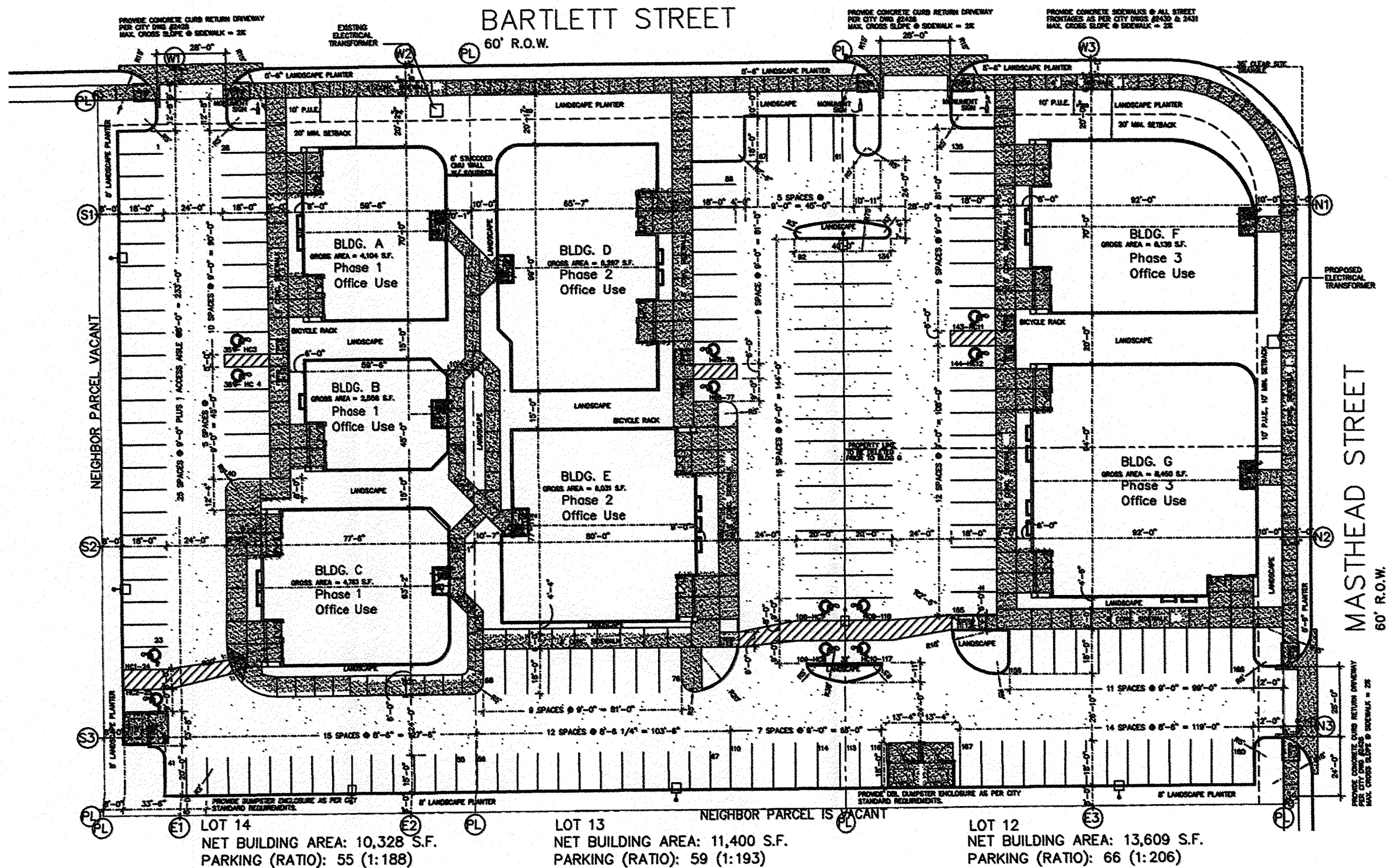




RECEIVED
NOV 22 2005
HYDROLOGY SECTION

GRAVING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 12A, 12B, 13, AND 14, JOURNAL CENTER, PHASE 2, UNIT I (7430 BARLETT STREET N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.18 ACRES AND IS LOCATED NORTH OF THE INTERSECTION OF BARLETT STREET N.E. AND RUTLEDGE ROAD N.E., ON THE EAST SIDE OF BARLETT STREET N.E. THE SITE IN ITS ENTIRE CONDITION SLOPES FROM EAST TO WEST, AS SHOWN ON 2005, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE OR DOES IT CONTRIBUTE TO ANY DOWNSTREAM FLOODING.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF SEVEN OFFICE BUILDINGS TOTALLING 35,180 SQ. FT. ALONG WITH PARKING AND ASSOCIATED LANDSCAPED AREAS. ALL THE DEVELOPED FLOWS WILL BE ROUTED OUT THROUGH THE PROPOSED DRIVEWAYS AND ONTO BARLETT STREET N.E. FROM THAT POINT THE RUN-OFF WILL TRAVEL ALONG BARLETT STREET N.E. INTO EXISTING CULVERTS. ALL THE DEVELOPED RUN-OFF WILL EVENTUALLY ENTER THE NORTH POND AREA AND INTO THE NORTH DIVERSION CHANNEL. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION, THE CALCULATIONS WHICH APPEAR HEREON ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 OF THE DEVELOPMENT PROCESS ANNUAL DATE 1997 WAS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

PROJECT AREA = 3.18 ac.
LOT 12.13, & 14 JOURNAL CENTER¹

ZONE 2
PEAK DISCHARGE: 360 = 2.35 in.
1440 = 2.75 in.
7day = 3.95 in.

EXCESS PRECIPITATION:

PEAK DISCHARGE: 1.56 cfs/ac.
2.28 cfs/ac.
3.14 cfs/ac.

EXISTING CONDITIONS:

AREA
TREATMENT A 0 ac.
TREATMENT B 0 ac.
TREATMENT C 3.18 ac.
TREATMENT D 0 ac.

EXISTING EXCESS PRECIPITATION:
 $E = (0.53 \times 3.18) / 12.0 = 0.09450$ ac-ft = 1304.4 CF
 $V_{100} - 360 = (1.13 \times 3.18) / 12 = 0.299450$ ac-ft = 1304.4 CF

EXISTING PEAK DISCHARGE:

$Q_{100} = (1.56 \times 0.00) + (2.28 \times 0.00) + (3.14 \times 0.00) + (4.70 \times 0.00) = 9.99$ CFS

PROPOSED EXCESS PRECIPITATION:
 $E = (0.53 \times 0.00) + (0.78 \times 0.00) + (1.13 \times 0.00) + (2.12 \times 0.00) = 0.00$ ac-ft = 0.00 CFS

