

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROJECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INDENTICAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE  $\pm 0.1'$  FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE  $\pm 0.05'$  FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION

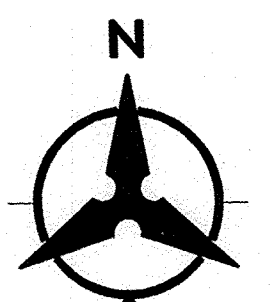
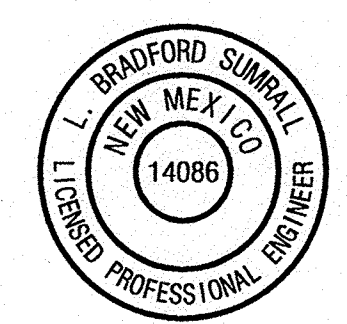
- (A) PROVIDE 2' WIDE OPENING IN CURB.
- (B) PROVIDE OPENING IN CURB. (SEE PLAN FOR WIDTH) FOR STORM WATER TRASH SCREEN, SEE DETAIL THIS SHEET.
- (C) NOT USED.
- (D) CONCRETE RIBBON CHANNEL, SEE DETAIL THIS SHEET.
- (E) WATER HARVESTING AREA.
- (F) RETAINING WALL, SEE ARCHITECT PLANS FOR DETAIL.
- (G) MATCH EXISTING EDGE OF ASPHALT GRADE.
- (H) STORM WATER TRASH SCREEN. SEE DETAIL FOR DIMENSIONS.



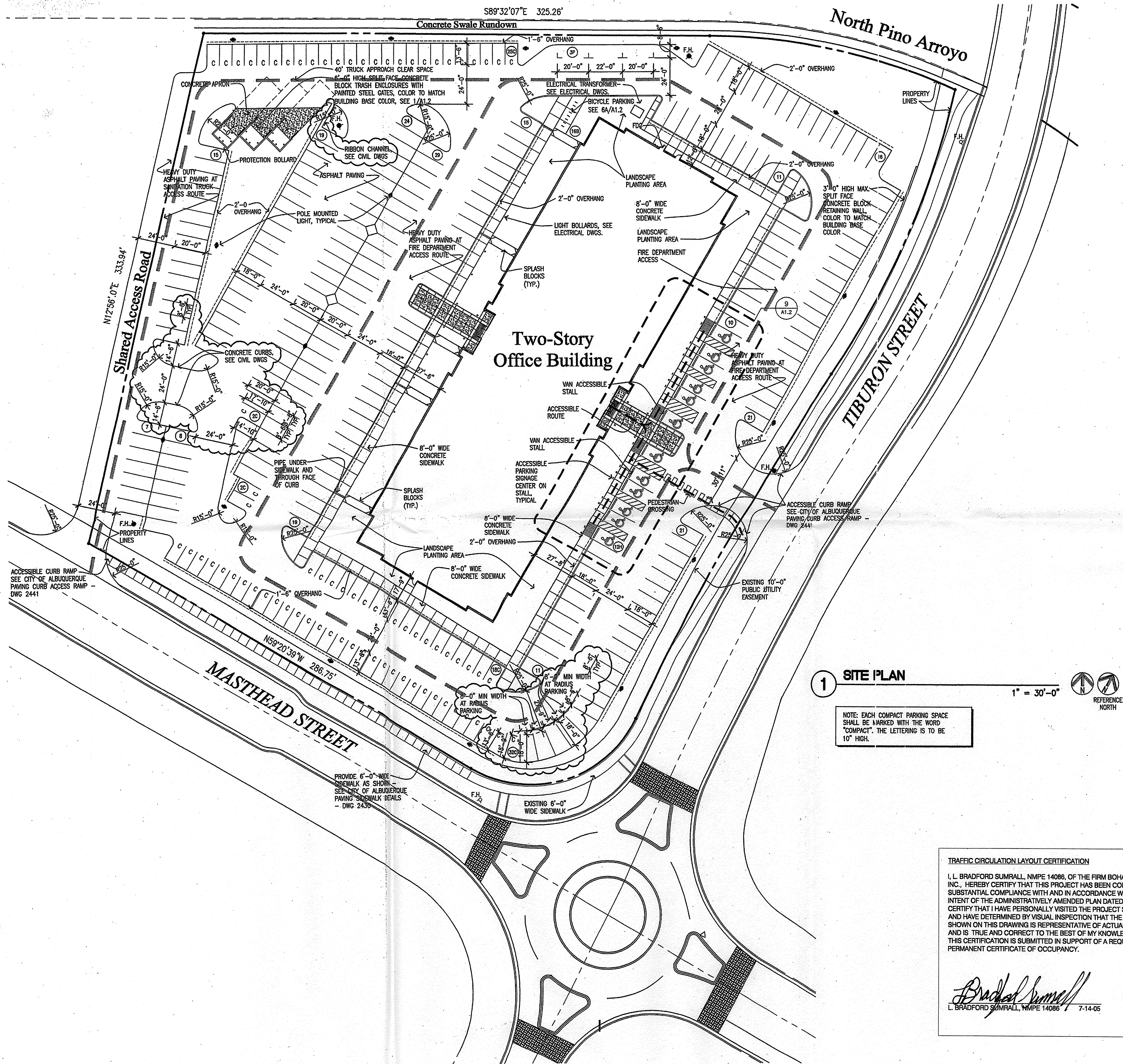
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

