

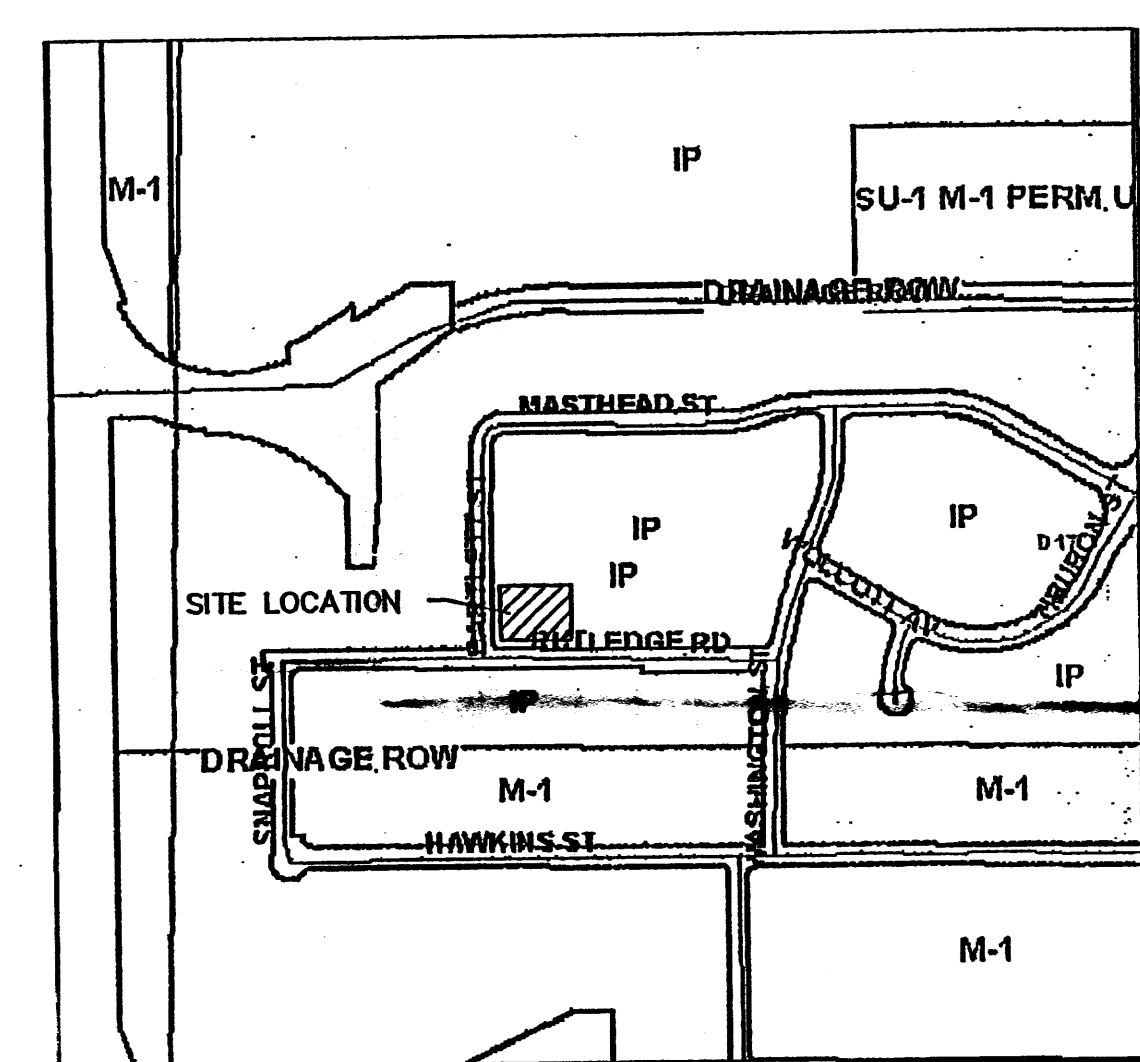
6" SPECIFICATIONS

CONC SLAB: 4" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ., SLOPE TO DRAIN 1/8" PER FOOT.