WEIGHTED E = 0.00 CFS

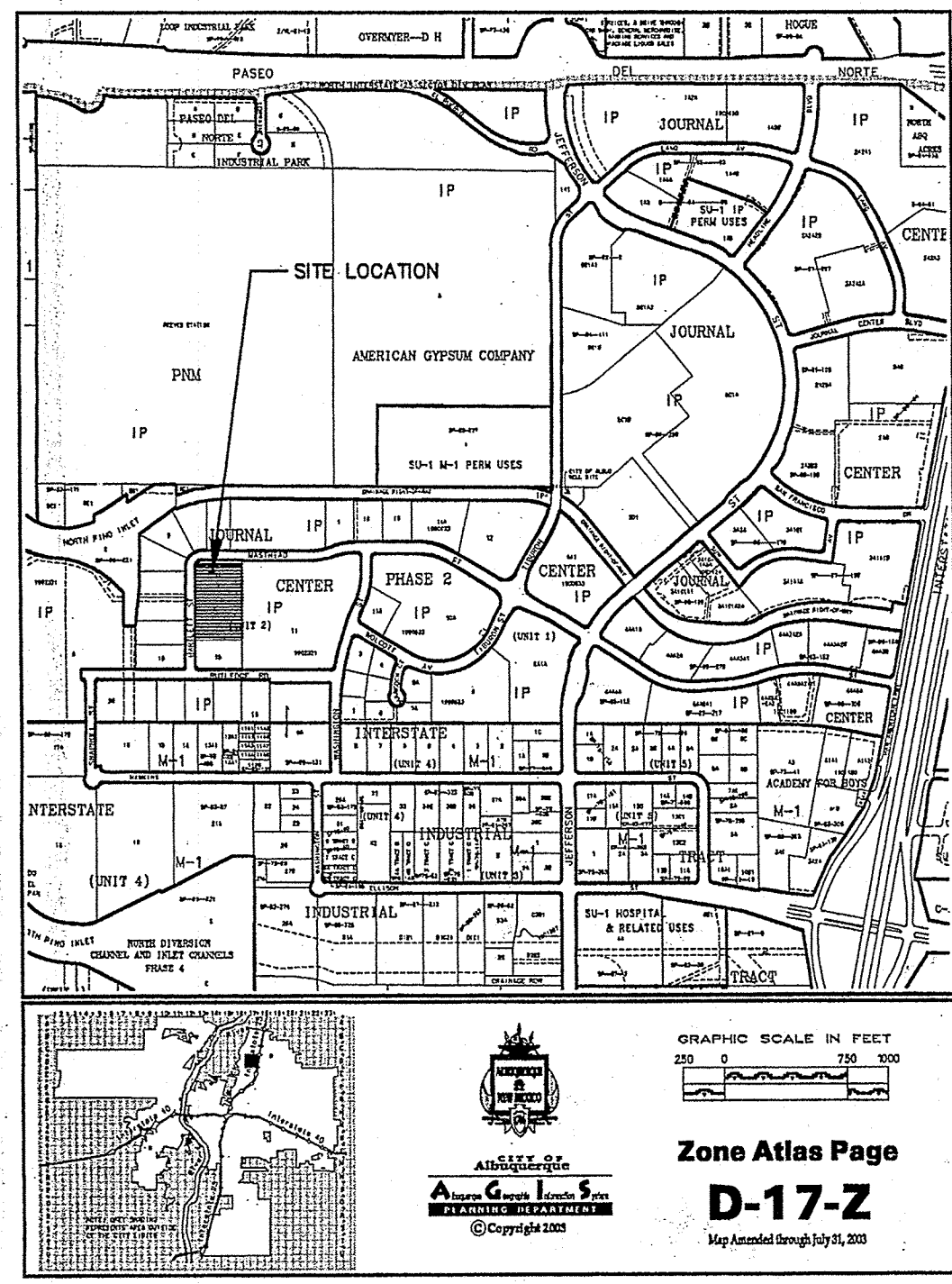
$V_{100} - 360 = (1.92 \times 3.18) / 12.0 = 0.509888$ ac-ft = 2221.1 CF

$V_{100} - 1440 = (0.51 \times 2.72) + (3.95 - 2.35) / 12 = 0.871888$ ac-ft = 3789.79 CF

W100 - 10day = 0.87 CFS

PROPOSED PEAK DISCHARGE:

INCREASE 12.76 CFS - 9.99 CFS = 2.77 CFS



VICINITY MAP D-17

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 12A, 12B, 13, AND 14, JOURNAL CENTER, PHASE 2, UNIT 1 (7430 BARTLETT STREET N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.18 ACRES AND IS LOCATED NORTH OF THE INTERSECTION OF BARTLETT STREET N.E. AND RUTLEDGE ROAD N.E., ON THE EAST SIDE OF BARTLETT STREET N.E. THE SITE IN ITS EXISTING CONDITION SLOPES FROM EAST TO WEST. AS SHOWN BY THE FLOOD INSURANCE RATE MAPS, PANEL 0136F, DATED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE NOR DOES IT CONTRIBUTE TO ANY DOWNSTREAM FLOODING.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF SEVEN OFFICE BUILDINGS TOTALING 35,180 SQ. FT. ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPED AREAS. ALL THE DEVELOPED FLOWS WILL BE ROUTED OUT TOWARDS THE PROPOSED DRIVEWAYS AND ONTO BARTLETT STREET N.E. FROM THAT POINT THE RUN-OFF WILL TRAVEL ALONG BARTLETT STREET N.E. INTO EXISTING CATCHBASINS. ALL THE DEVELOPED RUN-OFF WILL EVENTUALLY ENTER THE NORTH PINO ARROYO AND INTO THE NORTH DIVERSION CHANNEL. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL DATED 1997 WAS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

PROJECT AREA = 3.18 ac.
"LOT 12, 13, & 14 JOURNAL CENTER"
ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.53 in.	1.56 cfs/ac.
TREATMENT B 0.78 in.	2.28 cfs/ac.
TREATMENT C 1.13 in.	3.14 cfs/ac.
TREATMENT D 2.12 in.	4.70 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
AREA	AREA
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0.4652 ac.
TREATMENT C 3.18 ac.	0 ac.
TREATMENT D 0 ac.	2.715 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.53) x (0.00) x (0.78) x (0.00) x (1.13) x (3.18) x (2.12) x (0.00) / 3.18 ac.
= 1.13 in.

V100-360 = (1.13) x (3.18) / 12 = 0.299450 ac-ft = 13044 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.56) x (0.00) x (2.28) x (0.00) x (3.14) x (3.18) x (4.70) x (0.00) = 9.99 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.53) x (0.00) x (0.78) x (0.47) x (1.13) x (0.00) x (2.72) x (3.18) ac.
= 1.92 in.

