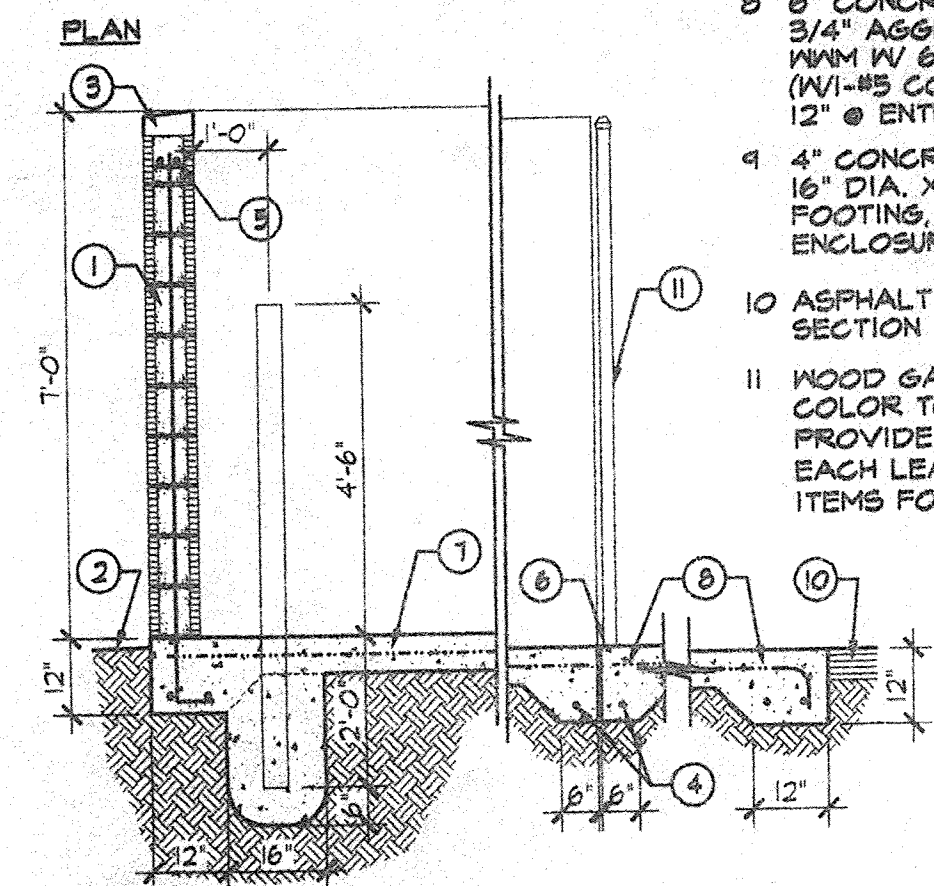
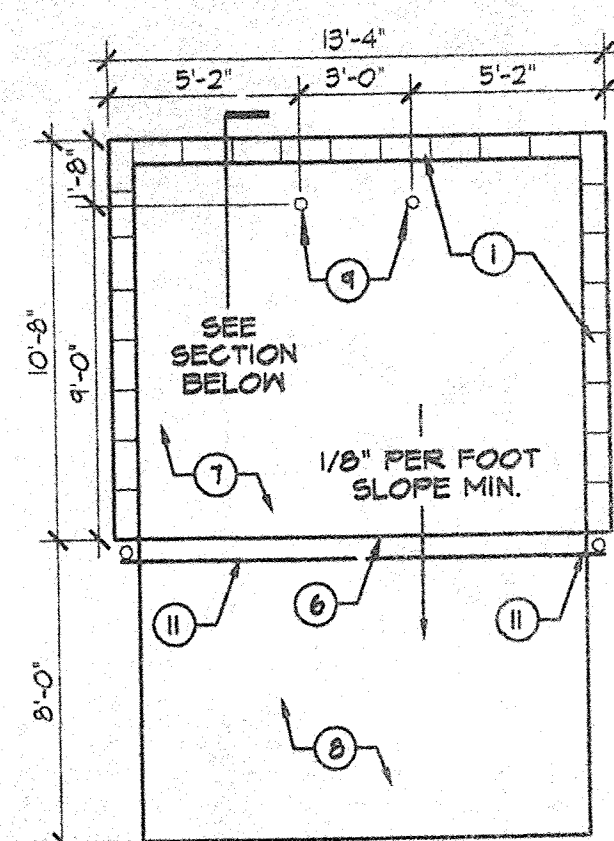