8/2/05

FL70.12 DESIGN GRADE  
FL70.25  
FL70.12 AS-BUILT GRADE



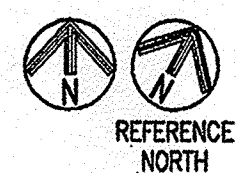




# 1 SITE PLAN

NOTE: EACH COMPACT PARKING SPACE SHALL BE MARKED WITH THE WORD "COMPACT". THE LETTERING IS TO BE 10" HIGH.

1" = 30'-0"



## TRAFFIC CIRCULATION LAYOUT CERTIFICATION

I, L. BRADFORD SUMRALL, NMPE 14086, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE ADMINISTRATIVELY AMENDED PLAN DATED 5-24-05. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7-14-05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE INFORMATION SHOWN ON THIS DRAWING IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

*Bradford Sumrall*  
L. BRADFORD SUMRALL, NMPE 14086 7-14-05

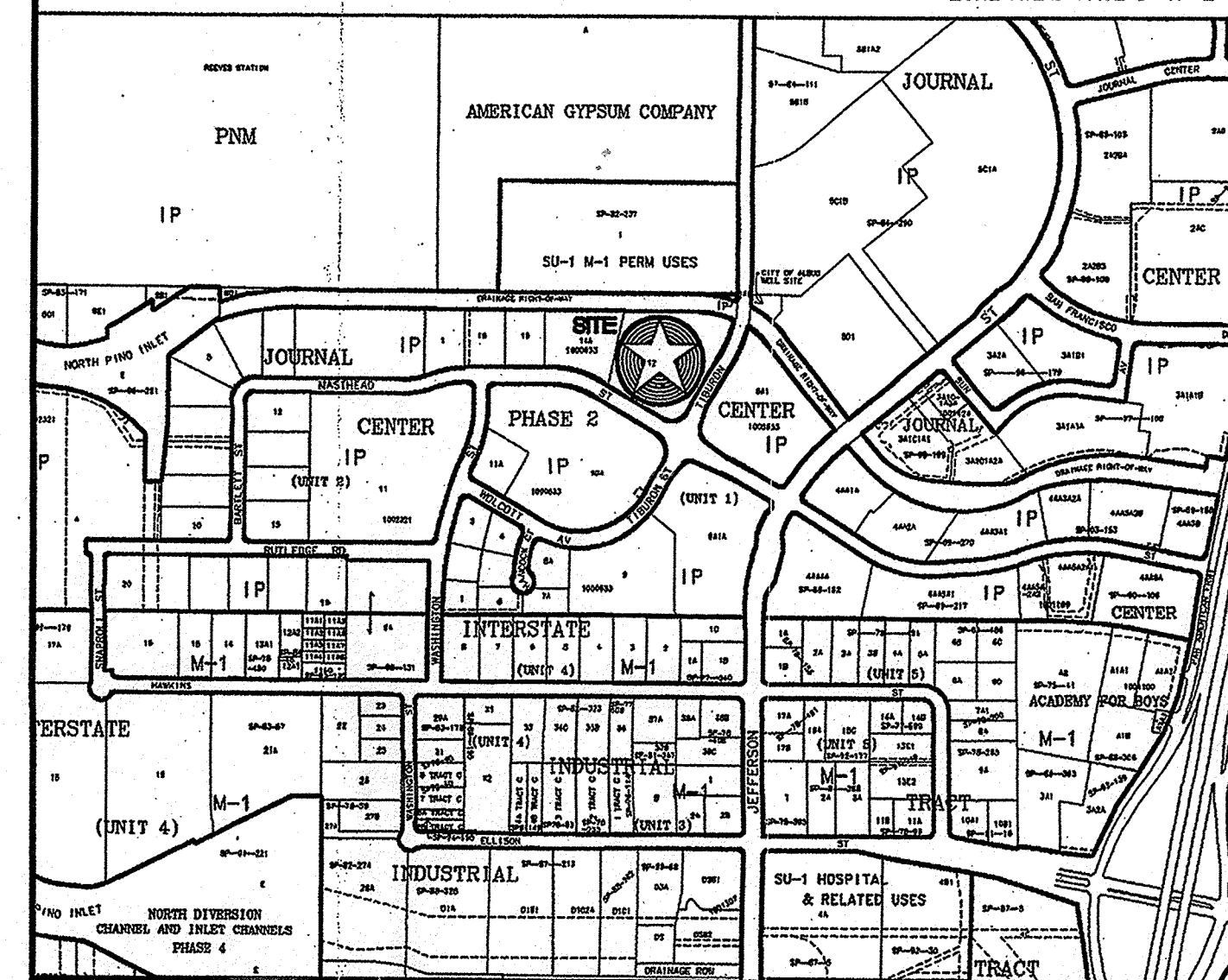


## SITE DATA

ZONING:	IP ZONE
SITE AREA:	4.2660 ACRES 185,829 S.F.
BUILDING AREA:	66,408 GROSS SQUARE FEET
SITE COVERAGE:	33,204 GROSS SQUARE FEET
	COVERAGE: 17.9 %
PARKING REQUIREMENTS:	OFFICE RENTABLE 63,964 S.F. @ 1/200 RENTABLE S.F.
	HANDICAP ACCESSIBLE STALLS:
	12
	BICYCLE PARKING SPACES: (8) 1/20 AUTOMOBILE SPACES
	16
