

GRADING PLAN - LOT 15 B

SCALE: 1"=10'-0"

NOTE:

FF 94.40 = 100.00'

DRAINAGE CERTIFICATION

1. I, HAROLD BENETTE, NMPE 10776 OF THE FIRM C&L ENGINEERS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **3-28-05**

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY _____ NMPE OF THE FIRM. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISTED THE PROJECT SITE ON **5-23-05** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF THIS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Harold Benette
6-2-05
REX J. VOGLER
NEW MEXICO
10486
REGISTERED PROFESSIONAL SURVEYOR
DATE
6-2-05
NMPE
REGISTERED PROFESSIONAL ENGINEER

GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING JOURNAL CENTER PHASE 2 ARE CONTAINED HEREON:
1. VICINITY MAP
2. DRAINAGE CALCULATIONS

BLUE HOLE LTD - LOT 15B

BUILDING AREA = 0.06 ACRES (6,886SF)
LANDSCAPE AREA = 178 ACRES (7,730SF)
PARKING/ASPHALT AREA = 0.422 ACRES (12,223SF)
TOTAL SITE = 0.60 ACRES (25,851SF)

PRECIPITATION: 380 = 2.35 IN.
1440 = 2.75 IN.
10DA = 3.55 IN.

EXISTING CONDITIONS:

TREATMENT A 0.08 AC.
TREATMENT B 0 AC.
TREATMENT C 0 AC.
TREATMENT D 0 AC.

PROPOSED CONDITIONS:

0 AC.
0.178 AC.
0 AC.
0.422 AC.

EXCESS PRECIPITATION:

TREATMENT A 0.53 IN.
TREATMENT B 0.78 IN.
TREATMENT C 1.13 IN.
TREATMENT D 2.12 IN.

PEAK DISCHARGE:

CFS/AC. 1.56
CFS/AC. 2.28
CFS/AC. 3.14
CFS/AC. 4.07

EXISTING EXCESS PRECIPITATION:

WEIGHTED E = (0.53 X 0) + (0.78 X 1.78) + (1.13 X 0) + (2.12 X 4.22) = 1.034 IN.
V100 = 1.04(0.6/12) = 0.517 AC.FT.

EXISTING DISCHARGE:

WEIGHTED E = 0.8(0.53) = 0.4 CFS
V100 = 4(0.6/12) = 0.05 AC.FT.

PROPOSED PEAK DISCHARGE

Q100 = 0 + 0.178(2.28) + 0 + 4.22(4.7) = 2.39 CFS

BENCHMARK:

PROJECT BENCHMARK OF 89.40 LOCATED ON CURB @ NORTHWEST CORNER OF PROPERTY

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN
A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.60 ACRES AND IS LOCATED EAST OF BARTLETT ST. N.E. AND NORTH OF RUTLEDGE RD. N.E. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

PROJECT TO DRAIN DIRECT DISCHARGE SOUTH TO RUTLEDGE RD. DISCHARGE GOES TO CITY STORM DRAINS AND AMAFCA STORM DRAINS, LOCATED WEST OF SUBJECT PROPERTY ON NORTH SIDE OF RUTLEDGE RD.

