



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 31, 2004

Jackie McDowell, P.E.  
McDowell Engineering  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

4110 Wolcott Ave NE  
*Korn*

Re: Chapman Journal Center LOT 4, ~~7421 Hancock~~, Certificate of Occupancy  
Engineer's Stamp dated 12-06-02 (D17/D85)  
Certification dated 3-18-04

Dear Ms. McDowell,

Based upon the information provided in your submittal received 3-29-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file

# CHAPMAN COMPANIES

"Two generations of excellence value"

Chapman Homes  
Chapman Land  
Chapman Realty  
Chapman Remodeling

## Drainage Easement

11/7/02

As owners of lots 3&4 as shown on the "Plat of Journal Center Phase 2, Unit 1" we hereby grant the following easement:

In order to allow for drainage from lot 4 across lot 3 as shown on the "Grading and Drainage" plan as proposed by McDowell Engineering dated October 2002, we hereby grant an easement across lot 3 for drainage for the sole use of lot 4. Said easement to be 26' feet wide and extend the width east to west of lot 3 and as further shown on the "Site Plan" Dated 11/8/02 for development of lots 3&4.

Owner of lots 3 & 4  
Journal Center Phase 2, Unit 1

  
Michael Chapman  
President, Walton Chapman Builders Company

2002148610  
5755784  
Page: 1 of 2  
11/14/2002 11:25A  
Bk-A44 Pg-8268  
Mary Herrera Bern. Co. ERSE R 11.09

404 BRUNN SCHOOL ROAD-A  
SANTA FE, NM 87305

BUILDERS SINCE 1966  
Lic. #12630  
www.chapmanhomes.com

305-983-8100  
FAX: 505-983-9400



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 1, 2002

Jackie McDowell, PE  
McDowell Engineering  
7820 Beverly Hills NE  
Albuquerque, NM 87122

**Re: Chapman Journal Ctr. Development Grading and Drainage Plan  
Engineer's Stamp dated 10-3-02 (D17/D85)**

Dear Ms. McDowell,

Based upon the information provided in your submittal dated 10-3-02, the above referenced plan is approved for Site Plan for Building Permit and Foundation Permit. Prior to Building Permit approval, please address the following comments.

- A cross-lot drainage easement must be provided. If it is on the plat, please provide a copy of the plat.
- Please provide all spot elevations of the curb that are critical to the constructibility of this plan.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Building and Development Services

C: file



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 26, 2002

Jackie McDowell, PE  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87110-5372

**RE: Chapman Journal Center, Phase 2, Unit 1  
Grading and Drainage Plan (D-17/D85)  
Engineer's Stamp Dated December 6, 2002**

Dear Ms. McDowell:

The above referenced grading and drainage plan received December 6, 2002 is approved for Building Permit and Foundation Permit. Prior to Certificate of Occupancy approval, an Engineer's Certification per the Development Process Manual will be required.

If you have any questions, please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

