUIREMENTS.
- H. EXISTING FIRE HYDRANT TO REMAIN.
- I. 6" 45° MA REDUCER WITH BLOTTING.
- J. 6" FIRELINE, 3" MINIMUM COVER.
- K. CORRECT 6" FIRELINE TO EXISTING 6" FIRELINE. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO BEGINNING WORK.
- L. GAS CLEWOUT, SEE DETAIL SHEET C1.3.
- M. NEW FIRE HYDRANT, GATE VALVE & TEE WITH BLOTTING, PER COA STANDARD DWG. 2333.
- N. 6" 45° BEND WITH BLOTTING PER COA STANDARD DWG. 2333.
- O. 6" REDUCED PRESSURE BACKFLOW PREVENTER & HOT DISCHARGE W/ 1/2" HOV SERVICE. SEE ELECTRICAL SITE PLAN FOR LOCATION.
- P. 6" 45° BEND WITH BLOTTING PER COA STANDARD DWG. 2333.
- Q. 6" 45° BEND WITH BLOTTING PER COA STANDARD DWG. 2333.
- R. 3" REDUCED PRESSURE BACKFLOW PREVENTER & HOT DISCHARGE W/ 1/2" HOV SERVICE. SEE ELECTRICAL SITE PLAN FOR LOCATION.

GRADING KEYED NOTES

1. TYPE "T" INLET PER COA STD DWG. 2206.
2. 18" HOV STORM DRAIN PIPE FROM PROPOSED INLET TO EXISTING INLET IN WASHINGTON STREET.
3. 24" WIDE SIDEWALK CULVERT PER COA STD DWG. 2235.
4. 4" CIRCULAR OPENING.
5. 48" CIRCULAR OPENING.
6. 48" RETENTION CHANNEL PER COA STD DWG. 2236. DRAIN 3/8" DRAINAGE RATE.
7. DOUBLE 24" SIDEWALK CULVERT PER COA STD DWG. 2235.

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SURVEYORS SOFTWARE DEVELOPERS

REGISTRATION

Glenn Broughton

GLENN S. BROUGHTON
NEW MEXICO
14171
REGISTERED PROFESSIONAL ENGINEER

ISSUE RECORD

01/25/02	PERMIT SUBMITTAL
02/26/02	REVISED PER COA REVIEW DATE 12/31/01
04/05/02	REVISED PER COA BUILDING PERMIT REVIEW COMMENTS

DESIGN NUMBER
A510220

PROJECT NUMBER

DATE
12/21/01

PROJECT MANAGER
T. DAVIDSON

DRAWN BY
RWB

CHECKED BY
CSB

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Prepared For

OPUS.

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PROJECT

U.S. DEPARTMENT OF THE INTERIOR

AT JOURNAL CENTER 2

LOCATION
ALBUQUERQUE, NM

SHEET TITLE

GRADING / DRAINAGE & UTILITY PLAN

SHEET NUMBER

C1.2