NO OFFSITE FLOWS

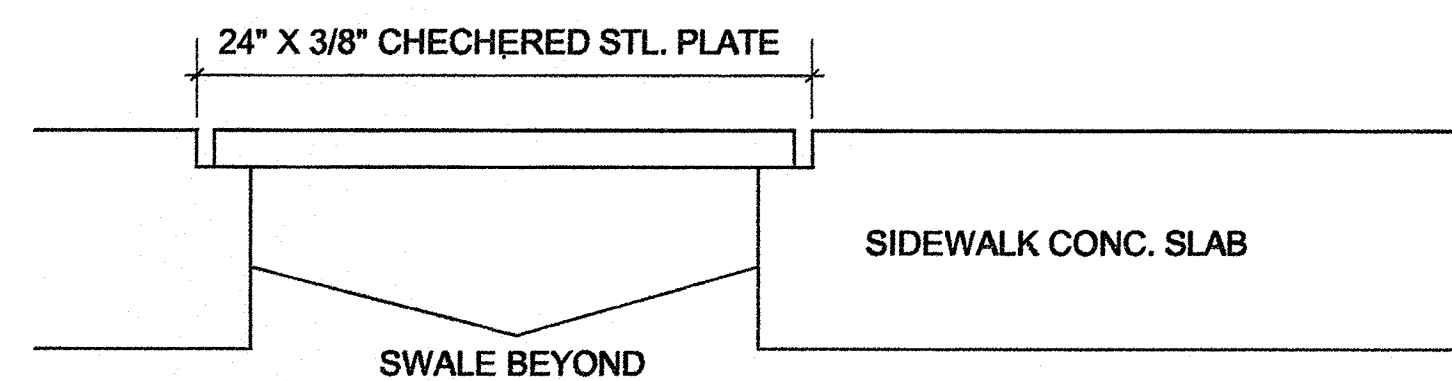
NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
- ALL WORK DETAILED ON THE SE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

TYP. SWALE DETAIL