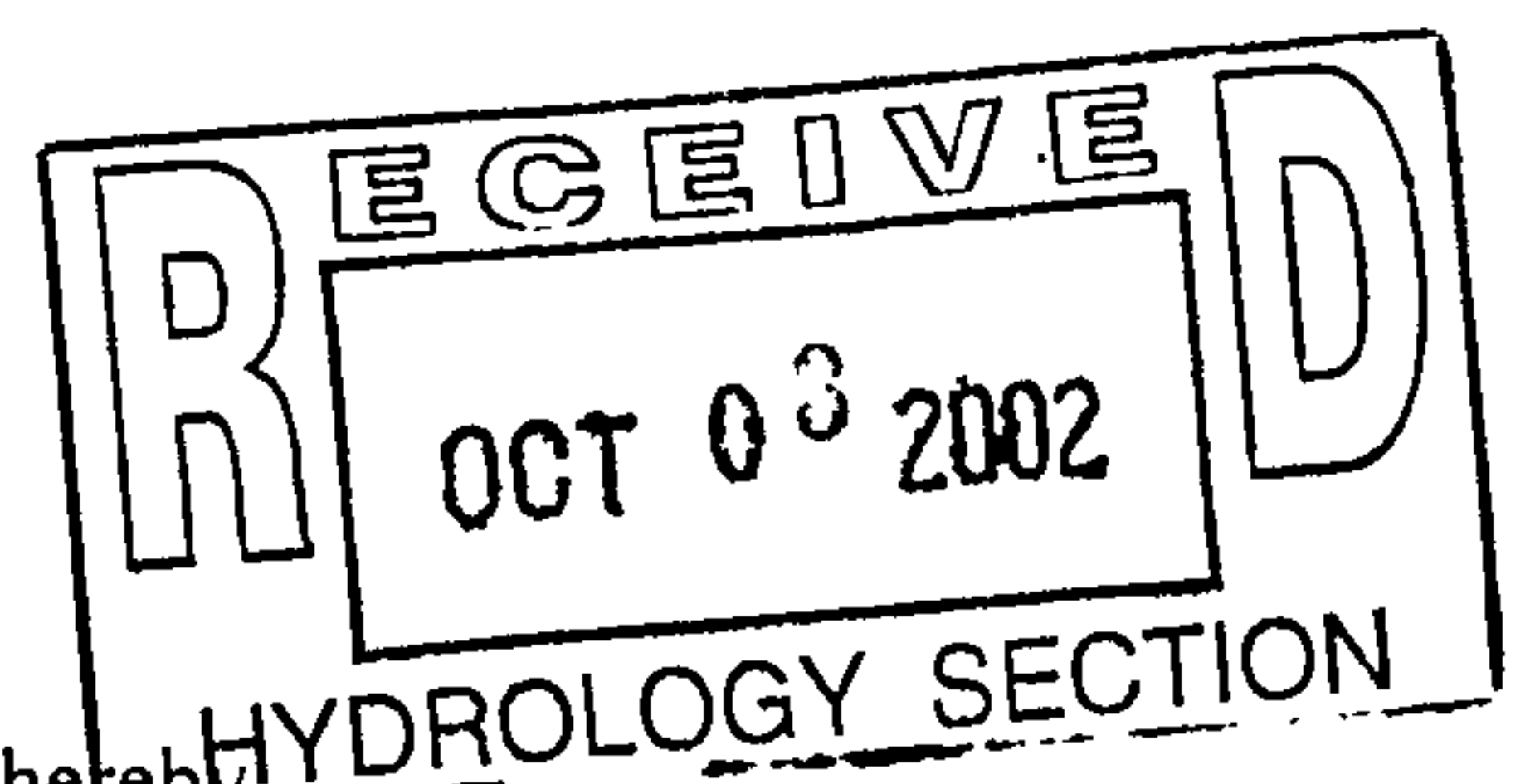
C: File

**ATTACHMENT NO. 1**

**SUPPLEMENTAL CALCULATIONS TO**

**CHAPMAN JOURNAL CTR. DEV.  
JOURNAL CENTER  
LOTS 3 & 4  
PHASE 2, UNIT 1**