PARKING PROVIDED:	STANDARD STALLS: (8'-6" x 16'-0")
	226
	PARALLEL STALLS: (P) (8'-6" x 20'-0" MIN.)
	3
	COMPACT STALLS: (C) (8'-6" x 15'-0" (25% MAXIMUM ALLOWABLE OR 80 STALLS)
	79
	HANDICAP ACCESSIBLE STALLS: (H)
	(INCLUDES TWO VAN ACCESSIBLE STALLS)
	12
	TOTAL AUTOMOBILE PARKING PROVIDED:
	320
	TOTAL BICYCLE PARKING PROVIDED:
	16

## VICINITY MAP

ZONE ATLAS PAGE D-17-Z



Opus Architects & Engineers, Inc.

18559 Bren Road West  
Woodbury, NJ 08801-0110  
952-656-4444  
952-656-4529 fax

### REGISTRATION

### ISSUE RECORD

07/30/04 DESIGN REVIEW  
RESUBMITTAL  
08/30/04 DRB SUBMITTAL  
10/15/04 PERMIT SUBMITTAL  
01/10/05 CONSTRUCTION SET  
03/15/05 DRB AMENDMENT

DESIGN NUMBER  
A545450  
PROJECT NUMBER  
332.00

DATE  
10/15/04  
PROJECT MANAGER  
T. SCHULTZ/V. CANORI  
DRAWN BY  
A. BRANCH  
CHECKED BY  
J. SAUCKE

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• Electronic files may not accurately reflect the final as-built conditions. It is the responsibility of the user to verify all layouts, dimensions and other related information.