V100-360 = (1.92) x (3.18) / 12.0 = 0.509888 ac-ft = 22211 CF

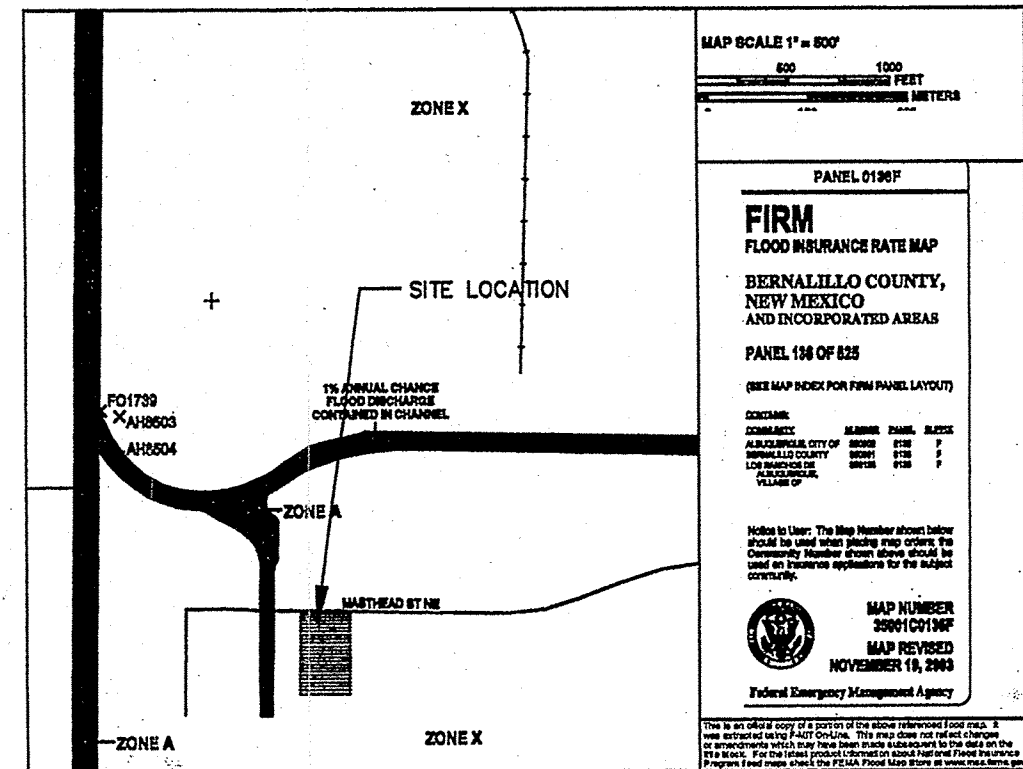
V100-1440 = (0.51) x (2.72) x (2.75 - 2.35) / 12 = 0.600388 ac-ft = 26153 CF

V100-10day = (0.51) x (2.72) x (3.95 - 2.35) / 12 = 0.871888 ac-ft = 37979 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.56) x (0.00) x (2.28) x (0.47) x (3.14) x (0.00) x (4.70) x (2.72) = 12.76 CFS

INCREASE 12.76 CFS - 9.99 CFS = 2.77 CFS



FIRM PANEL NO. 0136F

ENGINEER CERTIFICATION FOR PHASE I

I EUFACIO SEBAY NMPE # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/14/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OF OCCUPANCY.

AS-BUILT DESIGNATION

91.65
91.50
OR
91.50

ENGINEER CERTIFICATION FOR PHASE II

I EUFACIO SEBAY NMPE # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/14/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OF OCCUPANCY.

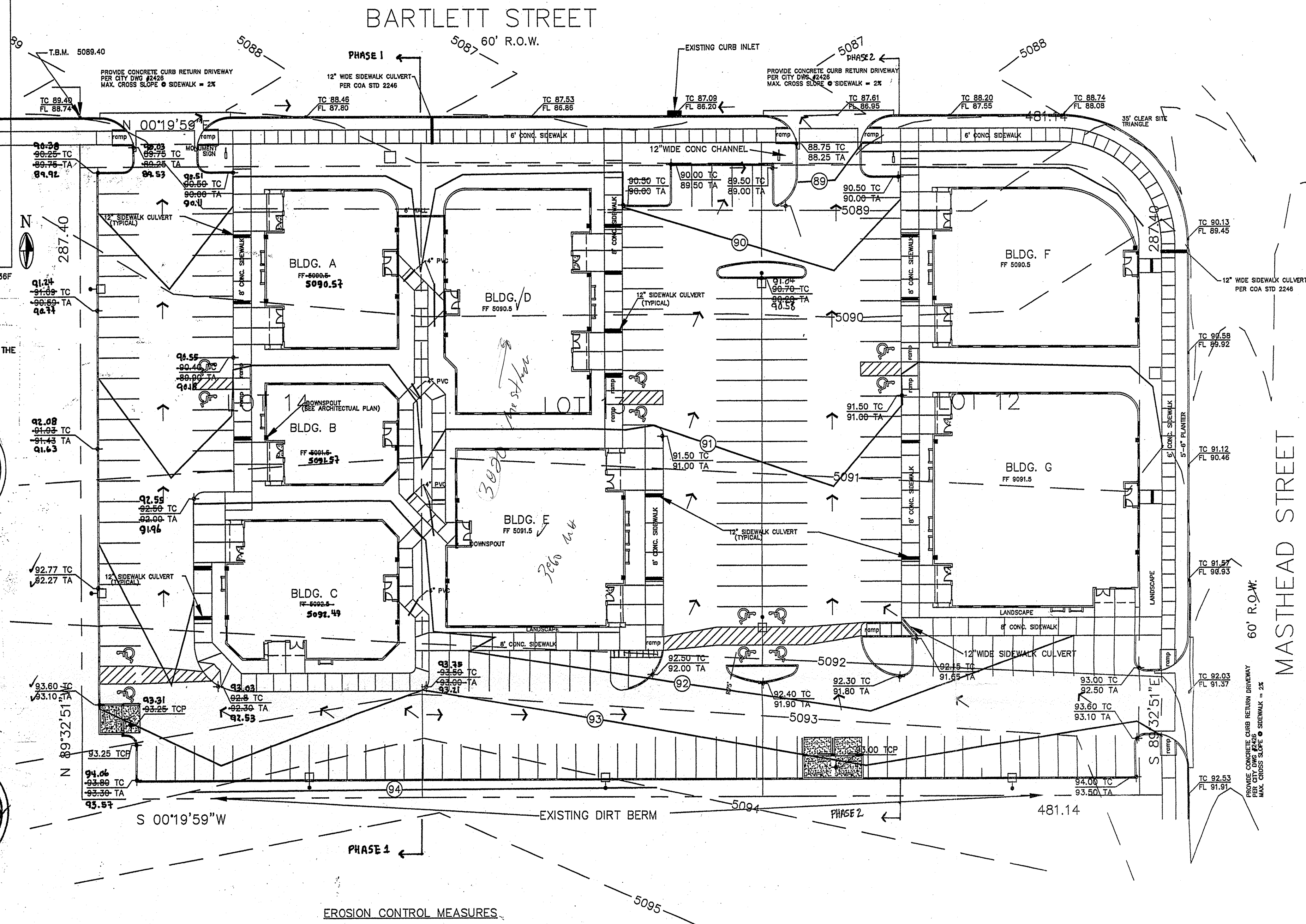
AS-BUILT DESIGNATION

TC 91.65
FL 91.50
OR
91.50

APPROVAL	NAME	DATE	TITLE:
INSPECTOR			MASTHEAD POINTE
			MAP NUMBER: D17

NOTE TO CONTRACTOR:

- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
- Two working days prior to any excavation, contractor must contact line locating Services (760-1990) for locating existing sub-surface utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
- Backfill compaction shall be according to commercial use or soils report(s) recommendations.
- All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
- Maintenance of this facilities shall be the responsibility of the owner of the property it serves



EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
 - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DICES, SHALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
 - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

LEGAL DESCRIPTION

LOT 12, 13, AND 14
JOURNAL CENTER PHASE 2, UNIT 1
BERNALILLO COUNTY, ALBUQUERQUE
NEW MEXICO.

