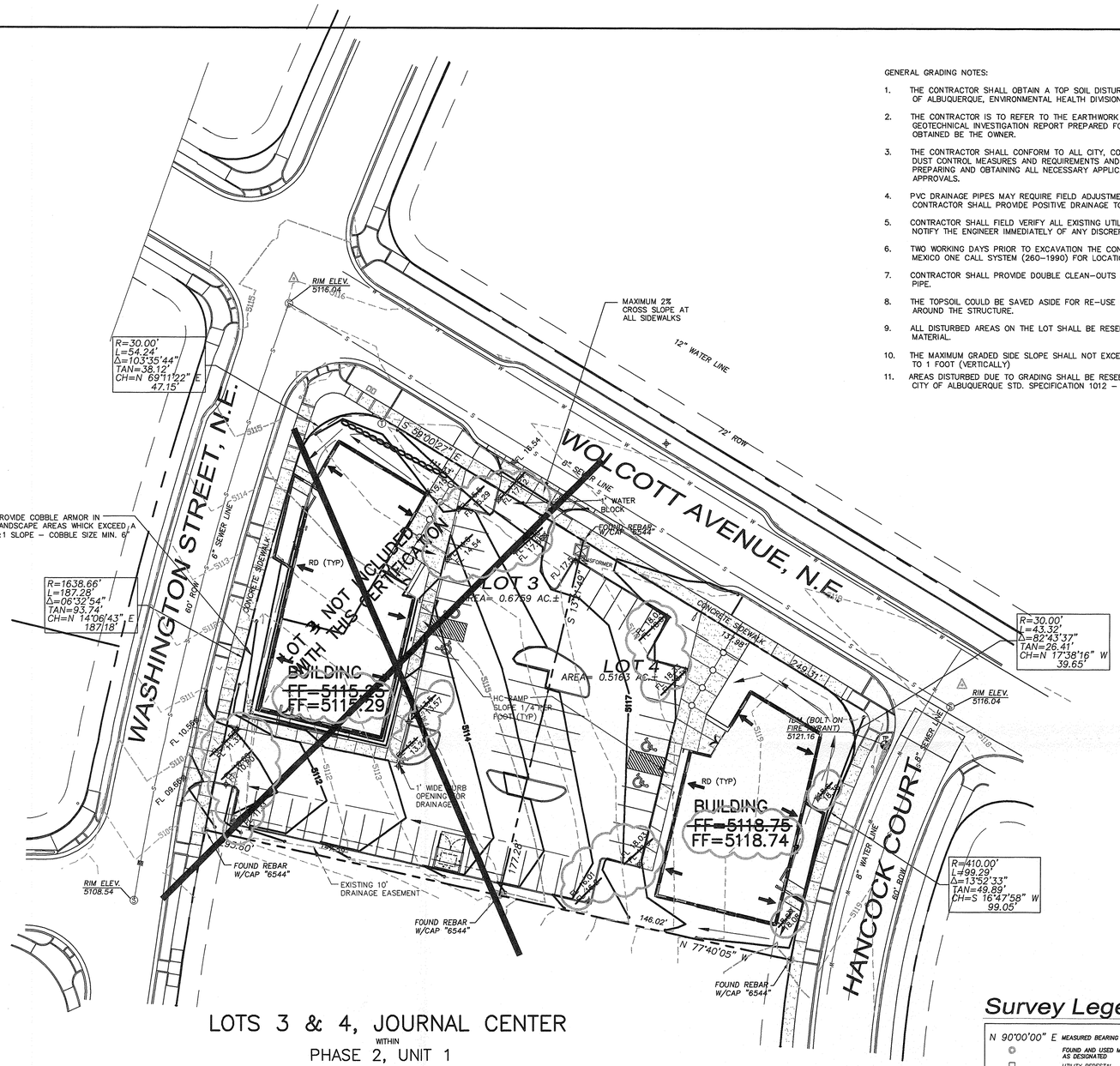

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BE THE OWNER.
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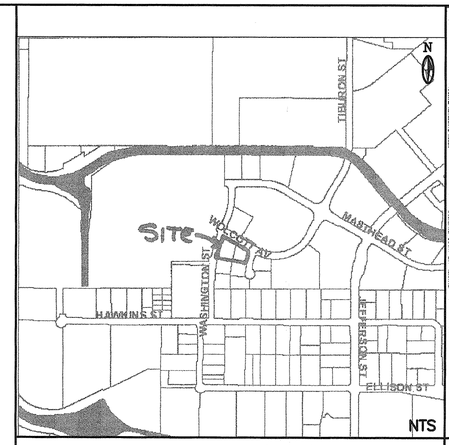
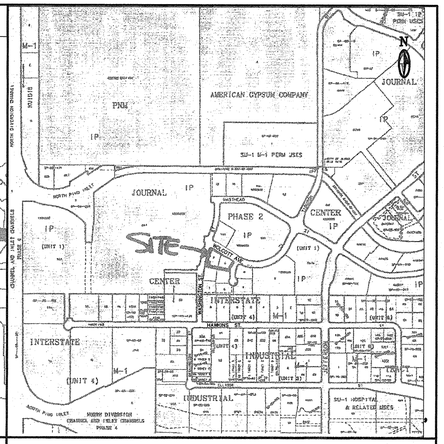


FEMA FLOODWAY MAP (AGIS)



VICINITY MAP ZONE ATLAS: D–17

LEGEND

	EXISTING	PROPOSED
CONTOUR	5116	5850
PROPERTY LINE		
ROAD		
SETBACK		
RETAINING WALL		
AS BUILT SPOT ELEVATION		FF=5114.02 ~~FF=5114.66~~

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Two buildings are proposed for the subject property (2 lots), with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 1.19 acre site is undeveloped. The site is bounded on the west by Washington Street, on the north by Wolcott Avenue, and on the east by Hancock Court. The site slopes from the northeast to the southwest at approximately 4%. As shown by the FEMA Map Panel No. 136, dated April 2, 2002, the site is not located in a 100–year floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:

As shown by the plan, the buildings are located within the westerly half of Lot #3 and within the easterly half of Lot #4. On site flows will drain around the structures and flow to the southwest. All roof drainage will discharge from the roofs to the south and west and continue to flow to Washington Street. Runoff will continue to be allowed to free discharge to the adjacent street, per the Bohannan Huston Journal Center Master Drainage plan (COA File No. D17/D3). Supplemental calculations have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:

Treatment A = 1.19 acres
Treatment B = 0 acres
Treatment C = 0 acres
Treatment D = 0 acres

Proposed Treatment Types:

Treatment A = 0.00 acres
Treatment B = 0.23 acres
Treatment C = 0.00 acres
Treatment D = 0.96 acres

Using the values above produces the following storm water flows and volumes:

Existing 100–year Flow = 1.86 cfs
Proposed 100–year Flow = 5.04 cfs

Existing 100–year Volume = 2289 cu. ft.
Proposed 100–year Volume = 8039 cu. ft.

PROPERTY ADDRESS:

7420 Washington Street (Lot #3)
7421 Hancock Court (Lot #4)

TOPOGRAPHY:

Topographic information provided by Precision Surveying dated September 2002.

DRAINAGE CERTIFICATION:

I, JACKIE S. MCDOWELL, P.E., OF MCDOWELL ENGINEERING, INC. NMPE #10903 HEREBY CERTIFY THAT THE AS–BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS–BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE AS–BUILT ELEVATION ADDED.

JACKIE S. MCDOWELL, P.E.

3-18-04
DATE

JACKIE S. McDOWELL NEW MEXICO 10903 REGISTERED PROFESSIONAL ENGINEER

10-3-02
REV. 12-6-02

LOTS 3 & 4, JOURNAL CENTER
WITHIN
PHASE 2, UNIT 1
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

Survey Notes

1) REFER TO PLAT ENTITLED "PLAT OF JOURNAL CENTER PHASE 2, UNIT 1" LYING AND SITUATE WITHIN PROJECTED SECTION 12, T.11 N., R. 3 E., ELENA GALLEGOS GRANT, N.M.P.M., ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON MARCH 15, 2001, IN BOOK 2001C, PAGE 84.

2) ELEVATION DATUM IS BASED ON NGVD 1929 FROM NMSHC MONUMENT "9–D17", ELEVATION (FEET) = 5124.4

3) IMPROVEMENTS SHOWN ARE CURRENT AS OF SEPTEMBER 16, 2002, DATE OF FIELD SURVEY.