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Prepared For



Opus West Construction Corporation

2555 East Camelback Road  
Suite 800  
Phoenix, AZ 85016  
602-468-7000  
602-468-7010 Fax

### PROJECT

JOURNAL CENTER  
PHASE 2

LOCATION  
ALBUQUERQUE, NEW MEXICO

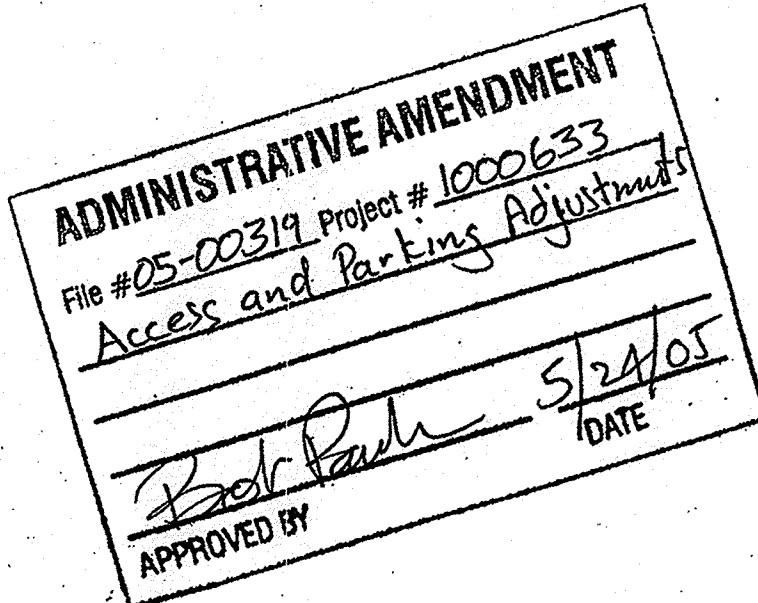
### SHEET TITLE

SITE PLAN

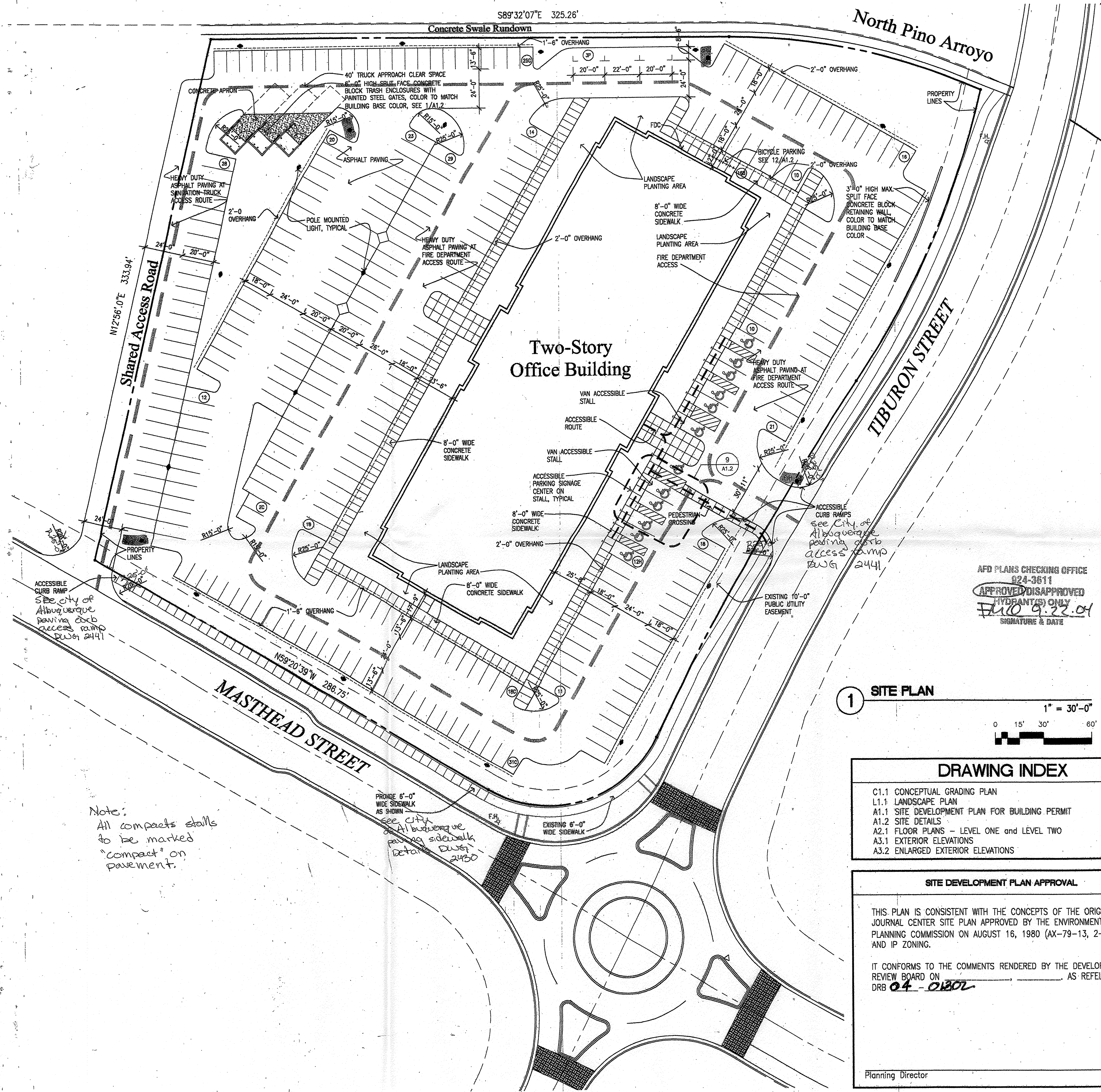
### SHEET NUMBER

A1.1

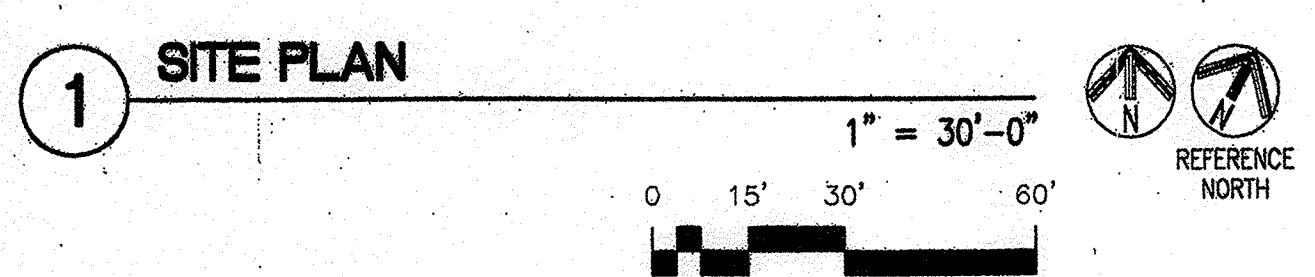
PROJECT NO: 1003637 DRB NO: 04DRB-01302 PLOT DATE: March 14, 2005 - 11:00am







AFD PLANS CHECKING OFFICE  
024-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
FILED 9.22.04  
SIGNATURE & DATE



DRAWING INDEX	
C1.1	CONCEPTUAL GRADING PLAN
L1.1	LANDSCAPE PLAN
A1.1	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
A1.2	SITE DETAILS
A2.1	FLOOR PLANS - LEVEL ONE AND LEVEL TWO
A3.1	EXTERIOR ELEVATIONS
A3.2	ENLARGED EXTERIOR ELEVATIONS

**SITE DEVELOPMENT PLAN APPROVAL**

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, 2-79-80-21 AND IP ZONING.

IT CONFORMS TO THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON 04-0802 AS REFILED IN

Planning Director \_\_\_\_\_ Date \_\_\_\_\_

**CODE + SITE DATA**

**CHAPTER 3: OCCUPANCY CLASSIFICATION (TABLE 3-B)**

GROUP	SECTION	DESCRIPTION OF OCCUPANCY	PROPOSED G.S.F.
B	304	OFFICE BUILDING	66,408 S.F.