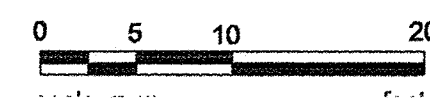
SCALE: 3/16" = 1'-0"



SIDEWALK SECTION W/DIAMOND PLATE

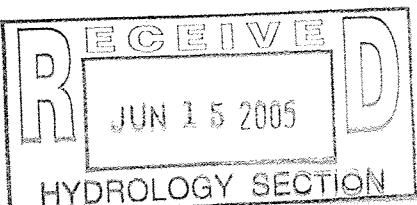
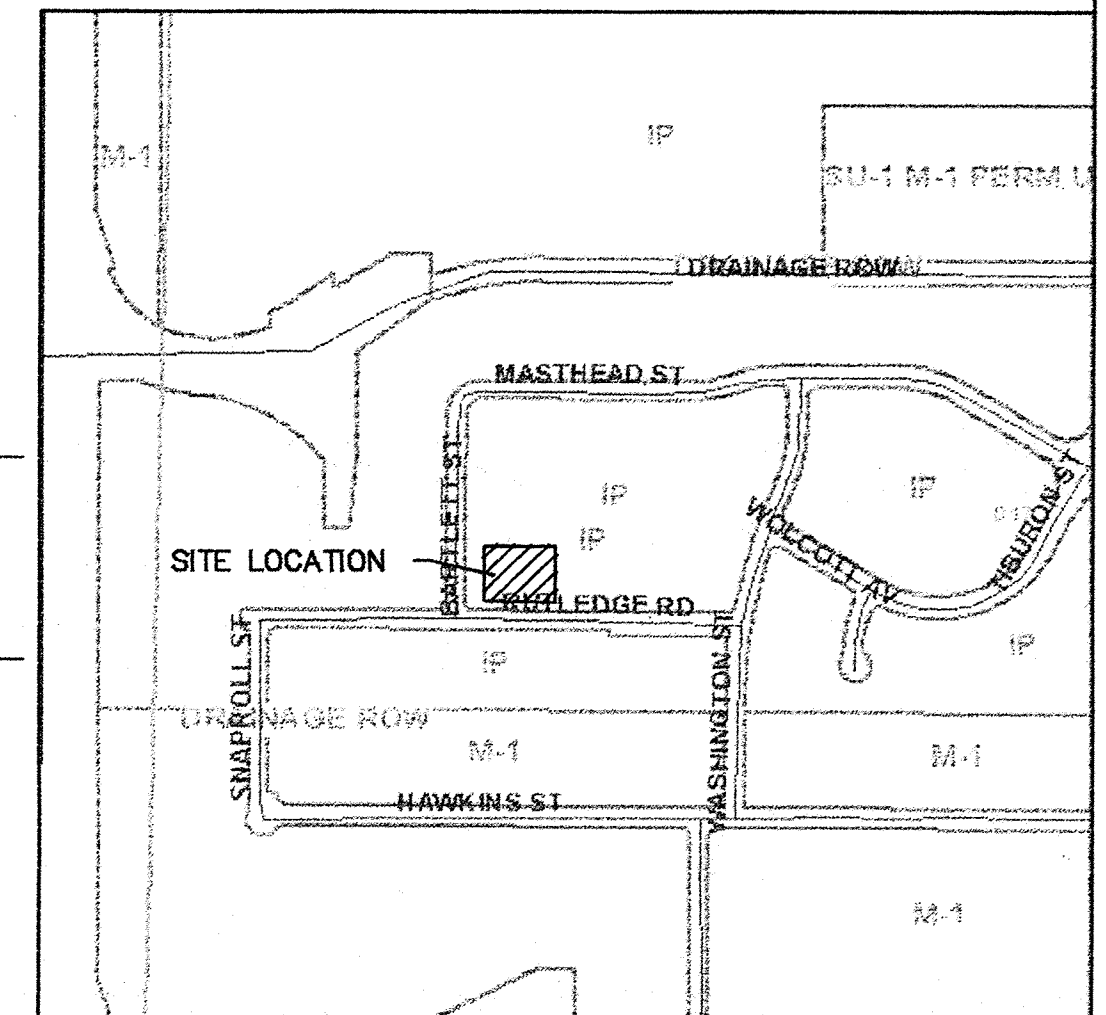
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SEE COA DRWG. # 2236