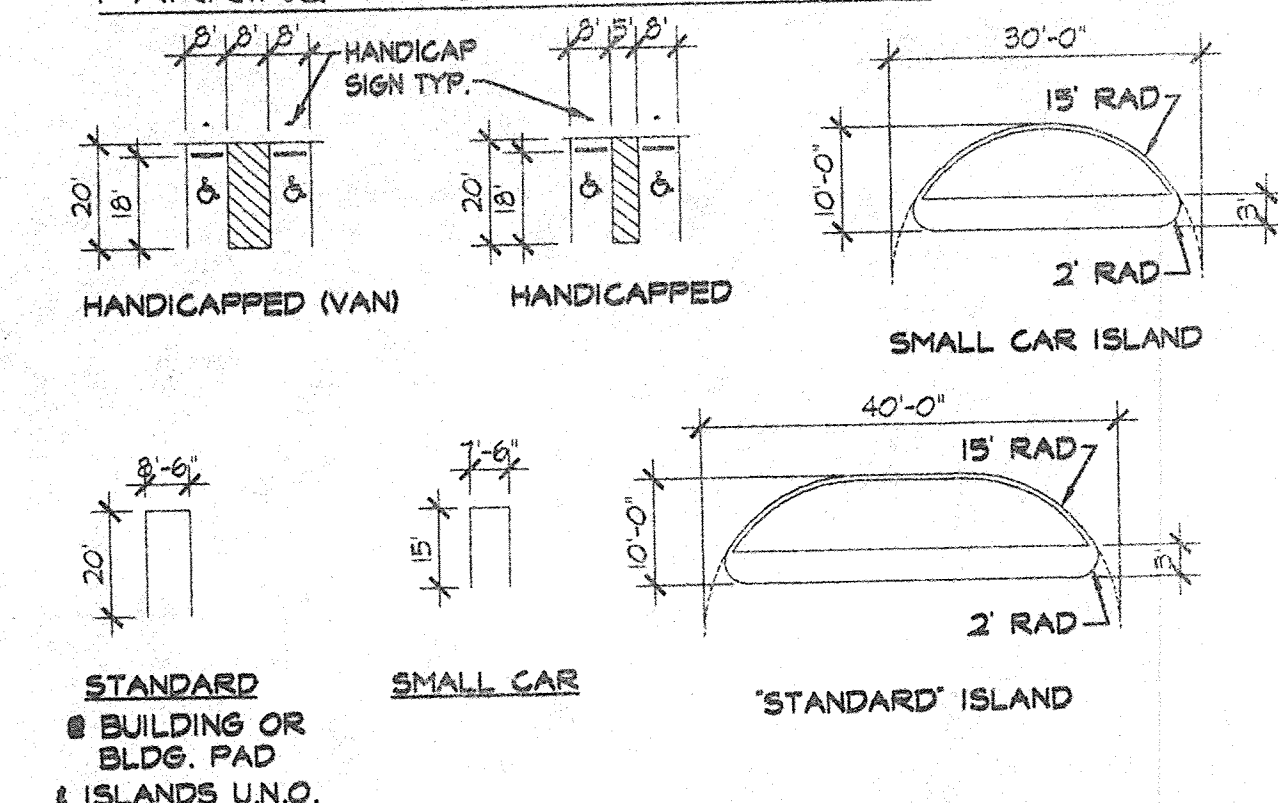


SECTION
REFUGE ENCLOSURE
NOT TO SCALE

REFUSE NOTES

1. 6" SPLIT FACE CMU BLOCK WALL. FINISH - COLOR TO MATCH BLDG.
2. FINISH GRADE
3. MASONRY CAP
4. 1- #5 BAR CONT. @ BOTTOM OF 6" TURNDOVNS, 2- #5 BARS @ BOTTOM OF 12" TURNDOVNS
5. 2- #5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2- #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS. PROVIDE #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURALM @ 16" O.C. HORIZONTAL.
6. 1/2" EXPANSION JOINT MATERIAL
7. 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 W/M IV 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
8. 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 W/M IV 6" TURNDOWN EDGES (W/ 1-#5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH ENCLOSURE COLOR.
10. ASPHALT PAVING - SEE PAVING SECTION
11. WOOD GATE PAINTED - COLOR TO MATCH BUILDING. PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY.