**TOTAL PROPOSED: 66,408 S.F.**

**CHAPTER 5: GENERAL BUILDING LIMITATIONS**

SECTION	ALLOWABLE AREA INCREASE (S.F.)					
TABLE 5B	504.2, 505.1.2, 505.3					
USE GROUP	CONST. TYPE	BASIC AREA	MULTISTORY	SEPARATION ON 3 SIDES	AUTO-SPRINKLER	TOTAL ALLOWABLE AREA
B	III-N	12,000	24,000	42,000	84,000	84,000 S.F.

**TOTAL ALLOWABLE AREA: 84,000 S.F.**

**ALLOWABLE HEIGHT**

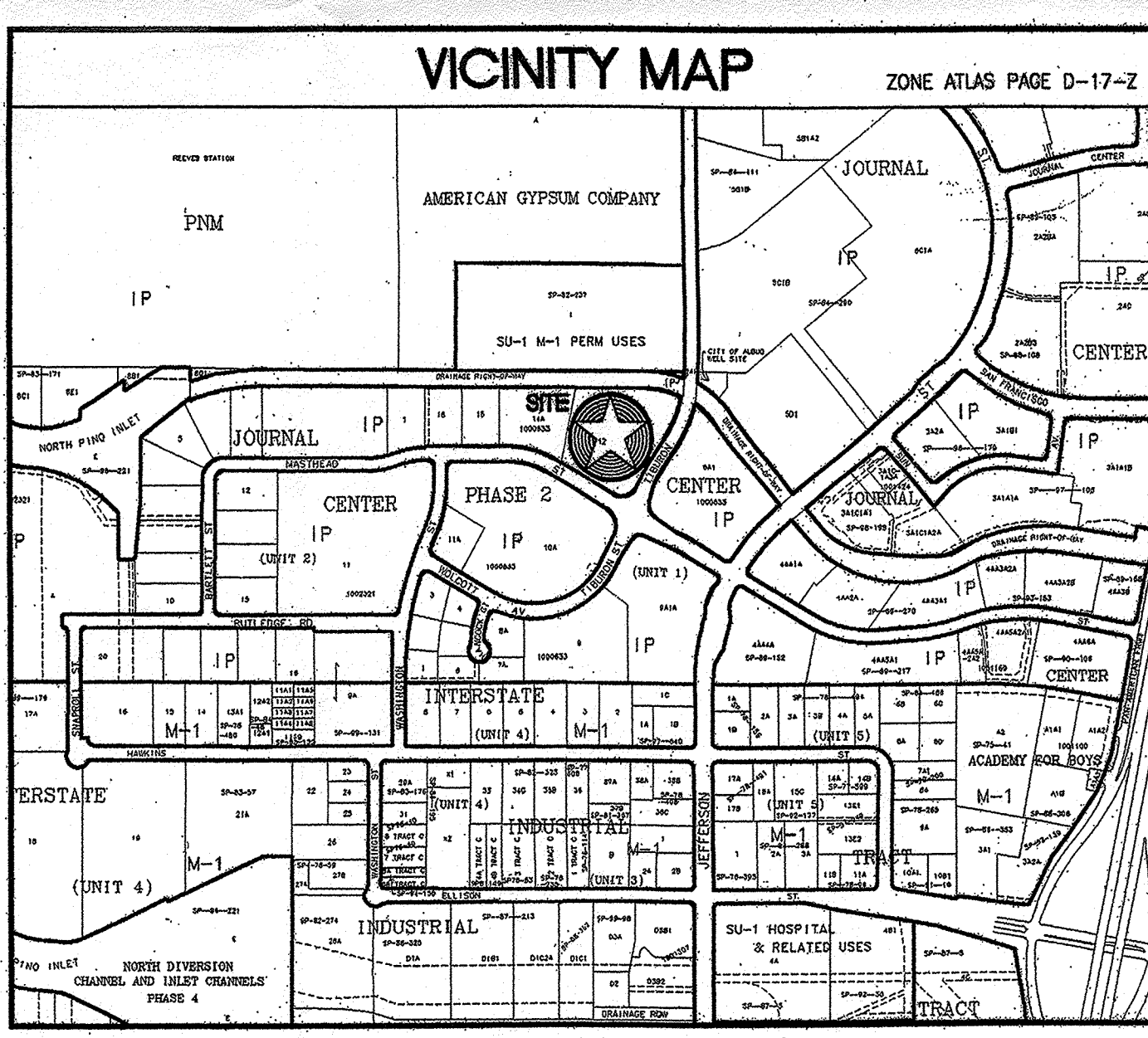
USE GROUP	CONSTRUCTION TYPE	NUMBER OF STORIES	MAXIMUM BUILDING HEIGHT	PROPOSED NUMBER OF STORIES	PROPOSED BUILDING HEIGHT
B	III-N	2	55 FEET	2	36 FEET