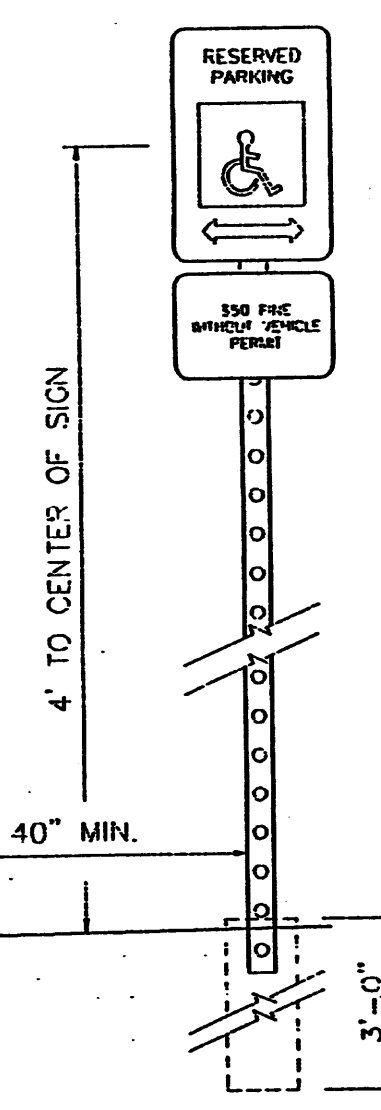
APRON: 6" THICK, 3000 PSI, 3/4" AGG. W/6X6-10/10WWM OR EQ. 12" X 6" WITH 1/2" EXPANSION JOINT

FOOTING: AS REQUIRED PER DESIGN

BOLLARDS: 4" O.D. CONC. FILLED PIPE SHALL BE ENCASED IN 6" CONC. ALL AROUND AND EMBEDDED 2'-0"



VICINITY MAP (D-17)
NOT TO SCALE



TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 5/11/04

NOTES:

- 1: SIGNS SHALL CONFORM TO THE STANDARDS OF "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- 2: SIGN SHALL BE SET DIRECTLY FACING THE 0° TRAVEL FOR THE VEHICLES ENTERING THE STALL (NOT < 45°).
- 3: SIGNS SHALL BE MOUNTED ON A STURDY POST AT A HEIGHT SPECIFIED HERE IN, OR MAY BE SECURELY BOLTED TO AN ADJACENT WALL.
- 4: EACH SPACE SHALL BE POSTED WITH A SIGN, CENTERED ON THE STALL. HOWEVER, ONE SIGN MAY BE USED BETWEEN THE TWO SPACES WITH THE APPROPRIATE ARROWS.
- 5: 40" MIN. FROM FACE OF ADJACENT CURB OR BARRIER BLOCK.



0 5 10 20
scale 1"=10'-0" feet

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- A-1 SITE PLAN & DESIGN DATA
- C-1 GRADING PLAN
- L-1 LANDSCAPE PLAN
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- S-2 FOUNDATION DETAILS
- S-3 ROOF FRAMING PLAN
- S-4 FRAMING DETAILS
- A-2 FLOOR PLAN
- A-3 ROOF PLAN
- A-4 ELEVATIONS
- A-5.1 BUILDING SECTIONS
- E-1 POWER PLAN
- E-2 LIGHTING PLAN
- P-1 PLUMBING PLAN
- M-1 MECHANICAL PLAN

HLB
HAROLD L. BENNETT
P.E.