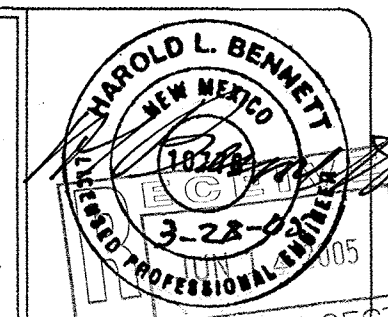


VICINITY MAP (D-17)

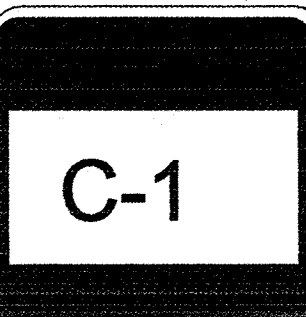
NOT TO SCALE

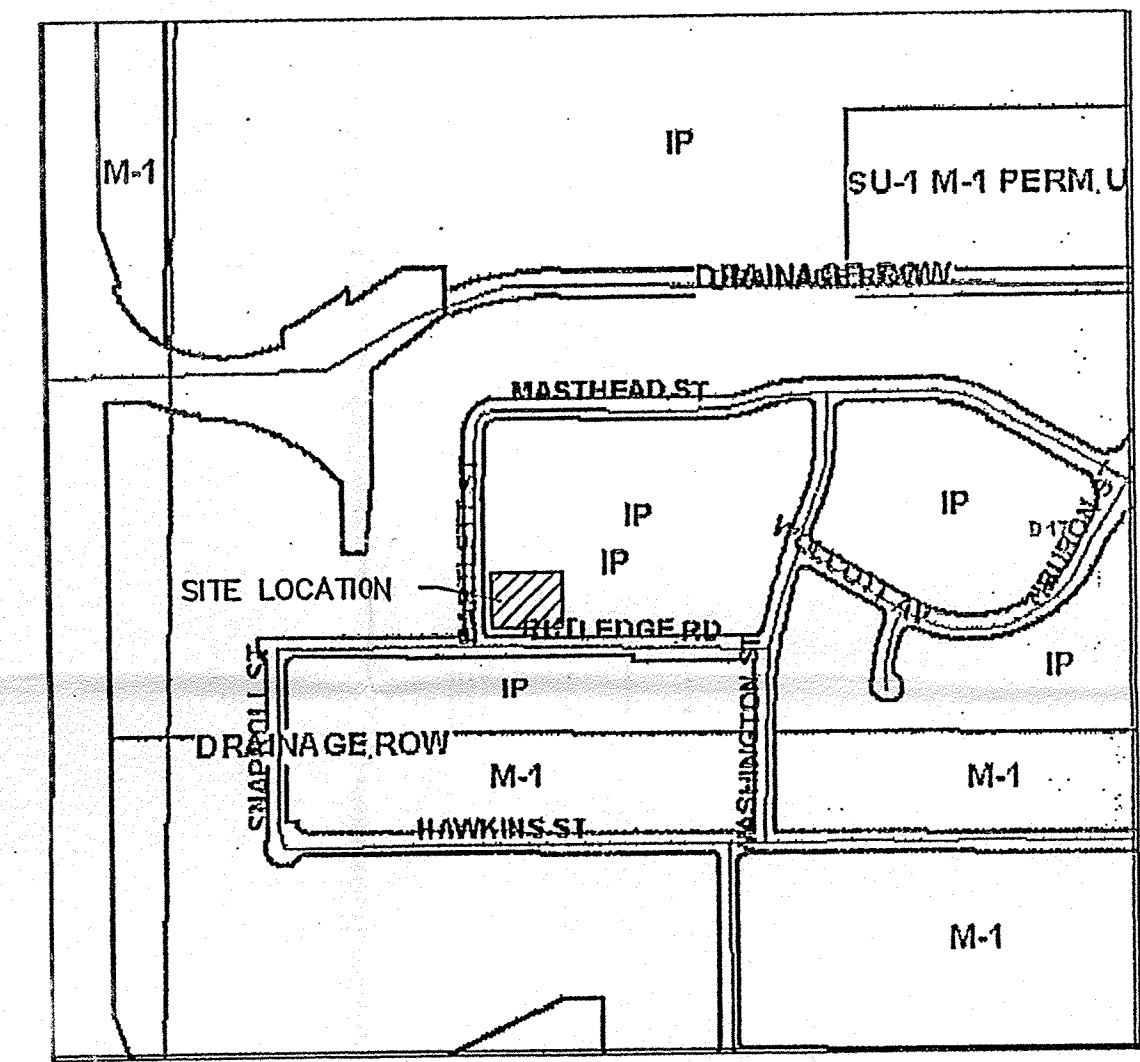
