



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 31, 2004

Jackie McDowell, P.E.
McDowell Engineering
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

4110 Wolcott Ave NE
Ram

Re: Chapman Journal Center LOT 4, ~~7421 Hancock~~, Certificate of Occupancy
Engineer's Stamp dated 12-06-02 (D17/D85)
Certification dated 3-18-04

Dear Ms. McDowell,

Based upon the information provided in your submittal received 3-29-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

CHAPMAN COMPANIES

"Two generations of excellence in value"

Chapman Homes
Chapman Land
Chapman Realty
Chapman Remodeling

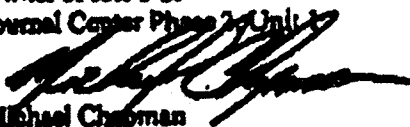
Drainage Easement

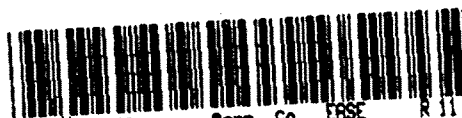
11/7/02

As owners of lots 3&4 as shown on the "Plat of Journal Center Phase 2, Unit 1" we hereby grant the following easement:

In order to allow for drainage from lot 4 across lot 3 as shown on the "Grading and Drainage" plan as proposed by McDowell Engineering dated October 2002, we hereby grant an easement across lot 3 for drainage for the sole use of lot 4. Said easement to be 26' feet wide and extend the width east to west of lot 3 and as further shown on the "Site Plan" Dated 11/8/02, for development of lots 3&4.

Owner of lots 3 & 4
Journal Center Phase 2, Unit 1


Michael Chapman
President, Walton Chapman Builders Company



Mary Herrera

Benn. Co. ERSE

R 11.09

2002148610

5755794

Page: 1 of 2

11/14/2002 11:25A

BX-A44 Pg-8268

484 BRUNN SCHOOL ROAD-A
SANTA FE, NM 87305

BUILDERS SINCE 1966
Lic. #12630
www.chapmanhomes.com

505-968-8100
FAX: 505-968-9460



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 1, 2002

Jackie McDowell, PE
McDowell Engineering
7820 Beverly Hills NE
Albuquerque, NM 87122

**Re: Chapman Journal Ctr. Development Grading and Drainage Plan
Engineer's Stamp dated 10-3-02 (D17/D85)**

Dear Ms. McDowell,

Based upon the information provided in your submittal dated 10-3-02, the above referenced plan is approved for Site Plan for Building Permit and Foundation Permit. Prior to Building Permit approval, please address the following comments.

- A cross-lot drainage easement must be provided. If it is on the plat, please provide a copy of the plat.
- Please provide all spot elevations of the curb that are critical to the constructibility of this plan.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Building and Development Services

C: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 26, 2002

Jackie McDowell, PE
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87110-5372

**RE: Chapman Journal Center, Phase 2, Unit 1
Grading and Drainage Plan (D-17/D85)
Engineer's Stamp Dated December 6, 2002**

Dear Ms. McDowell:

The above referenced grading and drainage plan received December 6, 2002 is approved for Building Permit and Foundation Permit. Prior to Certificate of Occupancy approval, an Engineer's Certification per the Development Process Manual will be required.

If you have any questions, please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

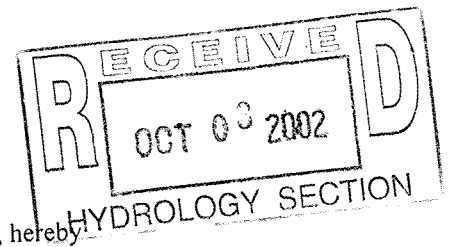
C: File

ATTACHMENT NO. 1

SUPPLEMENTAL CALCULATIONS TO

**CHAPMAN JOURNAL CTR. DEV.
JOURNAL CENTER
LOTS 3 & 4
PHASE 2, UNIT 1**

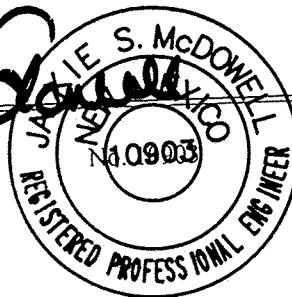
GRADING & DRAINAGE PLAN



I, Jackie S. McDowell, Registered Professional Engineer, No. 10903, hereby
certify that I have prepared the attached calculations.

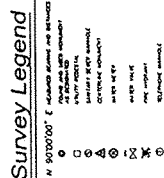
A handwritten signature in black ink, appearing to read "Jackie S. McDowell".

Jackie S. McDowell, P.E.