BENCHMARK:

A.C.S. BENCHMARK 9-D17 ELEVATION 5124.40

T.B.M.

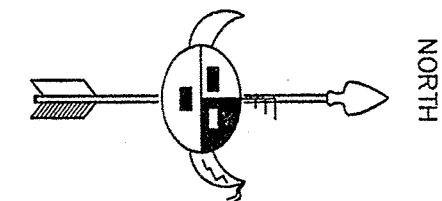
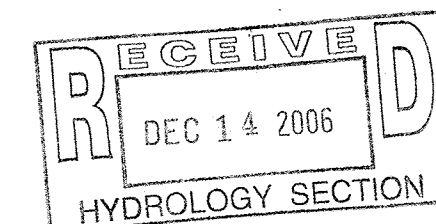
TOP OF CURB ON THE PROJECTION OF THE SOUTH PROPERTY LINE
OF LOT 14, AS SHOWN ON PLAN DRAWING ELEVATION 5089.40

SYMBOL LEGEND

EXISTING CONTOUR
EXISTING SPOT ELEVATION
DESIGN CONTOUR
PROPOSED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
DOWN SPOUT(SEE ARCHITECTURAL PLAN)

ABBREVIATION LEGEND

TOP OF CONC APRON - TCA
TOP OF CURB - TC
TOP OF ASPHALT - TA
TOP OF BERM - TB
BOTTOM OF POND - BP
FINISHED FLOOR - FF
TOP OF CONCRETE PAD - TCP



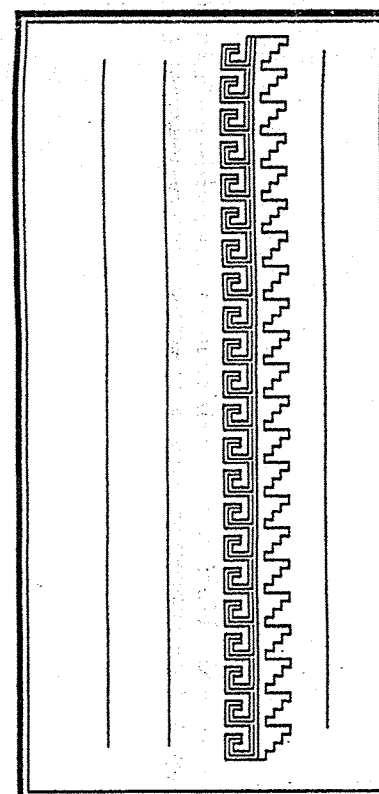
GRADING & DRAINAGE PLAN

Scale 1"=50'-0"



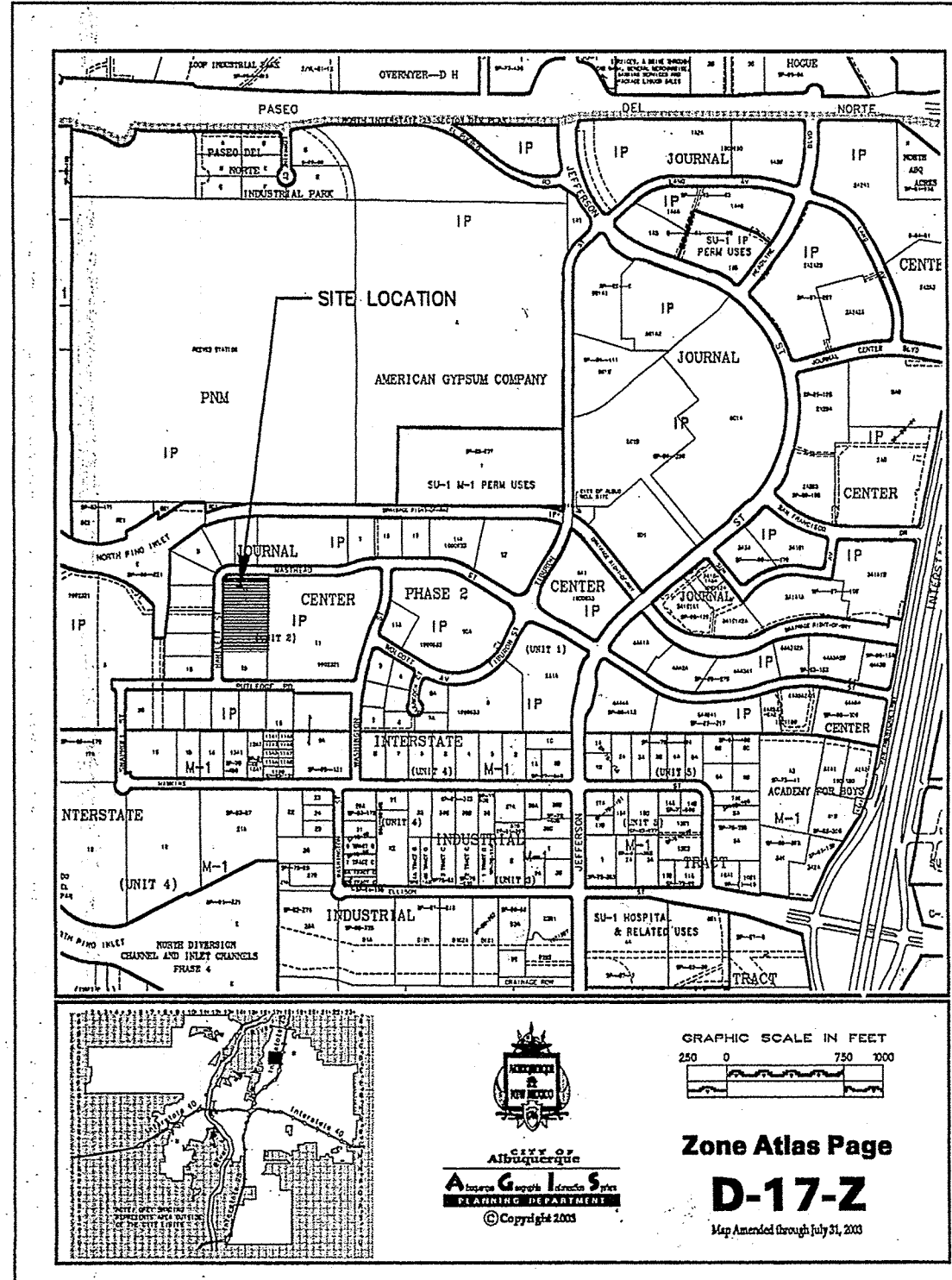
JOB NO:	XXXXXXX
DATE:	DECEMBER 2004
REVISIONS	