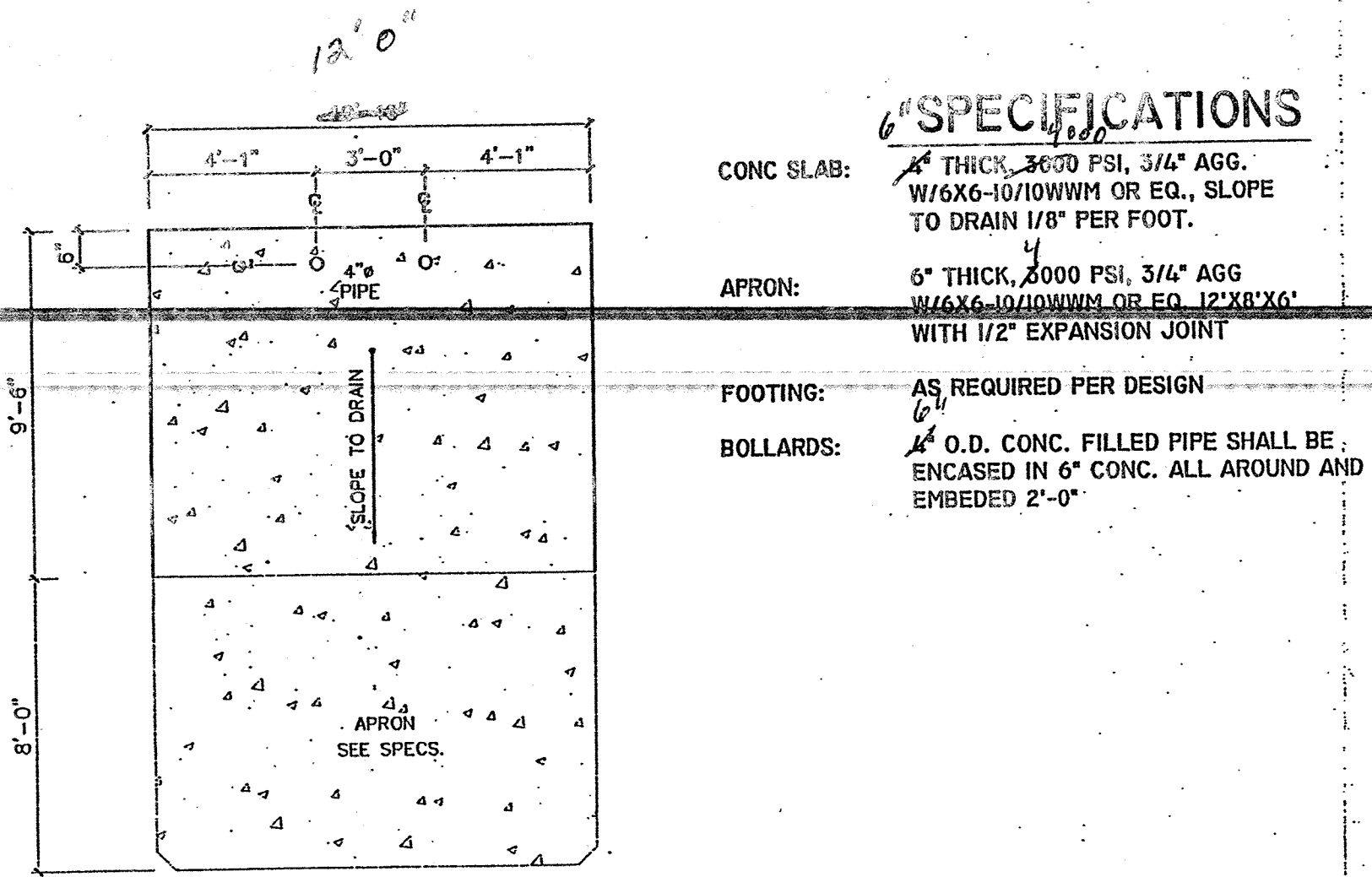
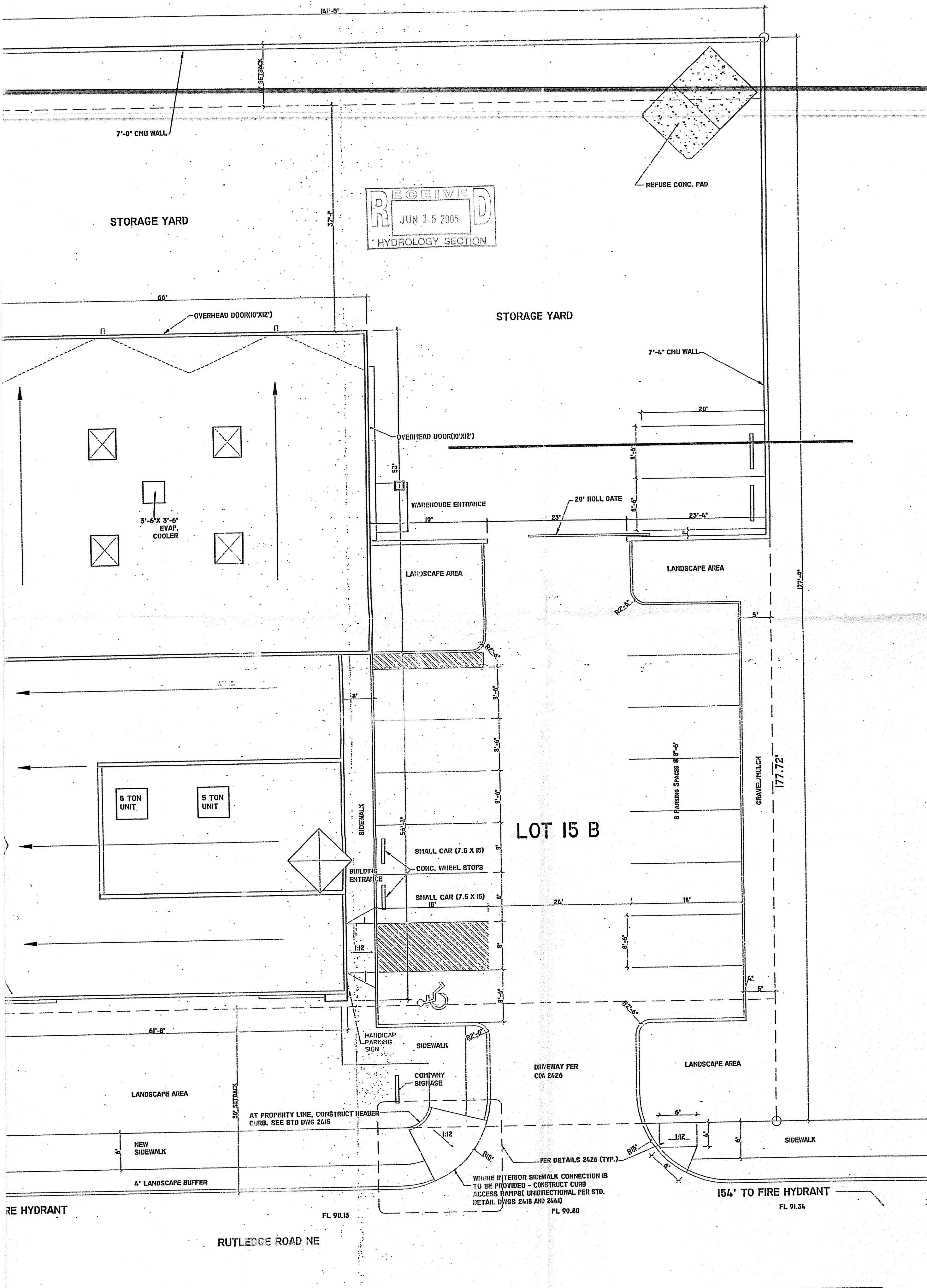