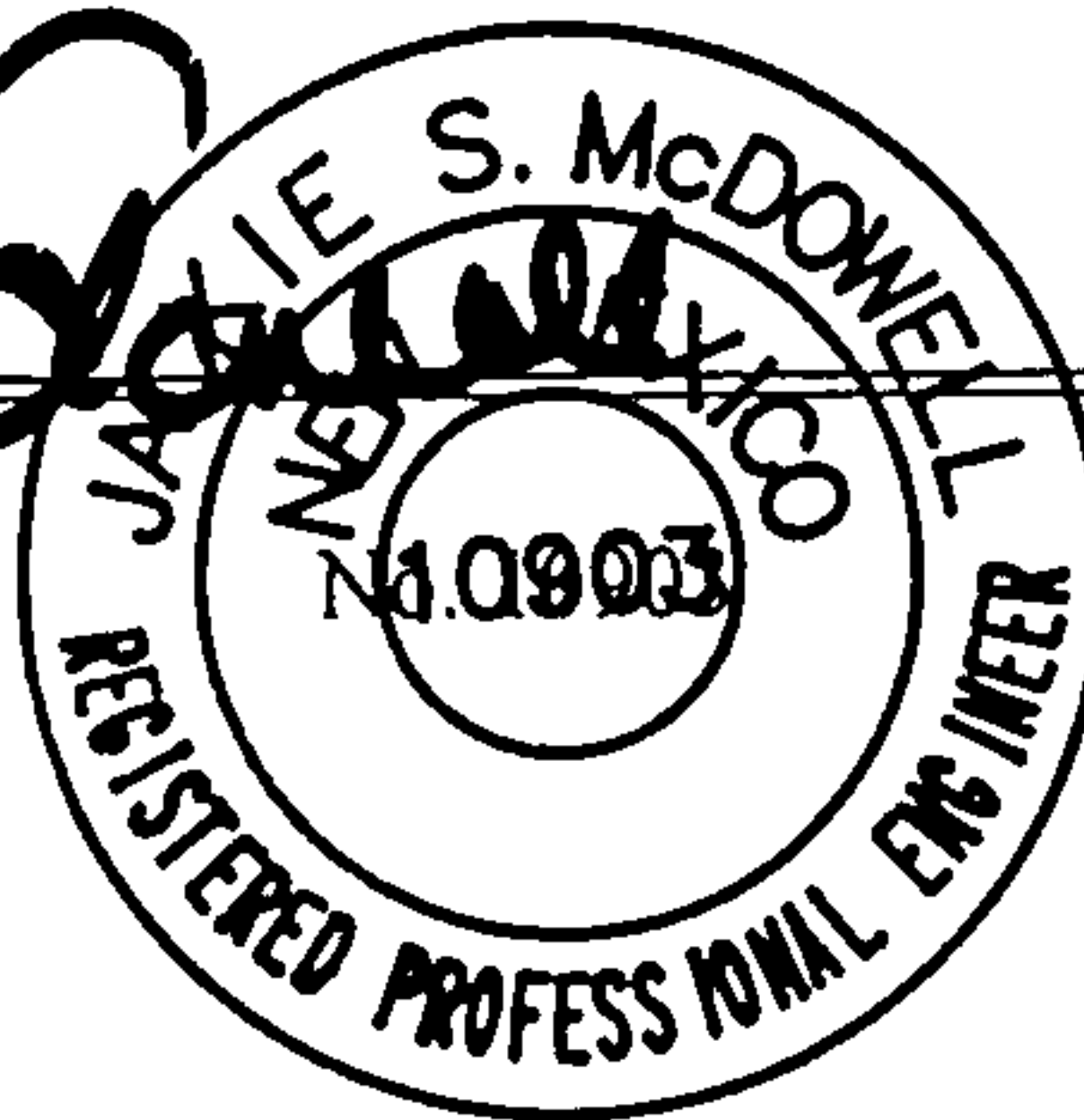
**GRADING & DRAINAGE PLAN**



I, Jackie S. McDowell, Registered Professional Engineer, No. 10903, hereby  