Sheet Title	GRADING AND DRAINAGE PLAN
Drawn By:	HTH/BJM
Checked By:	ES

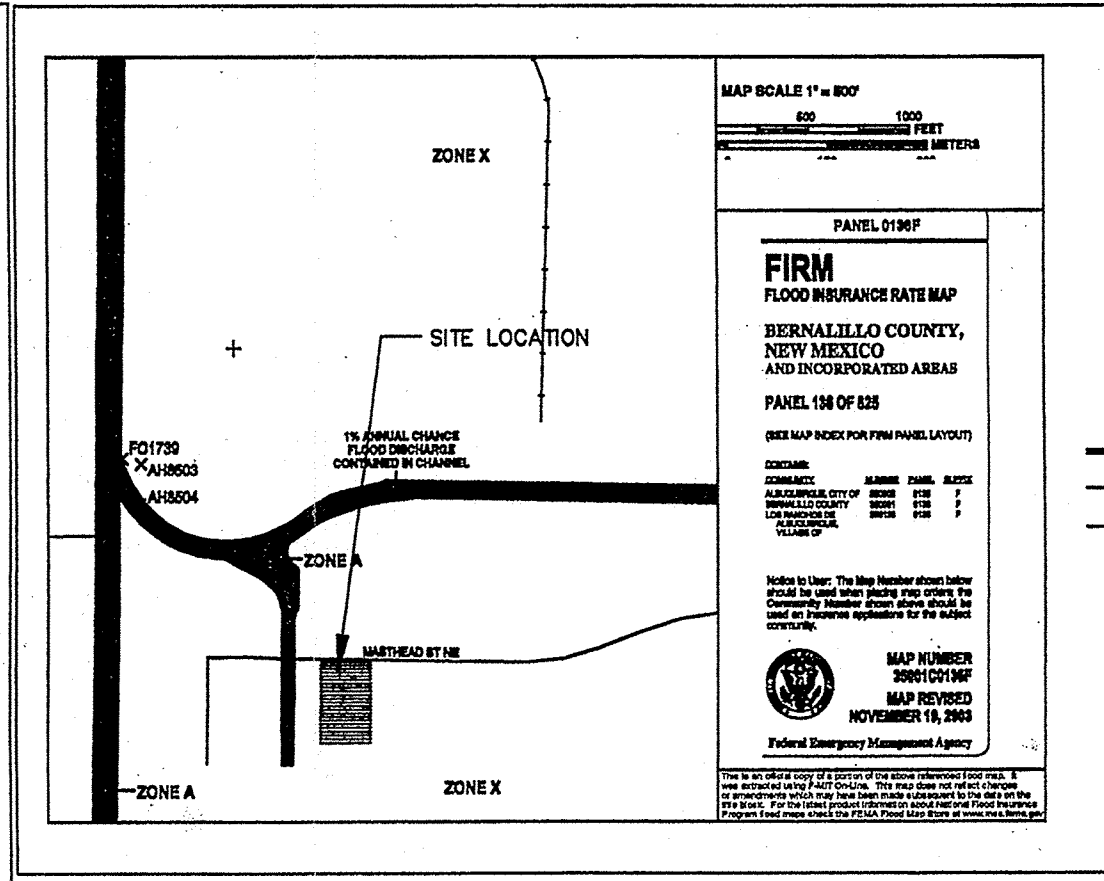


Project Name	MASTHEAD POINTE
	7430 BARTLETT STREET NE
	ALBUQUERQUE, NEW MEXICO

SHEET NO.	GD
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VICINITY MAP D-17



FIRM PANEL NO. 0136F

ENGINEER CERTIFICATION FOR PHASE I
I, EFRACIO SEBAY, NMPE # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/14/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OCCUPANCY.

AS-BUILT DESIGNATION
TC 91.65
OR
91.50

ENGINEER CERTIFICATION FOR PHASE II
I, EFRACIO SEBAY, NMPE # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/14/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OCCUPANCY.

AS-BUILT DESIGNATION
TC 91.65
OR
91.50

ENGINEER CERTIFICATION FOR PHASE III
I, EFRACIO SEBAY, NMPE # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/14/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OCCUPANCY.

AS-BUILT DESIGNATION
TC 91.65
OR
91.50

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 12A, 12B, 13, AND 14, JOURNAL CENTER, PHASE 2, UNIT 1 (7430 BARTLETT STREET N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS
AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 3.18 ACRES AND IS LOCATED NORTH OF THE INTERSECTION OF BARTLETT STREET N.E. AND RUTLEDGE ROAD N.E., ON THE EAST SIDE OF BARTLETT STREET N.E. THE SITE IN ITS EXISTING CONDITION SLOPES FROM EAST TO WEST. AS SHOWN BY THE FLOOD INSURANCE RATE MAPS, PANEL 0136F, DATED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE NOR DOES IT CONTRIBUTE TO ANY DOWNSTREAM FLOODING.

PROPOSED CONDITIONS
AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF SEVEN OFFICE BUILDINGS TOTALING 35,180 SQ. FT. ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPED AREAS. ALL THE DEVELOPED FLOWS WILL BE ROUTED OUT TOWARDS THE PROPOSED DRIVEWAYS AND ONTO BARTLETT STREET N.E., FROM THAT POINT THE RUN-OFF WILL TRAVEL ALONG BARTLETT STREET N.E. INTO EXISTING CATCHBASINS. ALL THE DEVELOPED RUN-OFF WILL EVENTUALLY ENTER THE NORTH PINO ARROYO AND INTO THE NORTH DIVERSION CHANNEL. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL DATED 1997 WAS USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

PROJECT AREA = 3.18 ac.
LOT 12, 13, & 14 JOURNAL CENTER
ZONE 2
PRECIPITATION: 360 = 2.35 in.
1440 = 2.75 in.
10day = 3.95 in.
EXCESS PRECIPITATION: PEAK DISCHARGE:
TREATMENT A 0.53 in. 1.56 cfs/ac.
TREATMENT B 0.78 in. 2.28 cfs/ac.
TREATMENT C 1.13 in. 3.14 cfs/ac.
TREATMENT D 2.12 in. 4.70 cfs/ac.