KICC John Klee 1-602-323-7447
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

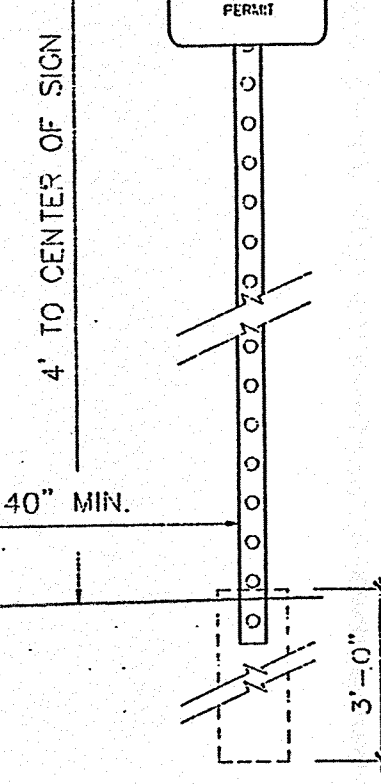
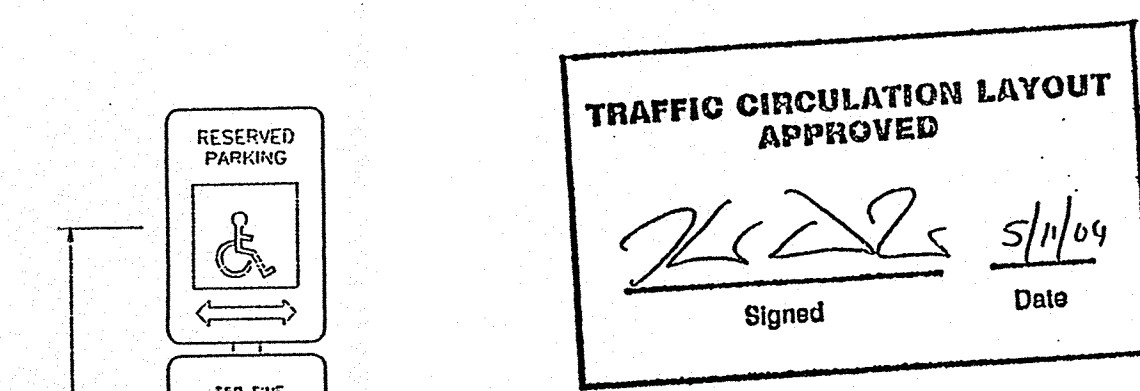


JOB TITLE:			
BLUE HOLE LTD - LOT 15B			
REVISION:	FILE NAME	JOB NO.	DATE
	03.25.05	C-1	2.23.04
SHEET TITLE:			DRAWN BY:
GRADING PLAN			ALL RIGHTS RESERVED

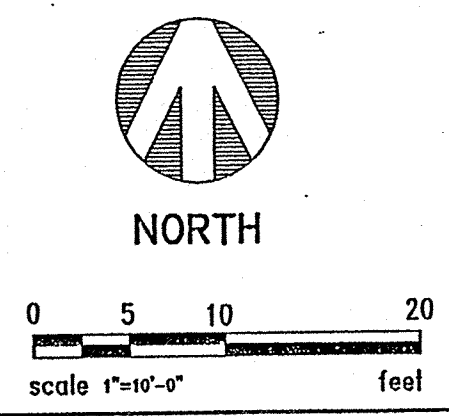




VICINITY MAP (D-17)
NOT TO SCALE



- NOTES:
- 1: SIGNS SHALL CONFORM TO THE STANDARDS OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 - 2: SIGN SHALL BE SET DIRECTLY FACING THE "OF TRAVEL" FOR THE VEHICLES ENTERING THE STALL (NOT < 45°).
 - 3: SIGNS SHALL BE MOUNTED ON A STURDY POST AT A HEIGHT SPECIFIED HERE IN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
 - 4: EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL HOWEVER ONE SIGN MAY BE USED BETWEEN THE TWO SPACES WITH THE APPROPRIATE ARROWS.
 - 5: 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK.



- SHEET INDEX
- A-1 SITE PLAN & DESIGN DATA
 - C-1 GRADING PLAN
 - L-1 LANDSCAPE PLAN
 - S-1 FOUNDATION PLAN AND DETAILS
 - S-2 FOUNDATION DETAILS
 - S-3 ROOF FRAMING PLAN
 - S-4 FRAMING DETAILS
 - A-2 FLOOR PLAN
 - A-3 ROOF PLAN
 - A-4 ELEVATIONS
 - A-5.1 BUILDING SECTIONS
 - E-1 POWER PLAN
 - E-2 LIGHTING PLAN
 - P-1 PLUMBING PLAN
 - M-1 MECHANICAL PLAN