certify that I have prepared the attached calculations.

A handwritten signature in black ink, appearing to read "Jackie S. McDowell".

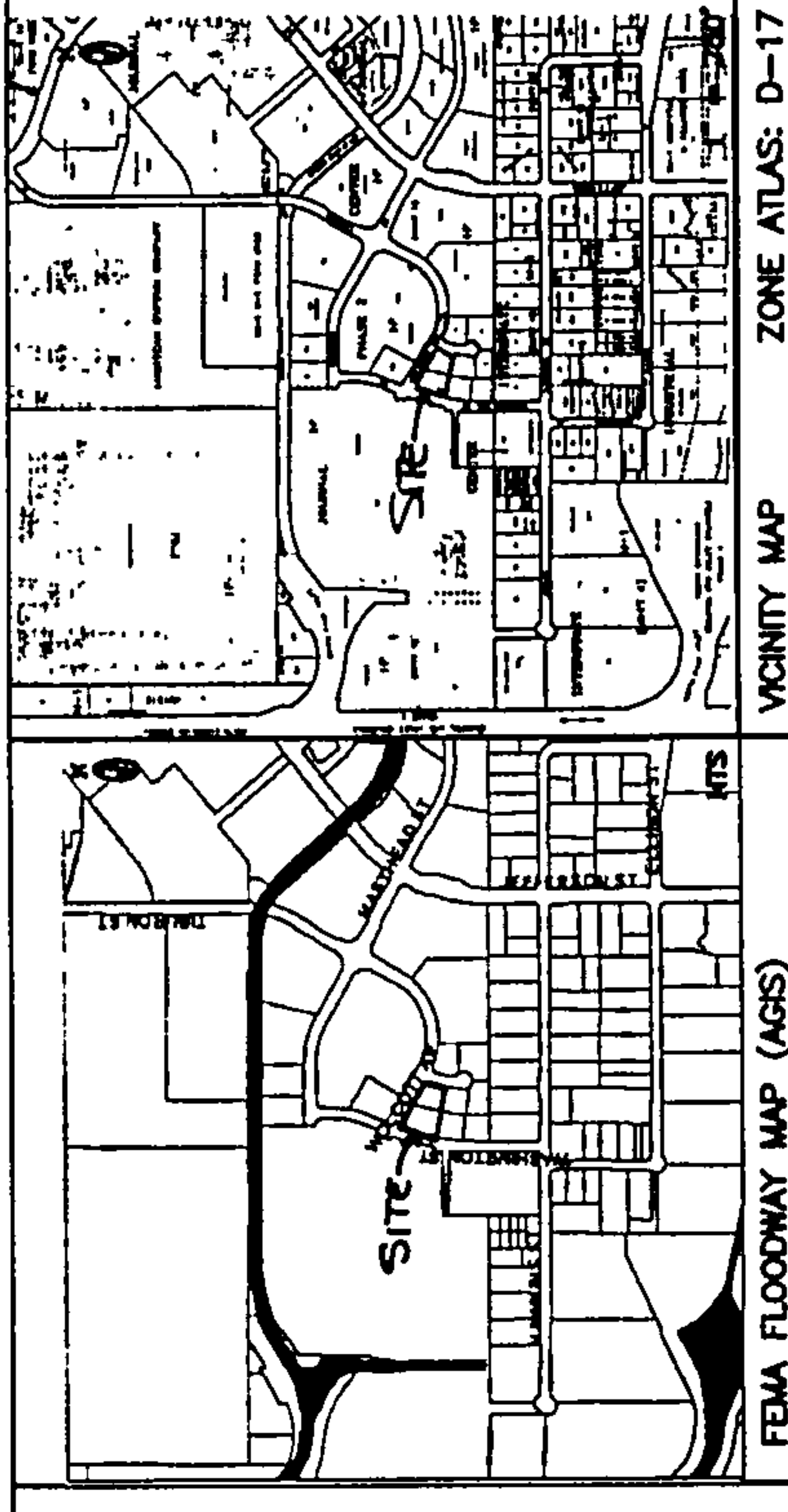
Jackie S. McDowell, P.E.