BUILDING DATA

JOURNAL CENTER PHASE 2
UNIT 2, LOT #15 B
3811 RUTLEDGE RD NE
ALBUQUERQUE, NM 87109

DESIGN DATA

- APPLICABLE CODES AND REGULATIONS.
UNIFORM BUILDING CODE, 1997
ANSI
GUIDELINES, 1998
NFPA, 1997/ UFC, 1997
- BUILDING FLOOR AREA (UBC SEC. 504)
OFFICE B 3298 SF
WAREHOUSE S-I 3468 SF
TOTAL BUILDING AREA 6766 SF
- OCCUPANCY GROUP (UBC TABLE 5A)
OFFICE B
WAREHOUSE SI
- EXTERIOR WALLS AND OPENINGS
UBC TABLE 5A
- BUILDING HEIGHT
BUILDING I - ONE STORY 24'-0"
- TYPE OF CONSTRUCTION
UBC TABLE 5A: OFFICE-TYPE V-N
WAREHOUSE- TYPE V-N
- BASIC ALLOWABLE FLOOR AREA
UBC TABLE 5B: OFFICE-B-8,000 S.F.
WAREHOUSE-SI-8,000 S.F.
4. SIDE SEPARATION OF MIN. 60
ALLOWABLE UNLIMITED
- FIRE RESISTIVE REQUIREMENTS
UBC TABLE 6-A: TYPE V-N
- OCCUPANT LOAD
UBC TABLE 10-A
- EXIT REQUIREMENTS
A. NUMBER OF EXITS: UBC TABLE 10-A
B. WIDTH: UBC 1003.2.3
- SEISMIC ZONE: 2B
- WIND SPEED: 75 MPH
- EXPOSURE: C
- SOIL BEARING CAP. 1500 PSF
- ROOF LOAD(TOTAL) 40 PSF
- BLDG. OCCUPANCY
6766 SQ. FT.
OFFICE 3298 SQ. FT. 3298/100= 33
WAREHOUSE 3468 SQ. FT. 3468/500= 7
- EXIT REQUIREMENTS 3 REQUIRED
- TOILET REQUIREMENTS 3 W.C. & 3 LAVATORY

PARKING REQUIREMENTS (CALC'S)

NET OFFICE:
2638/ 200 = 13
= 14 REQUIRED PARKING SPACES

NET WAREHOUSE:
3123/2000 = 2
= 2 REQUIRED PARKING SPACES

PARKING PROVIDED:

CITY OF ALBUQUERQUE - OFFICE/WAREHOUSE

SURFACE PARKING:
HANDICAPPED 1 CAR
REGULAR AND COMPACT 15 CARS
TOTAL ON SITE PARKING PROVIDED 16 CARS

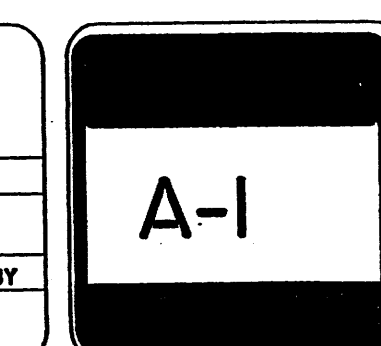
TOTAL REQUIRED PARKING: 15.0 CARS

KICC
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE:
BLUE HOLE LTD. LOT 15B

| REVISION: | FILE NAME | JOB NO. | DATE |
|-----------|-----------|---------|----------|
| 4.30.04 | | | 10-30-03 |

SHEET TITLE:
SITE PLAN



RECEIVED
JUN 15 2005
HYDROLOGY SECTION

John Klee
1-602-323-7441

TAF/21

1. I, HAROLD BENETTE, NMPE 10776 OF THE FIRM C&L ENGINEERS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3-28-05

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY _____ NMPS _____ OF THE FIRM.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-28-04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF THIS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
2. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THEREFORE, THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

THE FOLLOWING ITEMS CONCERNING
JOURNAL CENTER PHASE 2 ARE CONTAINED HEREON:

1. VICINITY MAP
2. DRAINAGE CALCULATIONS

| | |
|----------------------|-------------------------------|
| BUILDING AREA | = 0.06 ACRES (5,896SF) |
| LANDSCAPE AREA | = .178 ACRES (7,732SF) |
| PARKING/ASPHALT AREA | = 0.422 ACRES (12,233SF) |
| TOTAL SITE | = 0.60ACRES (25,851SF) |

PRECIPITATION: 360 = 2.35 IN.
1440 = 2.75 IN.
10DA = 3.95 IN.

| EXISTING CONDITIONS: | | PROPOSED CONDITIONS: |
|----------------------|----------|----------------------|
| TREATMENT A | 0.06 AC. | 0 AC. |
| TREATMENT B | 0 AC. | 0.178 AC. |
| TREATMENT C | 0 AC. | 0 AC. |
| TREATMENT D | 0 AC. | 0.422 AC. |

| EXCESS PRECIPITATION: | | PEAK DISCHARGE: | |
|-----------------------|----------|-----------------|------|
| TREATMENT A | 0.53 IN. | CFS/AC. | 1.56 |
| TREATMENT B | 0.78 IN. | CFS/AC. | 2.28 |
| TREATMENT C | 1.13 IN. | CFS/AC. | 3.14 |
| TREATMENT D | 2.12 IN. | CFS/AC. | 4.07 |

$$\text{WEIGHTED E} = (0.53 \times 0) + (.78 \times .178) + (1.13 \times 0) + 2.12 \times 4.22 = 1.034 \text{ IN}$$

$$V100 = 1.04(0.6/12) = 0.517 \text{ AC.FT.}$$

WEIGHTED E = $0.6(0.53) = 0.4$ CFS
V100 = $.4(0.6/12) = 0.05$ AC.FT.