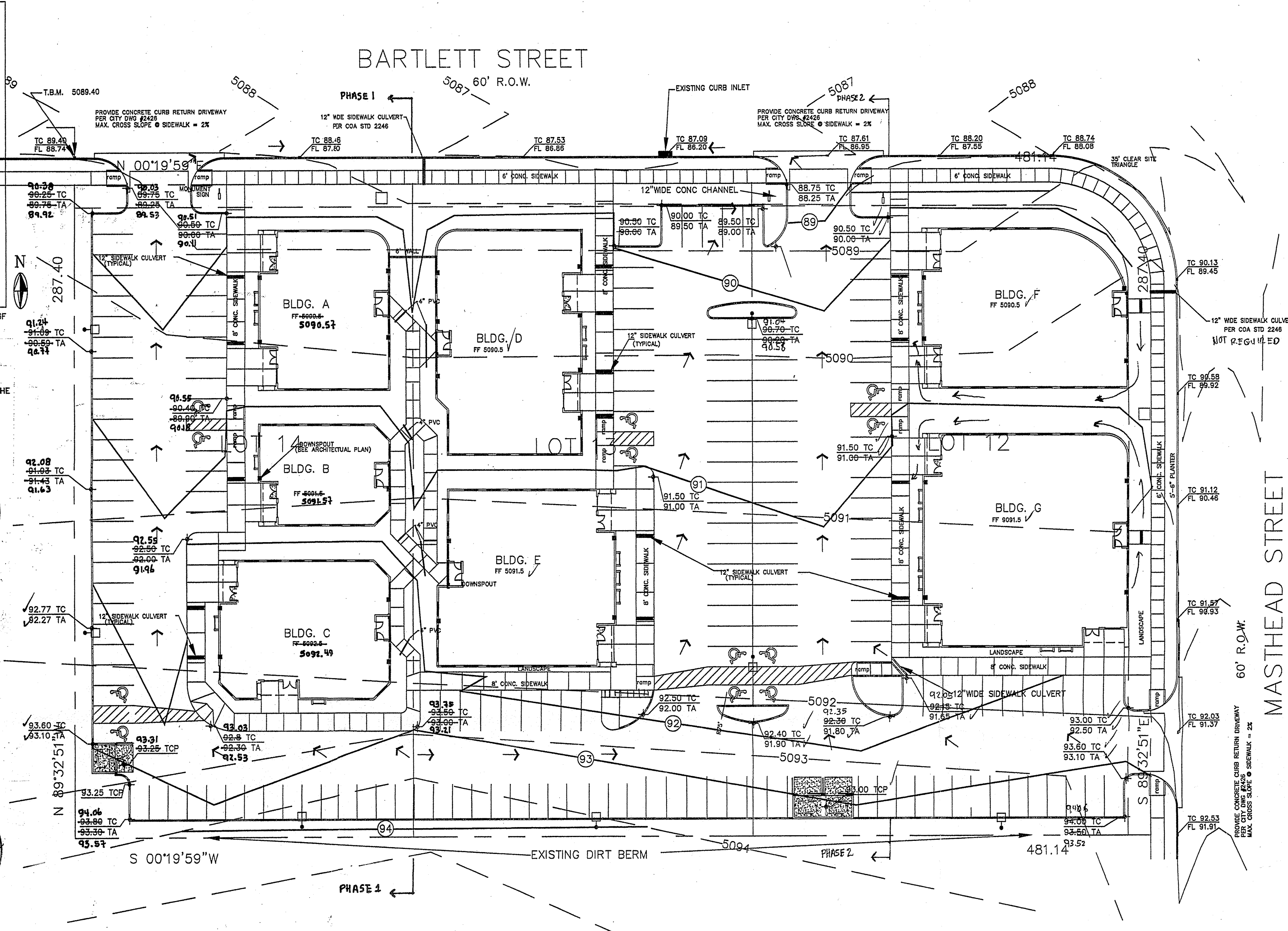
EXISTING CONDITIONS: AREA
TREATMENT A 0 ac.
TREATMENT B 0 ac.
TREATMENT C 3.18 ac.
TREATMENT D 0 ac.
PROPOSED CONDITIONS: AREA
TREATMENT A 0 ac.
TREATMENT B 0.4652 ac.
TREATMENT C 0 ac.
TREATMENT D 2.715 ac.

EXISTING EXCESS PRECIPITATION:
Weighted E = (0.53 x 0.00) + (0.78 x 0.00) + (1.13 x 3.18) + (2.12 x 0.00) / 3.18 ac.
= 1.13 in.
V100-360 = (1.13 x 3.18) / 12 = 0.299450 ac-ft = 13044 CF

EXISTING PEAK DISCHARGE:
Q100 = (1.56 x 0.00) + (2.28 x 0.00) + (3.14 x 3.18) + (4.70 x 0.00) = 9.99 CFS
PROPOSED EXCESS PRECIPITATION:
Weighted E = (0.53 x 0.00) + (0.78 x 0.47) + (1.13 x 0.00) + (2.12 x 2.72) / 3.18 ac.
= 1.92 in.
V100-360 = (1.92 x 3.18) / 12.0 = 0.509888 ac-ft = 22211 CF

V100-1440 = (0.51 x 2.72) / 12 = 0.600388 ac-ft = 26153 CF
V100-10day = (0.51 x 2.72) / 12 = 0.871888 ac-ft = 37979 CF

PROPOSED PEAK DISCHARGE:
Q100 = (1.56 x 0.00) + (2.28 x 0.47) + (3.14 x 0.00) + (4.70 x 2.72) = 12.76 CFS
INCREASE 12.76 CFS - 9.99 CFS = 2.77 CFS



NAME	DATE	TITLE
		MASTHEAD POINTE
		MAP NUMBER: D17

CONSTRUCTION PERMIT
In this plan to be performed, except as otherwise indicated hereon, shall be constructed in accordance with the Standard Specification for Public Works

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION. HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, Dikes, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

LEGAL DESCRIPTION

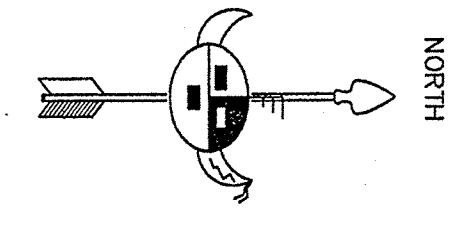
LOT 12, 13, AND 14
JOURNAL CENTER PHASE 2, UNIT 1
BERNALILLO COUNTY, ALBUQUERQUE
NEW MEXICO.
BENCHMARK:
A.C.S. BENCHMARK 9-D17 ELEVATION 5124.40
T.B.M.
TOP OF CURB ON THE PROJECTION OF THE SOUTH PROPERTY LINE OF LOT 14, AS SHOWN ON PLAN DRAWING ELEVATION 5089.40

SYMBOL LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- DESIGN CONTOUR
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- EASEMENT LINE
- FLOW DIRECTION
- DOWN SPOUT (SEE ARCHITECTURAL PLAN)

ABBREVIATION LEGEND

- TOP OF CONC APRON - TCA
- TOP OF CURB - TC
- TOP OF ASPHALT - TA
- TOP OF BERM - TB
- BOTTOM OF POND - BP
- FINISHED FLOOR - FF
- TOP OF CONCRETE PAD - TPC