**CHAPTER 6: CONSTRUCTION TYPES/REQUIREMENTS**

SECTION	TYPE	REQUIREMENTS (TABLE 6-A)	REQUIREMENT W/ EXCEPTION
B	III-N	1. BEARING WALLS - EXTERIOR 2. BEARING WALLS - INTERIOR 3. NON-BEARING WALL - EXTERIOR 4. STRUCTURAL FRAME 5. PARTITIONS 6. SHAFT ENCLOSURES 7. FLOORS & FLOOR/CEILINGS 8. ROOFS & ROOF/CEILINGS 9. EXTERIOR DOORS & WINDOWS 10. STAIRWAY CONSTRUCTION	2 HOUR SEC. 604.3.1 N 4 SEC. 604.3.1 N 1 SEC. 711 & 1004.3.3.5 N N SEC. 604.3.2 SEC. 604.4

**SITE DATA**

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BUILDING AREA:	66,408 GROSS SQUARE FEET
SITE COVERAGE:	33,204 GROSS SQUARE FEET
COVERAGE:	17.9 %
PARKING REQUIREMENTS:	OFFICE RENTABLE 63,964 S.F. @ 1/200 RENTABLE S.F. 320
	HANDICAP ACCESSIBLE SPACES: 12
	BICYCLE PARKING SPACES: (B) 1/20 AUTOMOBILE SPACES 16
PARKING PROVIDED:	STANDARD STALLS: (8'-6" x 18'-0" TYP) 232
	COMPACT STALLS: (C) (8'-6" x 15'-0" TYP) 76
	HANDICAP ACCESSIBLE STALLS (25% MAXIMUM ALLOWABLE OR 80 STALLS) 12
	TOTAL AUTOMOBILE PARKING PROVIDED: 320
	TOTAL BICYCLE PARKING PROVIDED: 16



**DEVELOPMENT REVIEW BOARD MEMBER APPROVAL**

Traffic <i>[Signature]</i> Date: 9-22-04	ALBUQUERQUE BLDG & SAFETY Date: 9-22-04
Utilities <i>[Signature]</i> Date: 9/22/04	OCT 29 2004 U.B.C. Date: 9/22/04
Parks and Recreation <i>[Signature]</i> Date: 9/22/04	PLAN CHECK SECTION Date: 9/22/04
City Engineer/AMPC <i>[Signature]</i> Date: 9/22/04	DRB Chair <i>[Signature]</i> Date: 9-22-04
Solid Waste Dept. <i>[Signature]</i> Date: 9-22-04	

Opus Architects & Engineers, Inc.

10350 Bran Road West  
Minnetonka, MN 55345-0110  
952-836-4444  
952-836-4529 fax

REGISTRATION

07/30/04 DESIGN REVIEW  
08/30/04 DRB SUBMITTAL  
09/03/04 DRB RESUBMITTAL

DESIGN NUMBER  
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Prepared For

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602-455-7010 fax

PROJECT  
**JOURNAL CENTER  
PHASE 2**

LOCATION  
ALBUQUERQUE, NEW MEXICO

SHEET TITLE  
**SITE DEVELOPMENT  
PLAN FOR  
BUILDING PERMIT**

SHEET NUMBER  
**A1.1**

PLOT DATE September 09, 2004 - 11:54am