BUILDING DATA	
JOURNAL CENTER PHASE 2	
UNIT 2, LOT #15 B	
3811 RUTLEDGE RD NE	
ALBUQUERQUE, NM 87109	
DESIGN DATA	
I. APPLICABLE CODES AND REGULATIONS.	
UNIFORM BUILDING CODE, 1997	
ANSI	
GUIDELINES, 1998	
NFPA, 1997/ UFC, 1997	
II. BUILDING FLOOR AREA (UBC SEC. 504)	
OFFICE B	3298 SF
WAREHOUSE S-I	3468 SF
TOTAL BUILDING AREA	6766 SF
III. OCCUPANCY GROUP (UBC TABLE 5A)	
OFFICE	B
WAREHOUSE	SI
IV. EXTERIOR WALLS AND OPENINGS	
UBC TABLE 5A	
V. BUILDING HEIGHT	
BUILDING 1 - ONE STORY	24'-0"
VI. TYPE OF CONSTRUCTION	
UBC TABLE 5A: OFFICE-TYPE V-N	
WAREHOUSE- TYPE V-N	
VII. BASIC ALLOWABLE FLOOR AREA	
UBC TABLE 5B: OFFICE-8,000 S.F.	
WAREHOUSE-SI-8,000 S.F.	
4 SIDE SEPARATION OF MIN. 60	
ALLOWABLE UNLIMITED	
VIII. FIRE RESISTIVE REQUIREMENTS	
UBC TABLE 6-A: TYPE V-N	
IX. OCCUPANT LOAD	
UBC TABLE 10-A	
X. EXIT REQUIREMENTS	
A. NUMBER OF EXITS: UBC TABLE 10-A	
B. WIDTH: UBC 1003.2.3	
XI. SEISMIC ZONE: 2B	
XII. WIND SPEED: 75 MPH	
XIII. EXPOSURE: C	
XIV. SOIL BEARING CAP.	1500 PSF
XV. ROOF LOAD(TOTAL)	40 PSF
BLDG. OCCUPANCY	
6766 SQ. FT.	
OFFICE	3298 SQ. FT. 3298/100= 33
WAREHOUSE	3468 SQ. FT. 3468/500= 7
EXIT REQUIREMENTS 3 REQUIRED	
TOILET REQUIREMENTS 3 W.C. & 3 LAVATORY	

PARKING REQUIREMENTS (CALC'S)

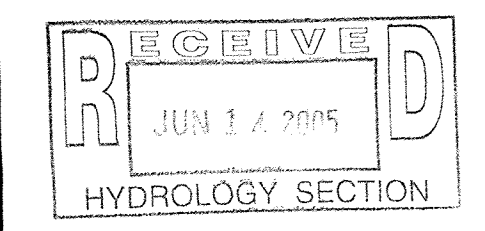
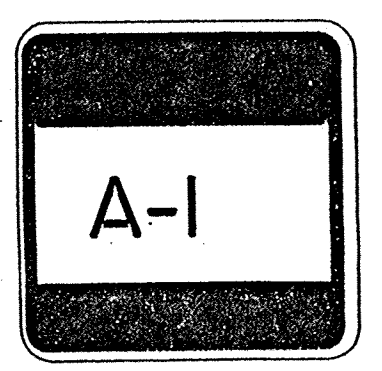
NET OFFICE:
2638/ 200 = 13
= 14 REQUIRED PARKING SPACES
NET WAREHOUSE:
3123/2000 = 2
= 2 REQUIRED PARKING SPACES

PARKING PROVIDED:
CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE
SURFACE PARKING:
HANDICAPPED 1 CAR
REGULAR AND COMPACT 15 CARS
TOTAL ON SITE PARKING PROVIDED 16 CARS
TOTAL REQUIRED PARKING: 15.0 CARS

ALBUQUERQUE
BUILDING & SAFETY
MAY 27 2004
IBC
PLAN CHECK SECTION

KICC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE: BLUE HOLE LTD. LOT 15B		
REVISION:	FILE NAME	JOB NO.
4.30.04		10-10-03
SHEET TITLE: SITE PLAN		DRAWN BY: WW



THAFI