4) LOCATION OF UNDERGROUND UTILITIES AND EASEMENTS NOT VERIFIED BY THIS PLAN. UNDERGROUND UTILITIES MAY EXIST WHERE NONE ARE SHOWN. UNDERGROUND UTILITY LOCATION IS BASED UPON INFORMATION PROVIDED BY OTHERS AND MAY BE INCOMPLETE OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE OWNER SHOULD INFORM HIMSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE OWNER IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND UTILITY LINES, THE OWNER IS URGED TO COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES, IN PLANNING AND CONDUCTING EXCAVATION.
THE OWNER SHOULD MAKE THEMSELVES AWARE OF REGULATIONS STATED IN CHAPTER 62, ARTICLE 14, NMSA 1978 RELATING TO EXCAVATION DAMAGE TO PIPELINES AND UNDERGROUND UTILITY LINES.

Survey Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
⊙	FOUND AND USED MONUMENT AS DESIGNATED
□	UTILITY PEDESTAL
Ⓢ	SANITARY SEWER MANHOLE
△	CENTERLINE MONUMENT
Ⓦ	WATER METER
WV	WATER VALVE
	FIRE HYDRANT
Ⓣ	TELEPHONE MANHOLE

GRAPHIC SCALE

30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

LOCATION OF UTILITY LINES ARE APPROXIMATE SIZE OF LINE BASED ON AS–BUILT DATA OBTAINED FROM THE CITY OF ALBUQUERQUE

GRADING
10–1–02
1=30
BRE0102L

BERNALILLO COUNTY NEW MEXICO

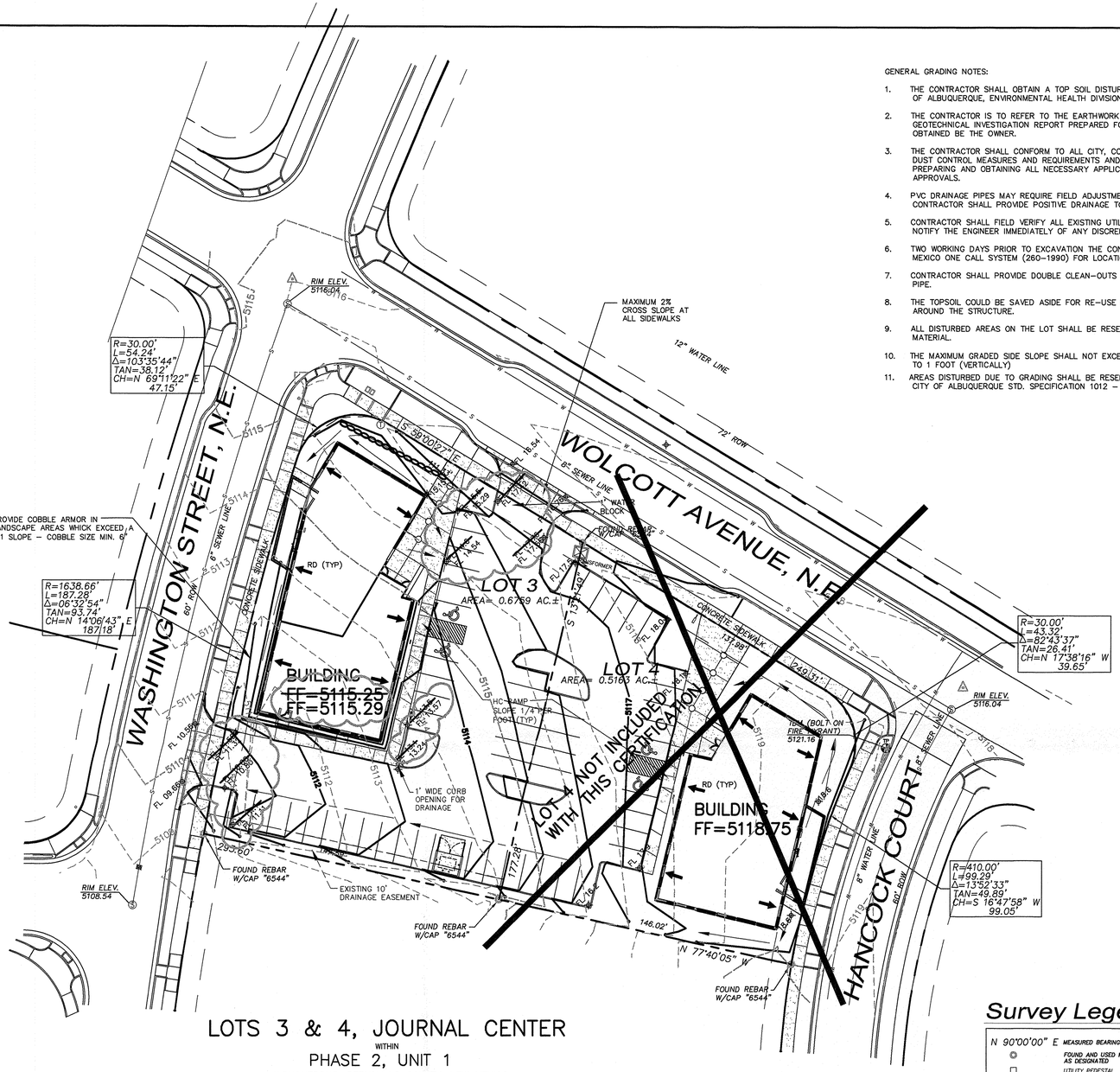
LOTS 3 & 4, JOURNAL CENTER
PHASE 2, UNIT 1