PARKING TYPES & ISLAND DETAILS

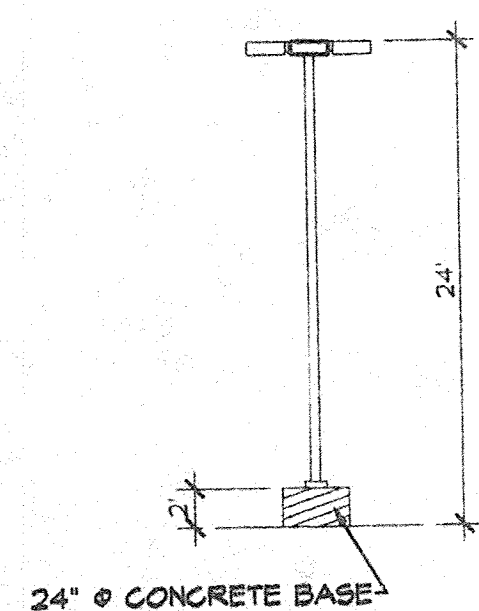


ROOFTOP EQUIPMENT NOTE

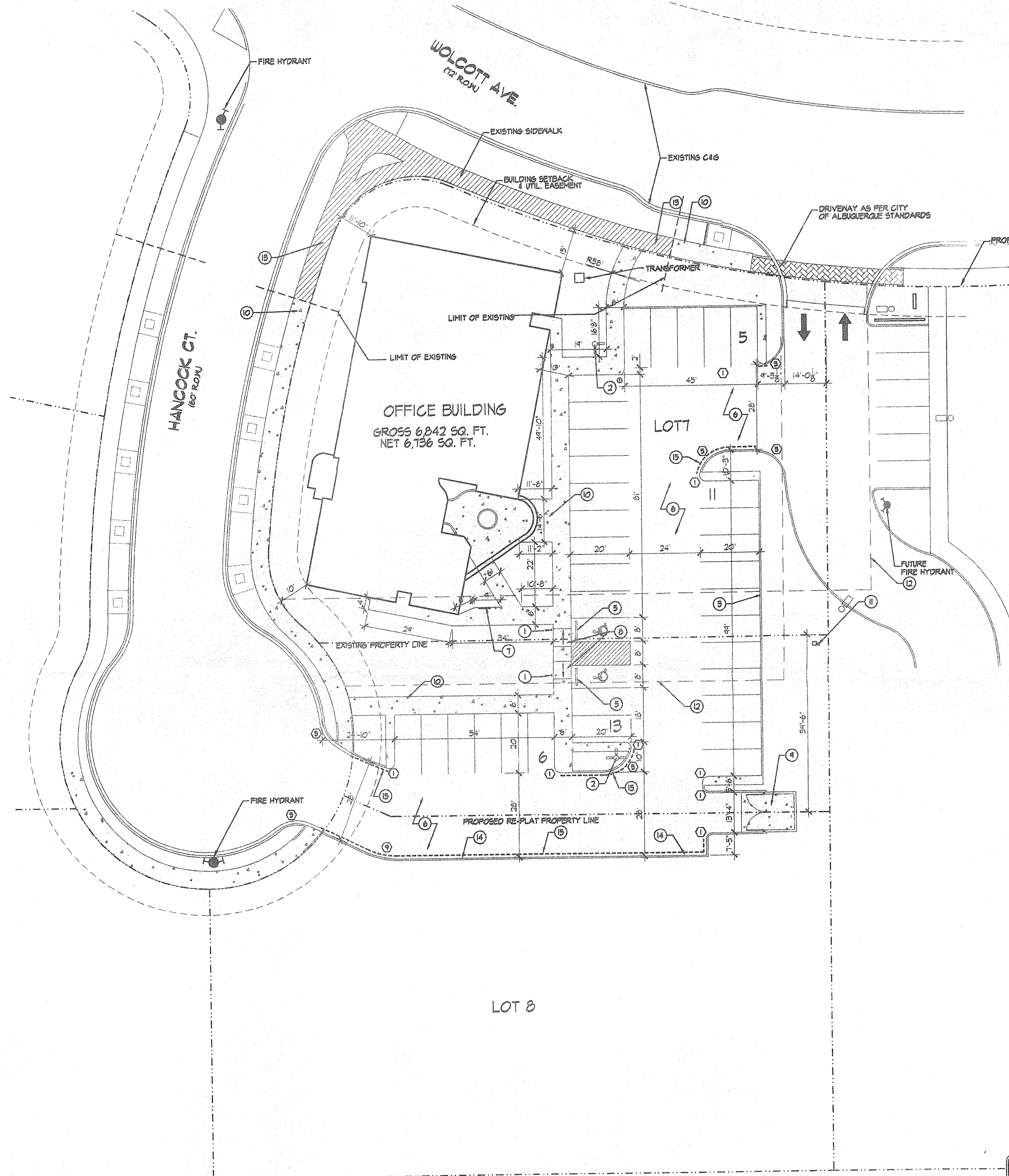
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED

LIGHTING NOTE

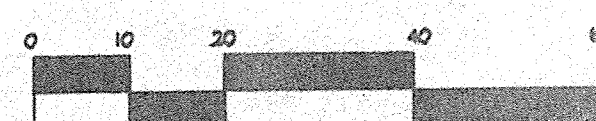
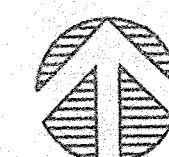
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



2. TYPICAL LIGHT POLE
SCALE: 1"=10'-0"



3. SITE - LOT 7 & 8
1"=20'-0"



RADIUS LEGEND

- | | |
|---------------|----------------|
| 1. 2' RADIUS | 6. 15' RADIUS |
| 2. 3' RADIUS | 7. 20' RADIUS |
| 3. 4' RADIUS | 8. 25' RADIUS |
| 4. 5' RADIUS | 9. 30' RADIUS |
| 5. 10' RADIUS | 10. 50' RADIUS |

KEYED NOTES

1. HANDICAP SIGN - 2 REQUIRED - SEE DETAIL
2. LIGHT POLE - SEE DETAIL
3. NEW CONCRETE PERMACUR TYPICAL
4. NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE
5. NEW PARKING BUMPER - 2 REQUIRED
6. STANDARD DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION
7. BIKE RACK - SEE DETAIL
8. SLOPE RAMP UP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN
9. NEW REFUSE ENCLOSURE, SEE DETAIL
10. NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS
11. EXISTING TELEPHONE/CABLE PEDESTALS, VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION
12. SHARED ACCESS EASEMENT
13. EXISTING SIDEWALK
14. EXTRUDED ASPHALT CURB
15. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB

GENERAL NOTES

- A. VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION

GENERAL NOTES - CITY REQUIRED

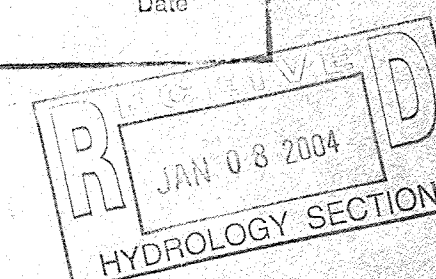
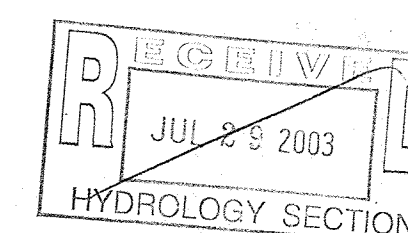
- A. "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS, NO. 2425
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

BUILDING LEGEND

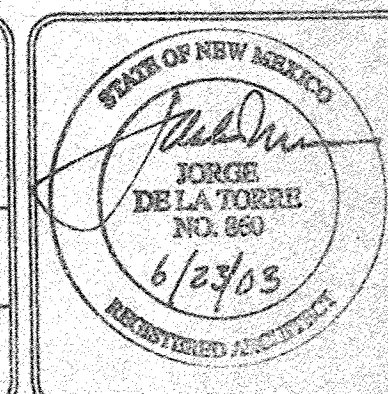
OFFICE BUILDING	6,842 SQ. FT.
PARKING REQUIRED:	OFFICE = 1 PER 300 S.F. = 23 SPACES (2 H.C. SPACES)
PARKING PROVIDED:	25 SPACES PROVIDED (2 H.C. SPACES PROVIDED)
BICYCLE PARKING:	4 SPACES NEEDED
LANDSCAPING REQUIRED:	BLDG. SITE = 54,428 S.F. - 6,842 S.F. (BLDG. AREA) = 47,586 S.F. NET LOT AREA = 41,517 S.F.
LANDSCAPING PROVIDED:	12,881 S.F.