$$Q_{100} = 0 + 0.178(2.28) + 0 + 4.22(4.7) = 2.39 \text{ CFS}$$

PROJECT BENCHMARK OF 89.40 LOCATED ON CURB @ NORTHWEST CORNER OF PROPERTY

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN

A. ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.

B. ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.

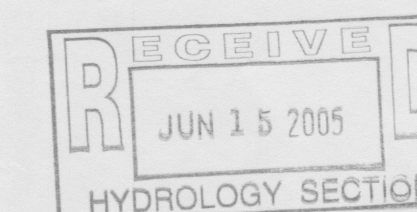
AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.60 ACRES AND IS LOCATED EAST OF BARTLETT ST. N.E. AND NORTH OF RUTLEDGE RD. N.E. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROJECT TO DRAIN DIRECT DISCHARGE SOUTH TO RUTLEDGE RD. DISCHARGE GOES TO CITY STORM DRAINS AND AMAFCA STORM DRAINS, LOCATED WEST OF SUBJECT PROPERTY ON NORTH SIDE OF RUTLEDGE RD.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
2. ALL WORK DETAILED ON THE SE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS

| | | |
|-----------|------|------|
| APPROVAL | NAME | DATE |
| INSPECTOR | | |

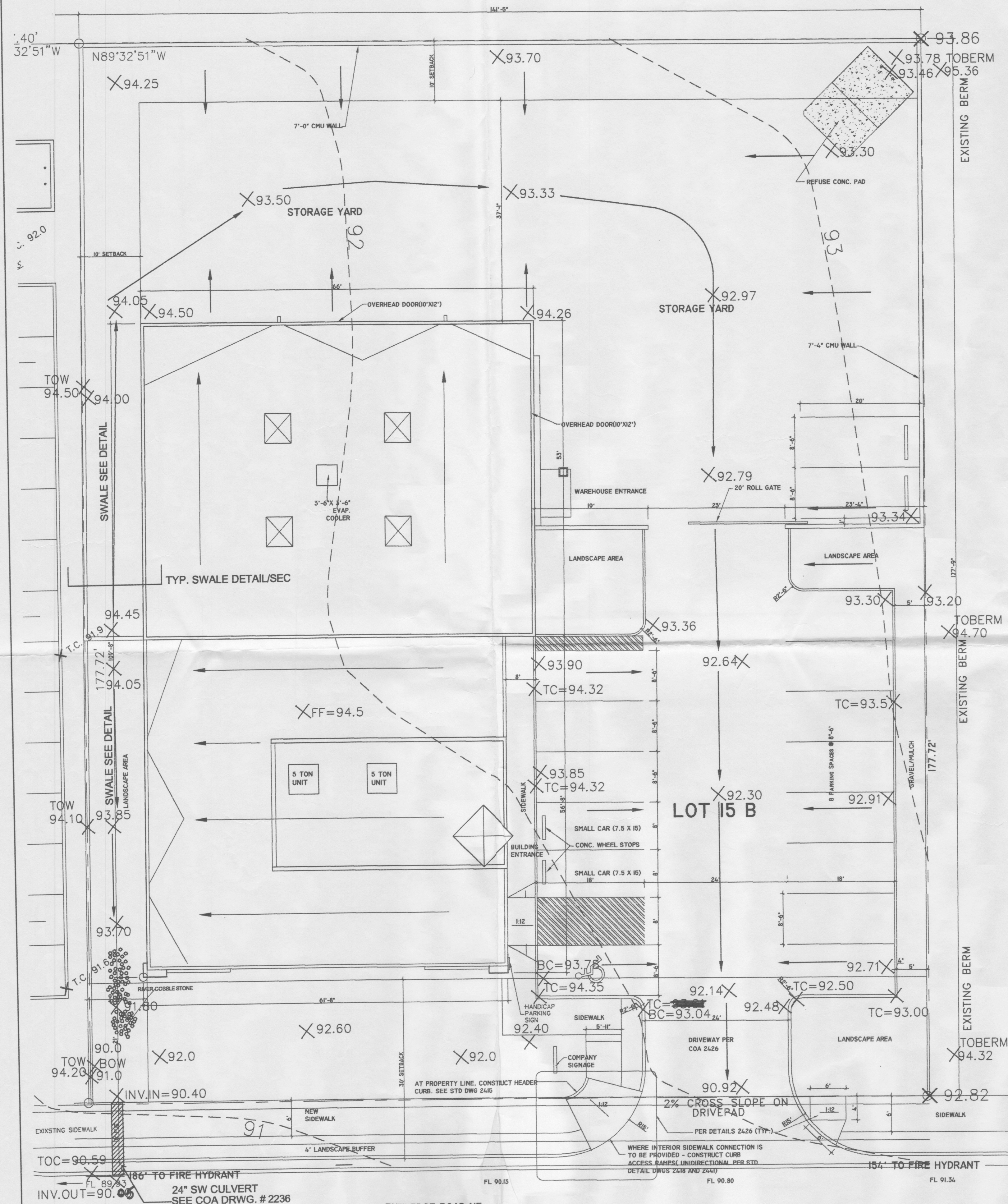


KICC *John Klee* 1-602-441-1111
DESIGN COLLABORATIVE
THE ART AND SCIENCE OF MODERN BUILDINGS

JOB TITLE:
BLUE HOLE LTD - LOT 15B

| | | | |
|----------------------|-----------|---------|----------|
| REVISION: | FILE NAME | JOB NO. | DATE |
| | 03.25.05 | C-1 | 2.23.04 |
| SHEET TITLE: | | | DRAWN BY |
| SECTION GRADING PLAN | | | ALL KE |

C-



GRADING PLAN - LOT 15 B

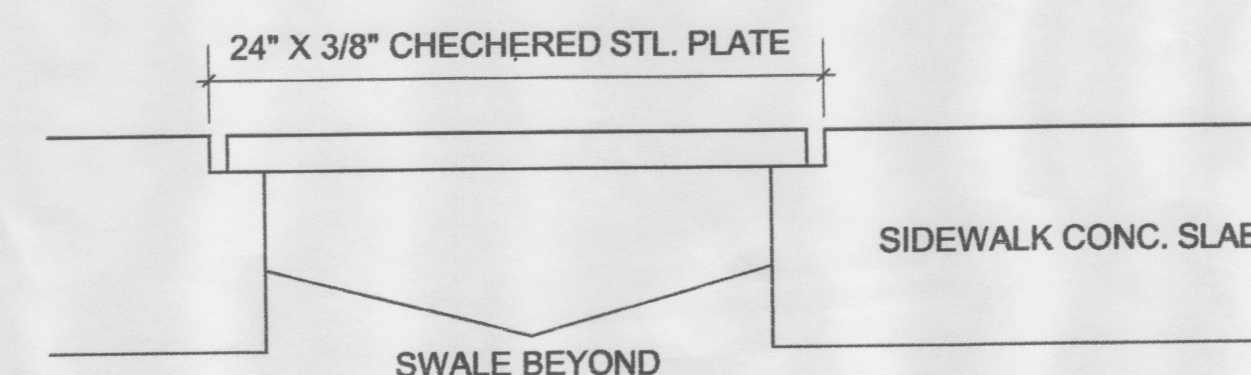
SCALE: 1"=10'-0"

NOTE:

111 32 30 = 1000

TYP. SWALE DETAIL

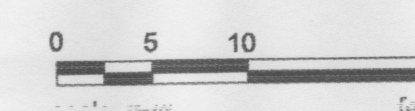
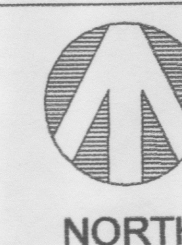
SCALE: 3/16" = 1'-0"



SIDEWALK SECTION W/DIAMOND PLATE

SCALE: NTS

SEE COA DRWG. # 2236



HLB
HAROLD L. BENNETT
P.E.