CHAPMAN JOURNAL CENTER DEVELOPMENT

RECEIVED
DEC 06 2002
DEVELOPMENT & BUILDING SERVICES

McDowell Engineering Inc.

Designed	Drawn	Checked	Sheet of
JSM	STAFF	JSM	C–2.1
File BRE0102L	Date NOVEMBER,2002		



LOTS 3 & 4, JOURNAL CENTER

WITHIN

PHASE 2, UNIT 1

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

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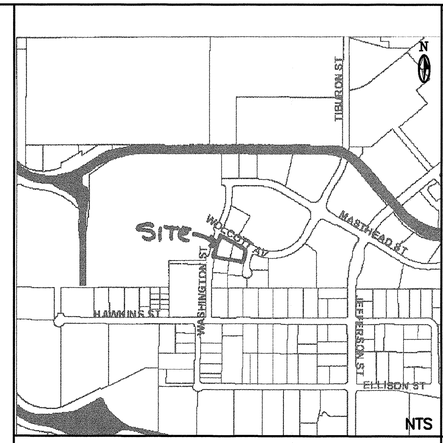

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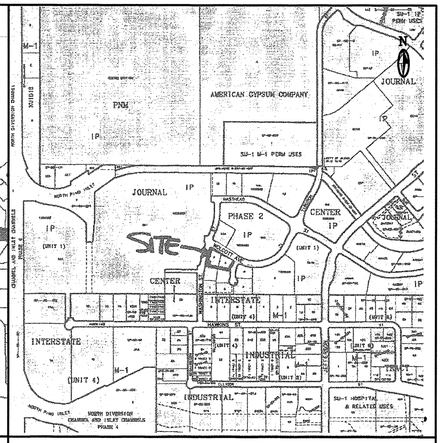

VICINITY MAP ZONE ATLAS: D–17

DRAINAGE PLAN

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TOPOGRAPHY:

Topographic information provided by Precision Surveying dated September 2002.

LEGEND

	EXISTING	PROPOSED
CONTOUR	5116	5850
PROPERTY LINE		
ROAD		
SETBACK		
RETAINING WALL		
AS BUILT SPOT ELEVATION	FF=5114.02 FF=5114.08	

DRAINAGE CERTIFICATION:

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JACKIE S. MCDOWELL, P.E.