TRAFFIC CIRCULATION LAYOUT APPROVED

Brady J. Bilen 8/26/03
Signed Date



revisions	job title NM CREDIT UNION LEAGUE 4201 WOLCOTT AVENUE ALBUQUERQUE, NEW MEXICO
	PROJECT MANAGER JORGE DE LA TORRE, AIA
	job no 23008
	date 5-19-05
	sheet title SITE PLAN
	by STW



de la torre architecte, p.a. llc
2400 luisiana blvd ne
building 3, suite 110
albuquerque nm 87110 / 505-883-7918

sheet - 6
C1
01-20

DRAINAGE CERTIFICATION

I, Fred C. Arfman, NMPE 7322, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 06-20-03. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

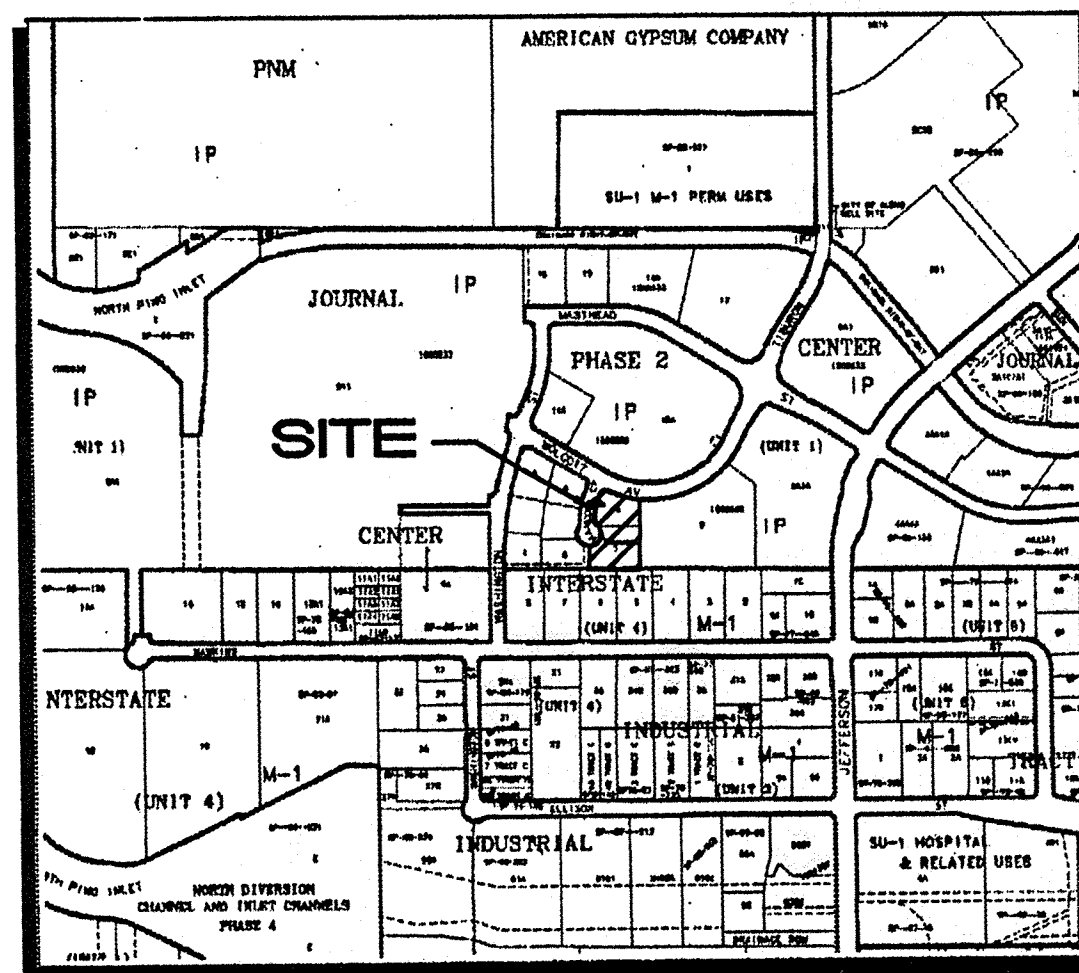
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Fred C. Arfman, NMPE 7322
Date 01-07-04

SCALE:
1"=20'

KEYED CONSTRUCTION NOTES

- 12" SIDEWALK CULVERT PER C.O.A. DWG. No. 2236
- 2% MAXIMUM CROSS-SLOPE ACROSS PEDESTRIAN WAY AT ENTRY DRIVES.
- EXTEND 4" BLDG SAS SERVICE TO WITHIN 5' OF BUILDING
- EXTEND 1 1/2" WATER SERVICE LINE TO BLDG.