10-3-02

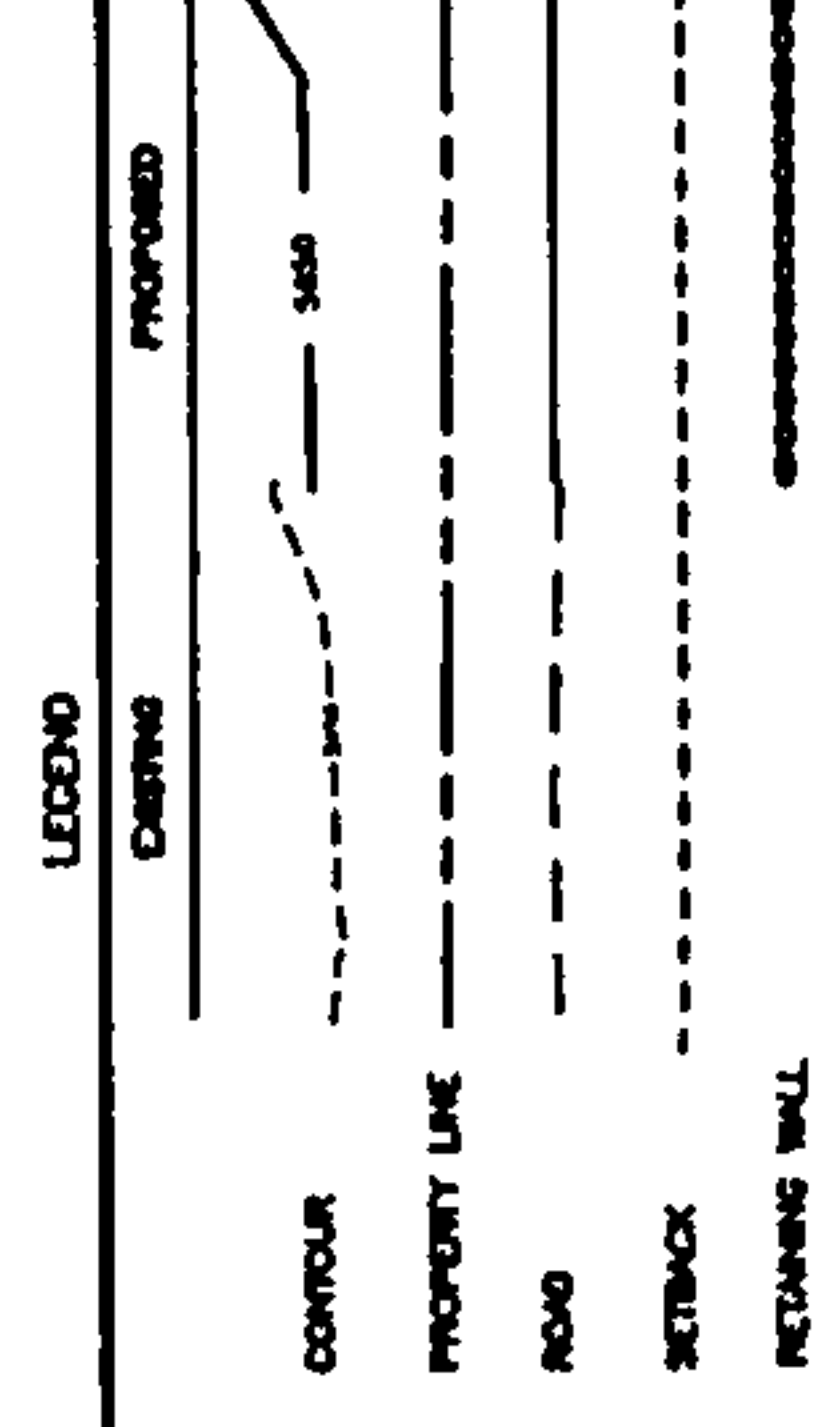
Date



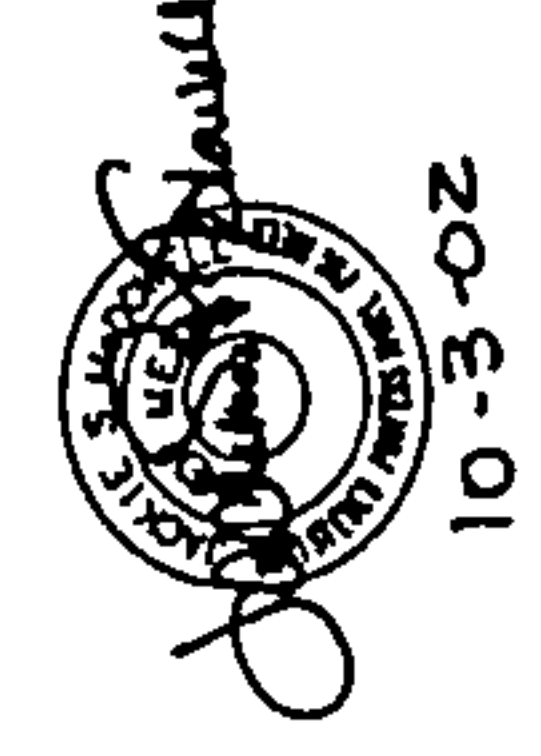
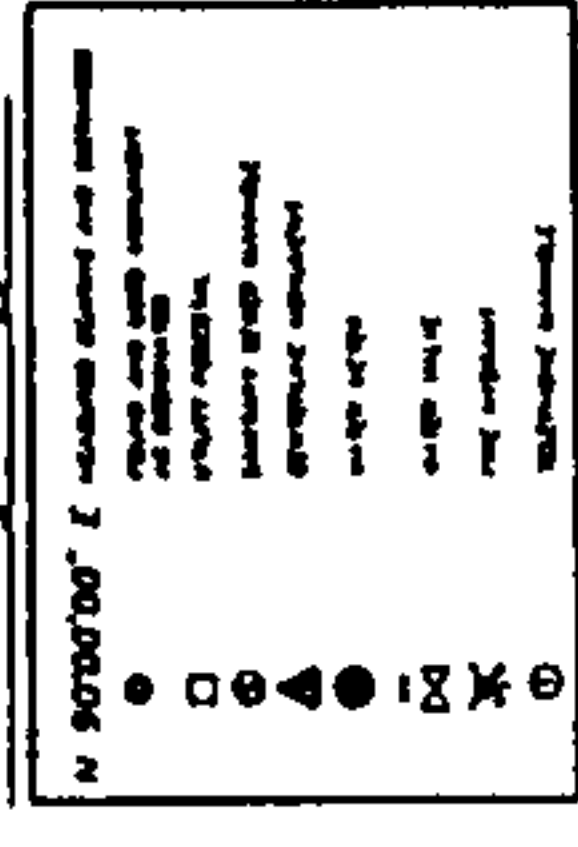


VICINITY MAP ZONE ATLAS: D-17

FEMA FLOODWAY MAP (AGS)