9-4-03

DATE

JACKIE S. McDOWELL NEW MEXICO 10903 REGISTERED PROFESSIONAL ENGINEER

JACKIE S. McDOWELL NEW MEXICO 10903 REGISTERED PROFESSIONAL ENGINEER

10-3-02
Rev. 12-6-02

BERNALILLO COUNTY NEW MEXICO

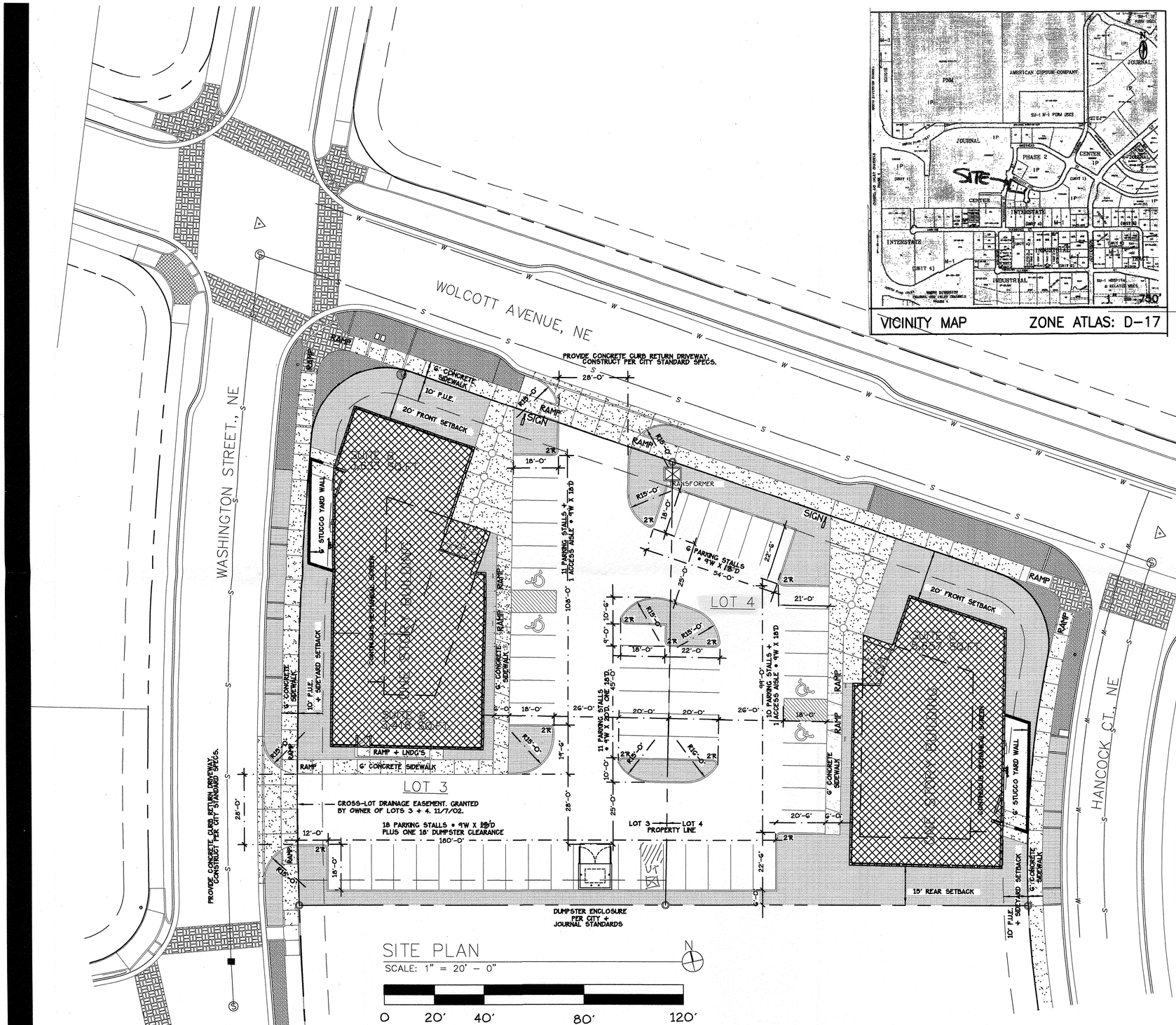
LOTS 3 & 4, JOURNAL CENTER
PHASE 2, UNIT 1

CHAPMAN JOURNAL CENTER DEVELOPMENT

McDowell Engineering Inc.