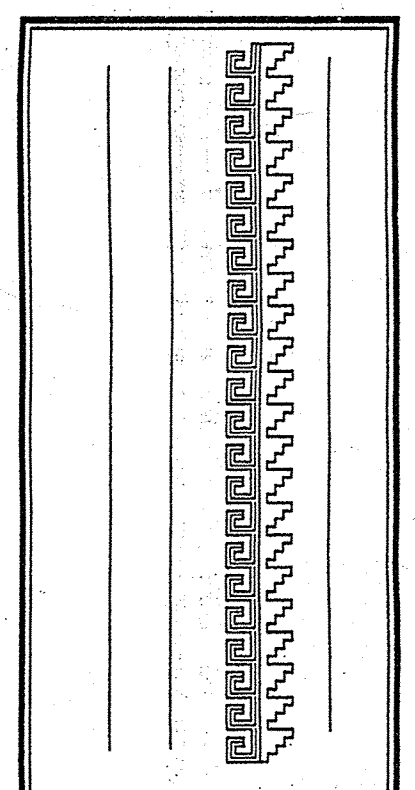
GRADING & DRAINAGE PLAN

Scale 1"=50'-0"



JOB NO:	XXXXXX
DATE:	DECEMBER 2004
REVISIONS	

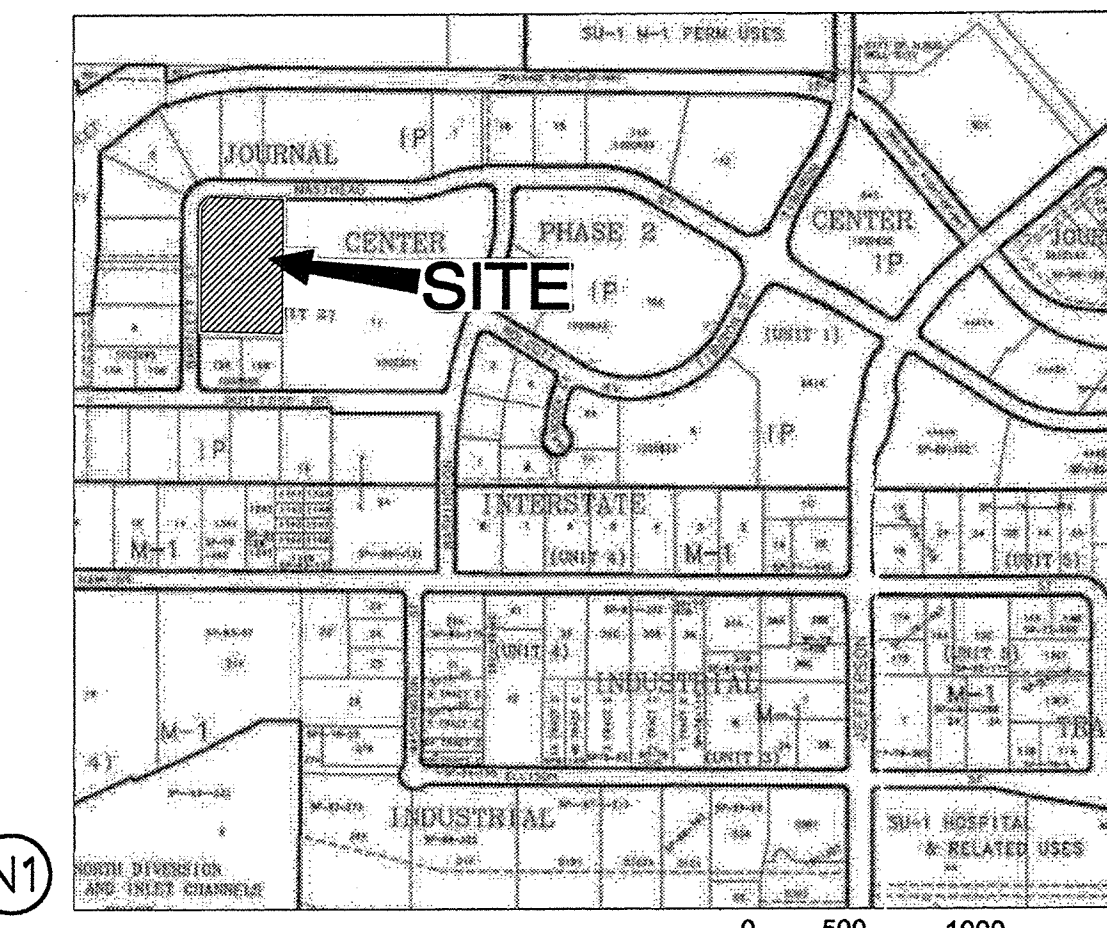
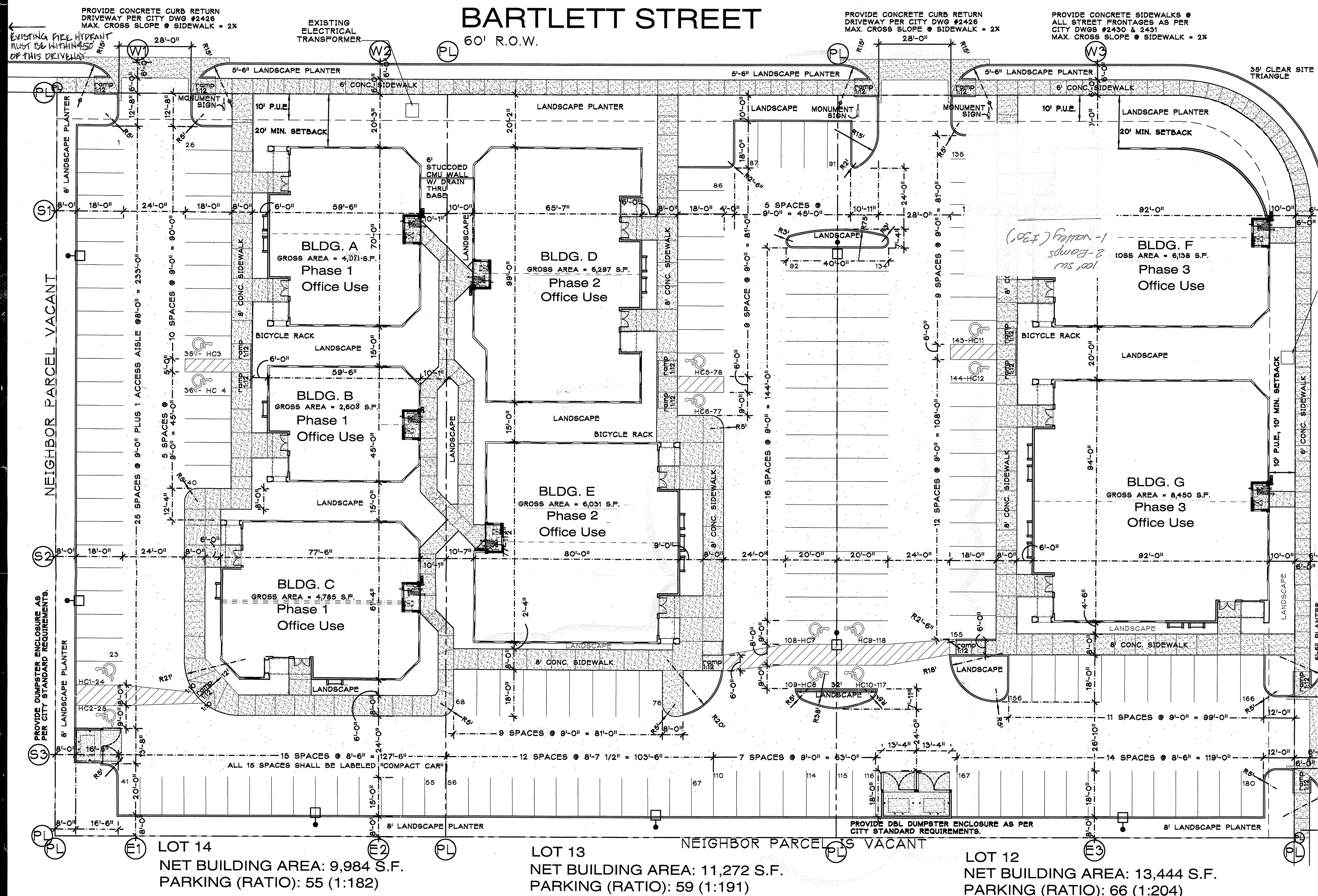
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GRADING AND DRAINAGE PLAN
Drawn By: HTH/B/M
Checked By: ES