# Survey Legend



ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

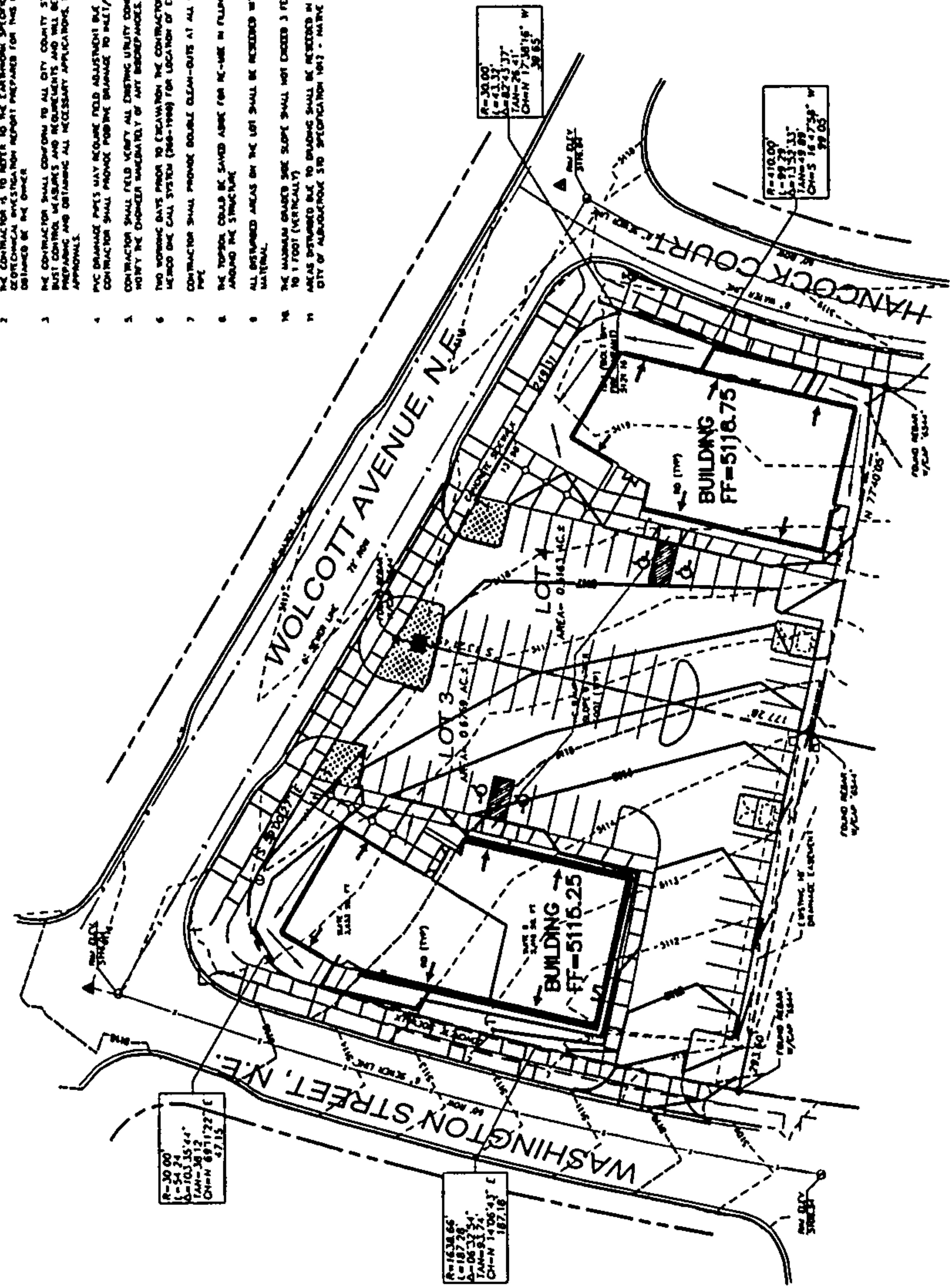
LOTS 3 & 4, JOURNAL CENTER  
PHASE 2, UNIT 1

McDaniel Engineering Inc.

Drawn: JDM  
Check: JDM  
Date: OCTOBER 1, 2002

Sheet: 1 of 1

- GENERAL GRADING NOTES**
1. THE CONTRACTOR SHALL OBTAIN A TOP SURVEY OF THE PROJECT AREA FROM THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR SHALL OBTAIN A TOP SURVEY OF THE PROJECT AREA FROM THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, PRIOR TO CONSTRUCTION.
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## LOTS 3 & 4, JOURNAL CENTER PHASE 2, UNIT 1 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### Survey Notes

1. THE CONTRACTOR SHALL OBTAIN A TOP SURVEY OF THE PROJECT AREA FROM THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, PRIOR TO CONSTRUCTION.
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LOCATION OF UTILITY LINES ARE APPROXIMATE  
SIZE OF LINES BASED ON AS-BUILT DATA OBTAINED  
FROM THE CITY OF ALBUQUERQUE

# CHAPMAN JOURNAL CTR LOTS 3 & 4 ON-SITE CALLS

1-Oct-02

## Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 2

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.35 inches

## Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$$7 * \text{SQR}((N * N) + (5 * N))$$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D = 0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	1.19	0.00
Treatment B	0.00	0.23
Treatment C	0.00	0.00
Treatment D	0.00	0.96
Total (acres) =	1.19	1.19

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.05	0.18	0.01	0.11	0.00	0.06
Volume (cubic feet) =	2,289	8,039	562	4,903	0	2,770

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	1.86	0.00	0.45	0.00	0.00	0.00
Treatment B	0.00	0.52	0.00	0.22	0.00	0.02
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.00	4.51	0.00	3.01	0.00	1.79
Total Q (cfs) =	1.86	5.04	0.45	3.23	0.00	1.80



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 22, 2003

Jackie McDowell, PE  
McDowell Engineering  
7820 Beverly Hills NE  
Albuquerque, NM 87122

Re: Chapman Journal Ctr. Dev. Lot 3 Certification ~~7420 Washington NE~~ <sup>4100 Wolcott Ave NE</sup>

Engineer's Stamp dated 10-3-02

Certification dated 9-4-03 (D17/D85)

Dear Ms. McDowell,

Based upon the information provided in your submittal dated 9-4-03, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Building and Development Services

C: Phyllis Villanueva, CoA  
file





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

April 8, 2004

Mark Baczek, Registered Architect  
13604 Rebonito Ct. NE  
Albuquerque, NM 87112