Designed	Drawn	Checked	Sheet of
JSM	STAFF	JSM	C–2.1
File BRE0102L	Date NOVEMBER,2002		

GRADING
10–1–02
1=30
BRE0102L

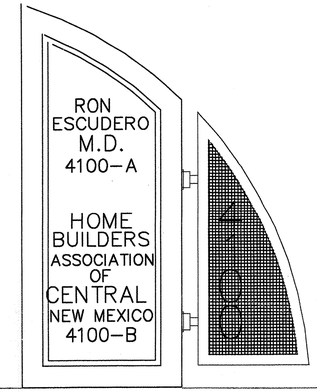


SITE PLAN

SCALE: 1" = 20' – 0"

0 20' 40' 80' 120'

VICINITY MAP ZONE ATLAS: D-17



TYPICAL
MONUMENT SIGN
6' HIGH X 5' WIDE

PLAN LEGEND

- BULDING AREA
- CONCRETE PAVEMENT
- NEW LANDSCAPED AREAS
- EXISTING LANDSCAPED AREAS

LOT 3 SITE DATA
Site Area: 0.6759 ac. (29,442 sq. ft.)
Gross Building Area: 7,536 sq. ft.
Leasable Area: 7,051 sq. ft.
Proposed Building Use: Offices & Dr.'s Clinic
Parking provided: 30 spaces

LOT 4 SITE DATA
Site Area: 0.5163 ac. (22,490 sq. ft.)
Gross Building Area: 5,980 sq. ft.
Leasable Area: 5,657 sq. ft.
Proposed Building Use: Offices
Parking provided: 26 spaces

R.E. Dorman 11-13-02

RECEIVED
APR 07 2004
HYDROLOGY SECTION

CITY APPROVALS: PROJECT NO.: 1002277
02DRB-01571

CITY SURVEYOR	NA	DATE:
TRAFFIC ENGINEERING	Christina Sandoval	DATE: 11/13/02
PARKS + RECREATION	Roger A Green	DATE: 11-14-02
UTILITY DEVELOPMENT	NA	DATE:
REAL PROPERTY DIVISION	N/A	DATE:
A.M.F.C.A.	Brad D. Bingham	DATE: 11/14/02
CITY ENGINEER	Sheran Matson	DATE: 11/13/2002
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION		DATE: 11.13.02
SOLID WASTE	NA	DATE:
ENVIRONMENTAL HEALTH		DATE:

DORMAN and BREEN
LAURENCE BREEN A.I.A.
SANTA FE, NM 505-982-9196
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