VICINITY MAP

LEGAL DESCRIPTION: LOT 7A, JOURNAL CENTER 2

AREA: 0.7895 ACRES

FLOOD ZONE DESIGNATION: AS SHOWN ON FIRM PANEL 136 (9-20-96), THIS SITE IS WITHIN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 500-YR FLOODPLAIN.

EXISTING CONDITIONS: THE UNDEVELOPED SITE SLOPES FROM EAST TO WEST AT 1-2% FLOW DISCHARGES TO WOLCOTT NE AND HANCOCK CT NE. IT IS CONVEYED WEST TO THE NORTH PINO INLET AND TO THE NORTH DIVERSION CHANNEL.

EXISTING HYDROLOGY:
Precipitation Zone: 2
Land Treatment: 100% A
 $Q_{100-5} = (1.56)(0.7895) = 1.2$ CFS

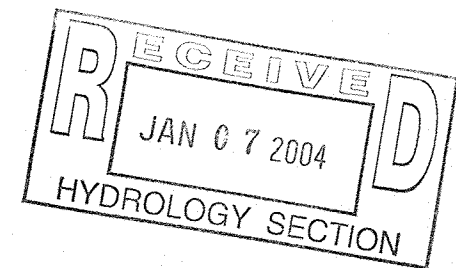
PROPOSED CONDITIONS: PROPOSED CONSTRUCTION INCLUDES A 12,000 SF BUILDING, PAVED PARKING & LANDSCAPED AREAS. RUNOFF WILL DISCHARGE THROUGH TWO DRIVEPADS ONTO WOLCOTT NE AND HANCOCK COURT NE.

PROPOSED HYDROLOGY:
Land Treatment: 10% B, 10% C, 80% D
 $Q_{100-5} = (0.08)(2.28) + (0.08)(3.14) + (0.63)(4.70) = 3.4$ CFS
NE BASIN = 1.36 CFS
WEST BASIN = 2.04 CFS

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	131.38' (131.39')	18°05'42" (18°05'46")	416.00'	66.24' (66.25')	S74°48'28"E (S74°48'01"E)	130.83' (130.84')
C2	122.30' (122.29')	140°08'48" (140°08'22")	50.00'	137.92'	N20°14'28"E	94.01'
C3	28.18' (28.17')	53°48'44" (53°48'35")	30.00'	15.22'	N22°55'34"W (N22°55'30"W)	27.15'
C4	107.30' (107.33')	17°33'55" (17°33'57")	350.00'	54.07' (54.02')	N12°45'45"E	106.88'
C5	48.55' (48.54')	92°42'58" (92°42'08")	30.00'	31.46' (31.45')	N67°53'48"E	43.42'

LEGEND

- 5120- CONTOUR (MAJOR)
- 5121- CONTOUR (MINOR)
- TC- TOP CURB
- FL- FLOWLINE
- x 00.00 SPOT ELEVATION
- CONCRETE CURB
- CONCRETE/SIDEWALK
- SIGN
- FENCE
- SANITARY SEWER MANHOLE
- CLEANOUT
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SPRINKLER CONTROL
- STREET LIGHT/ LOT LIGHT
- TELEPHONE PEDESTAL
- CATV PEDESTAL



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico
1278-2EX-1.DWG/its 06/03/03

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de la torre architecte, p.a. dla 2400 lousiana blvd ne building 3, suite 110 albuquerque nm 87110 / 505-683-7918				sheet- of- 2

JOURNAL CENTER
PHASE 2, UNIT 1

EXISTING 20' COA PUBLIC
WATERLINE EASEMENT
(03-15-01, 01C-84)

EXISTING 10' COA
DRAINAGE EASEMENT
(03-15-01, 01C-84)

30' PRIVATE COMMON
DRIVEWAY & DRAINAGE EASEMENT
GRANTED BY FINAL PLAT (1)

EXISTING DRAINAGE
SWALE PER AREA
DRAINAGE MASTERPLAN

FOUND 5/8" REBAR WITH
CAP "LS 6544" (TYP.)

FUTURE FLOW DIRECTION
PER NEW CONSTRUCTION
(GRADING/DRAINAGE) FOR
THE NEW MEXICO EDUCATORS
BLDG. ON LOT 9.

JOURNAL CENTER
PHASE 2, UNIT 1