10-3-02

Date



10-3-02

BERNALILLO COUNTY

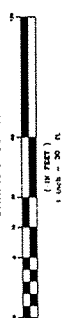
**LOTS 3 & 4, JOURNAL CENTER
PHASE 2, UNIT 1**

COLUMBIA JOURNAL CENTER DEVELOPMENT

McDowell Engineering Inc.

Prepared by	Dan McDowell	Date	1/1
Checked by	Charles JSM		
Drawn by	Bill		

Topographic information provided by Precision Surveying dated September 2002.



LOCATION OF UTILITY LINES ARE APPROXIMATE
SIZE OF LINE BASED ON AS-BUILT DATA OBTAINED
FROM THE CITY OF ALBUQUERQUE

Survey Notes

- [illegible]

CHAPMAN JOURNAL CTR LOTS 3 & 4 ON-SITE CALLS

1-Oct-02

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 2

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.35 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 \cdot \text{SQR}((N \cdot N) + (5 \cdot N))$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D =

0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	1.19	0.00
Treatment B	0.00	0.23
Treatment C	0.00	0.00
Treatment D	0.00	0.96
Total (acres) =	1.19	1.19

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.05	0.18	0.01	0.11	0.00	0.06
Volume (cubic feet) =	2,289	8,039	562	4,903	0	2,770

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	1.86	0.00	0.45	0.00	0.00	0.00
Treatment B	0.00	0.52	0.00	0.22	0.00	0.02
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.00	4.51	0.00	3.01	0.00	1.79
Total Q (cfs) =	1.86	5.04	0.45	3.23	0.00	1.80



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 22, 2003

Jackie McDowell, PE
McDowell Engineering
7820 Beverly Hills NE
Albuquerque, NM 87122

Re: Chapman Journal Ctr. Dev. Lot 3 Certification ~~7420 Washington NE~~

Engineer's Stamp dated 10-3-02

Certification dated 9-4-03 (D17/D85)

4100 Wolcott Ave
NE
Kon

Dear Ms. McDowell,

Based upon the information provided in your submittal dated 9-4-03, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Building and Development Services

C: Phyllis Villanueva, CoA
file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

**Planning Department
Transportation Development Services Section**

April 8, 2004

Mark Baczek, Registered Architect
13604 Rebonito Ct. NE
Albuquerque, NM 87112

Re: Certification Submittal for Final Building Certificate of Occupancy for
Office Bldg(Journal Center phase 2, unit 1, lot 3 & 4), [D-17 / D85]
4100 Wolcott Ave NE
Architect's Stamp Dated 04/07/04

→ 4110 Wolcott

Dear Mr. Baczek:

The TCL / Letter of Certification submitted on April 7, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk



D-17/DO85

4/7/04

Traffic Circulation Layout Substantial Compliance Certificate

Regarding:

4110 Wolcott Ave. N.E.

Albuquerque, New Mexico 87109

Legal Description: Lot 4, Journal Center Phase 2, Unit 1, Albuquerque, Bernalillo County, New Mexico

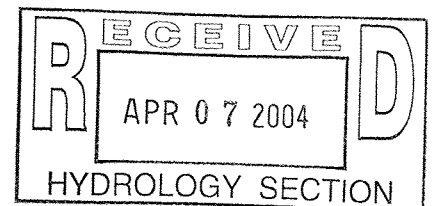
Location: Located at the northwest corner of Wolcott Ave. & Washington St. N.E.

Building Permit No.: 0309779

This letter is to note for the record that I have inspected the construction improvements to the site noted above & have found the construction improvements to be "Substantially Compliant" with the approved Traffic Circulation Layout (TCL), as approved by DRB for the building permit.

Mark Baczek, AIA

Dorman & Breen Architects





Chapman's @ Journal Center
Lots 3, D-17/D085

4/7/04

Traffic Circulation Layout Substantial Compliance Certificate

Regarding:

4100 Wolcott Ave. N.E.

Albuquerque, New Mexico 87109

Legal Description: Lot 3, Journal Center Phase 2, Unit 1, Albuquerque, Bernalillo County, New Mexico

Location: Located at the northwest corner of Wolcott Ave. & Washington St. N.E.

Building Permit No.: 0301455

This letter is to note for the record that I have inspected the construction improvements to the site noted above & have found the construction improvements to be "Substantially Compliant" with the approved Traffic Circulation Layout (TCL), as approved by DRB for the building permit.

One parking space was deleted due to an encroachment by a telephone pedestal that could not be moved.

Mark Baczek, AIA

Dorman & Breen Architects