4100 Wolcott Avenue NE, Lot 3
4110 Wolcott Avenue NE, Lot 4

LOTS 3 & 4 JOURNAL CENTER 2
Albuquerque, New Mexico

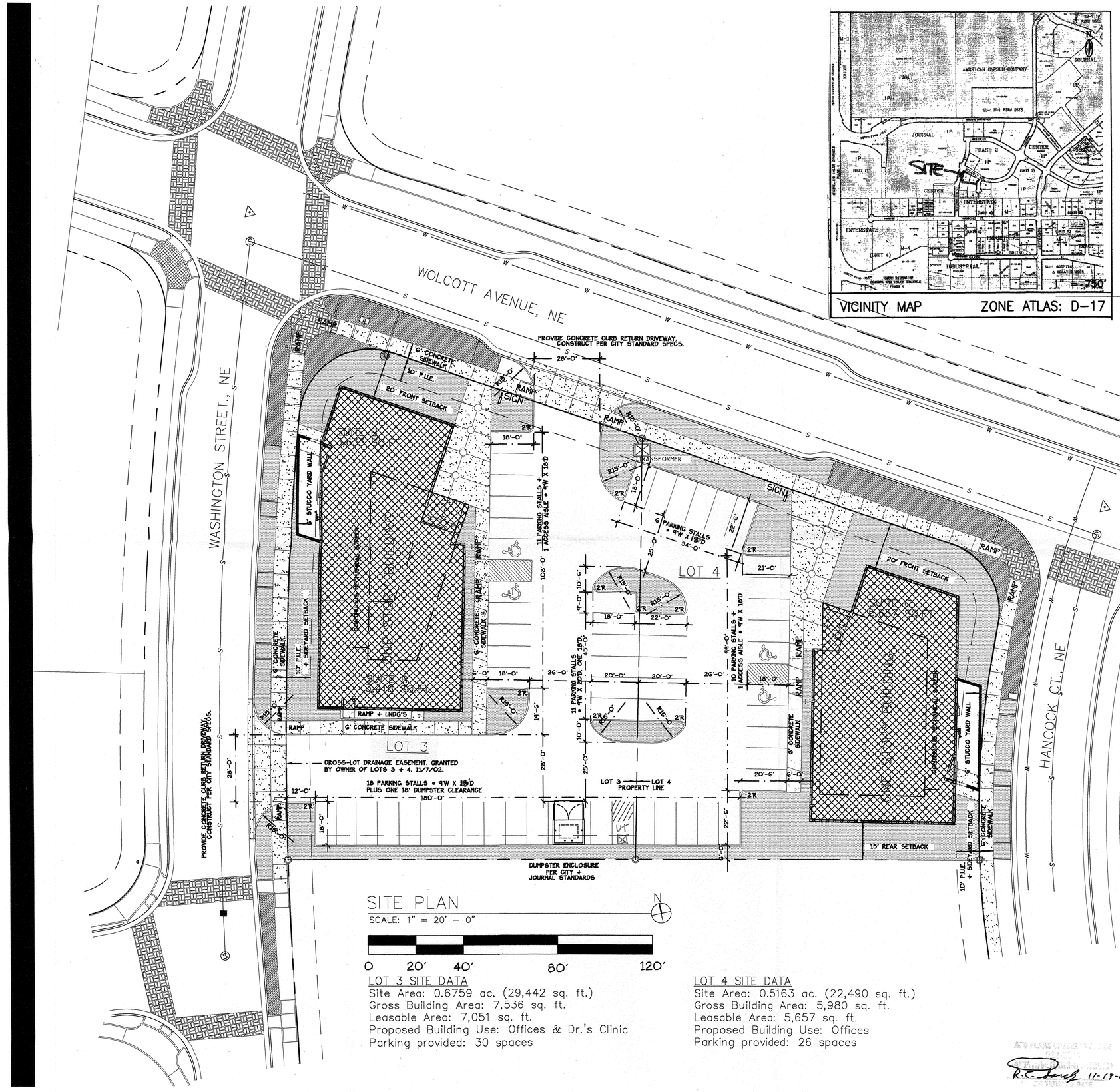
SHEET TITLE: SITE PLAN – DRB

JOB NUMBER: 0247

DATE: 11–8–02

REVISIONS:	DATE:
Permit Set	10–8
LOT 4 PERMIT 6271-03	

SHEET: C–1.1
2 OF 22



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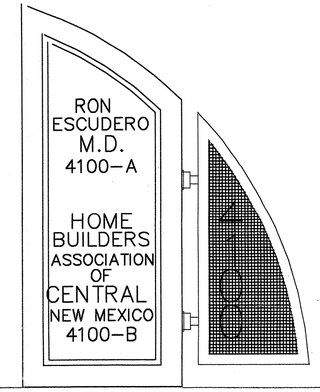

TYPICAL MONUMENT SIGN
6' HIGH X 5' WIDE

PLAN LEGEND

- BUILDING AREA
- CONCRETE PAVEMENT
- NEW LANDSCAPED AREAS
- EXISTING LANDSCAPED AREAS

RECEIVED
APR 07 2004
HYDROLOGY SECTION

CITY APPROVALS: PROJECT NO.: 1002277
02DRB-01571

NA CITY SURVEYOR	DATE: 11/4/02
TRAFFIC ENGINEERING	DATE: 11/13/02
PARKS & RECREATION	DATE: 11-14-02
UTILITY DEVELOPMENT NA	DATE:
REAL PROPERTY DIVISION N/A	DATE:
A.M.F.C.A.	DATE: 11/14/02
CITY ENGINEER	DATE: 11/13/2002
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE: 11.13.02
SOLID WASTE NA	DATE:
ENVIRONMENTAL HEALTH	DATE:

R.C. Lovell 11-13-02

DORMAN and BREEN
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JOB NUMBER: 0247

DATE: 11–8–02

REVISIONS:	DATE:
Permit Set	10-8
LOT 4 PERMIT	6-27-03

SHEET: C–1.1
2 OF 22