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Office Bldg(Journal Center phase 2, unit 1, lot 3 & 4) [D-17 / D85]  
4100 Wolcott Ave NE  
Architect's Stamp Dated 04/07/04

→ 4110 Wolcott

Dear Mr. Baczek:

The TCL / Letter of Certification submitted on April 7, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



D-17/DO85

4/7/04

**Traffic Circulation Layout Substantial Compliance Certificate**

**Regarding:**

4110 Wolcott Ave. N.E.

Albuquerque, New Mexico 87109

Legal Description: Lot 4, Journal Center Phase 2, Unit 1, Albuquerque, Bernalillo County, New Mexico

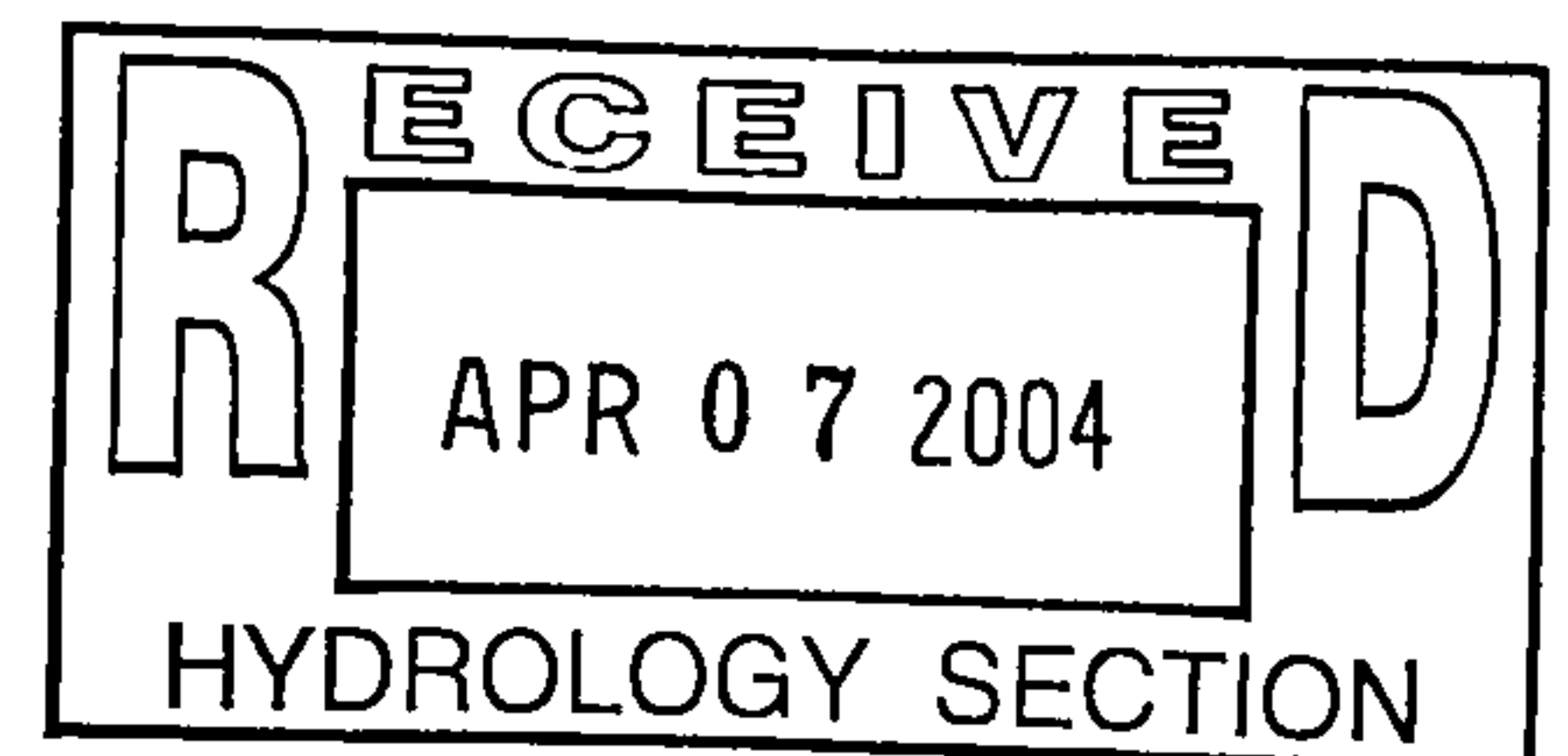
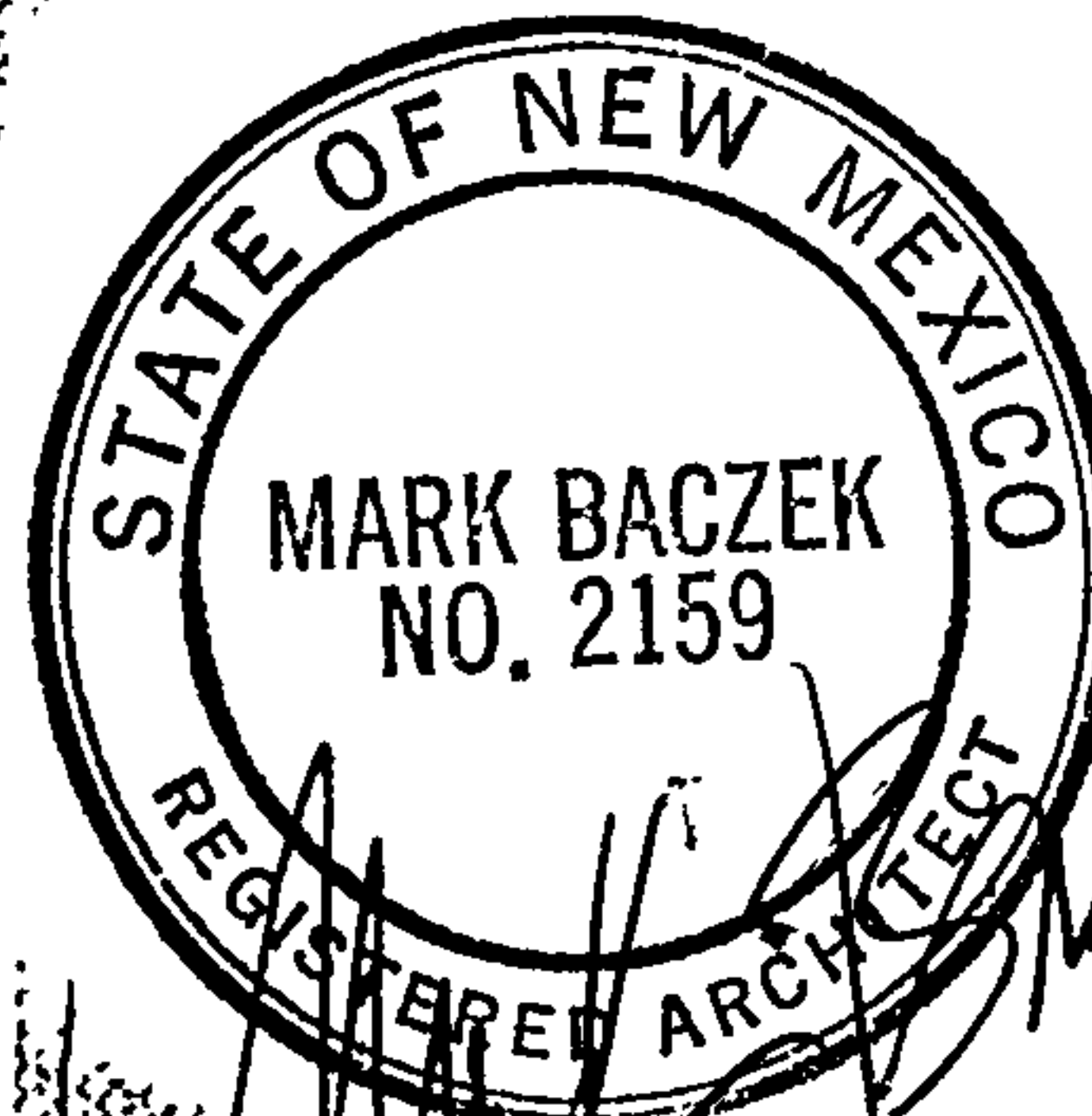
Location: Located at the northwest corner of Wolcott Ave. & Washington St. N.E.

Building Permit No.: 0309779

This letter is to note for the record that I have inspected the construction improvements to the site noted above & have found the construction improvements to be "Substantially Compliant" with the approved Traffic Circulation Layout (TCL ), as approved by DRB for the building permit.

Mark Baczek, AIA

Dorman & Breen Architects





Chapman's & Journal Center  
Lots 3~~4~~, D-17/D085

4/7/04

**Traffic Circulation Layout Substantial Compliance Certificate**

**Regarding:**

4100 Wolcott Ave. N.E.

Albuquerque, New Mexico 87109

Legal Description: Lot 3, Journal Center Phase 2, Unit 1, Albuquerque, Bernalillo County, New Mexico

Location: Located at the northwest corner of Wolcott Ave. & Washington St. N.E.

Building Permit No.: 0301455

This letter is to note for the record that I have inspected the construction improvements to the site noted above & have found the construction improvements to be "Substantially Compliant" with the approved Traffic Circulation Layout (TCL), as approved by DRB for the building permit.

One parking space was deleted due to an encroachment by a telephone pedestal that could not be moved.

Mark Baczek, AIA

Dorman & Breen Architects