Project Name
MASTHEAD POINTE
7430 BARTLETT STREET NE
ALBUQUERQUE, NEW MEXICO

SHEET NO.
GD

DEC 28 2007
HYDROLOGY SECTION



- UTILITY LEGEND**
- UTILITY PEDESTAL
 - SANITARY SEWER MANHOLE
 - CENTERLINE MONUMENT
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - TELEPHONE MANHOLE
 - POLE MOUNTED LIGHT FIXTURE 20' HIGH, "LITHONIA" OR EQUAL, MODEL KAD, FLAT LENSED SQUARE.
- PAVEMENT LEGEND**
- CONCRETE
 - COLOR CONCRETE
 - ASPHALT PAVEMENT
 - LANDSCAPE PLANTER AREAS (NO HATCH)
 - DESIGNATED WHEELCHAIR ROUTE, 2% MAX. X-SLOPE

RECEIVED
DEC 01 2006
HYDROLOGY SECTION

PROJECT NO. 1003782
APPLICATION NO. 04-10773

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
YES (V) NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:

[Signature] 12-29-04
TRAFFIC ENGINEER
TRANSPORTATION DIVISION

[Signature] 12-29-04
UTILITY DEVELOPMENT DIVISION

[Signature] 12/1/04
PARK RECREATION

[Signature] 12-29-04
CITY ENGINEER

ENVIRONMENTAL HEALTH (CONDITIONAL) DATE: 1-10-05
SOLID WASTE MANAGEMENT DATE: 12/29/04
DRB CHAIRPERSON, PLANNING DEPT. DATE: 12/29/04

MASTER SITE PLAN
SCALE: 1" = 20'

PROJECT DATA

LEGAL DESCRIPTION:
LOTS 12, 13 & 14 JOURNAL CENTER 2, UNIT 2, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.

ZONE ATLAS: D-17-Z
ZONE CLASSIFICATION: IP
LAND USE DATA
COMBINED LOT AREA: 3.17 AC (137,904 SQ.FT.)
COMBINED BUILDING FLOOR AREAS: 34,700 SQ.FT., 25%
NET LOT AREA: 103,204 SQ.FT., 75%
LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN

OFFSTREET PARKING REQUIREMENTS:
NET LEASEABLE AREA = 34,700 SQ.FT.
OFFICE USE --
REQUIRED PARKING STALLS = 174 STALLS REQ'D @ 1:200 SQ.FT.

PROVIDED PARKING STALLS = 180 STALLS,
INCLUDES 8 REQ'D ACCESSIBLE SPACES
PLUS 4 VAN ACCESSIBLE STALLS

REQUIRED & PROVIDED BICYCLE PARKING = 5 SPACES

SITE LIGHTING: SHALL BE PROVIDED BY SHIELDED BUILDING MOUNTED WALL FIXTURES AND SHIELDED 20' POLE LIGHTS.

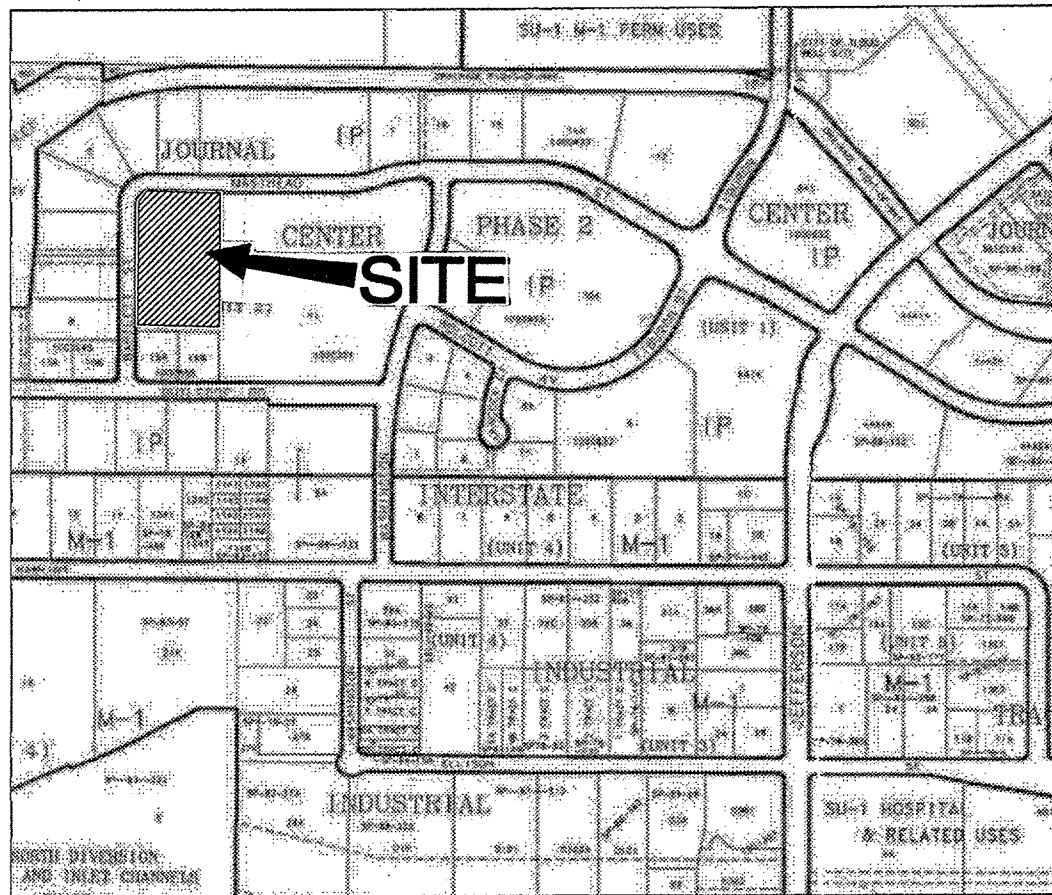
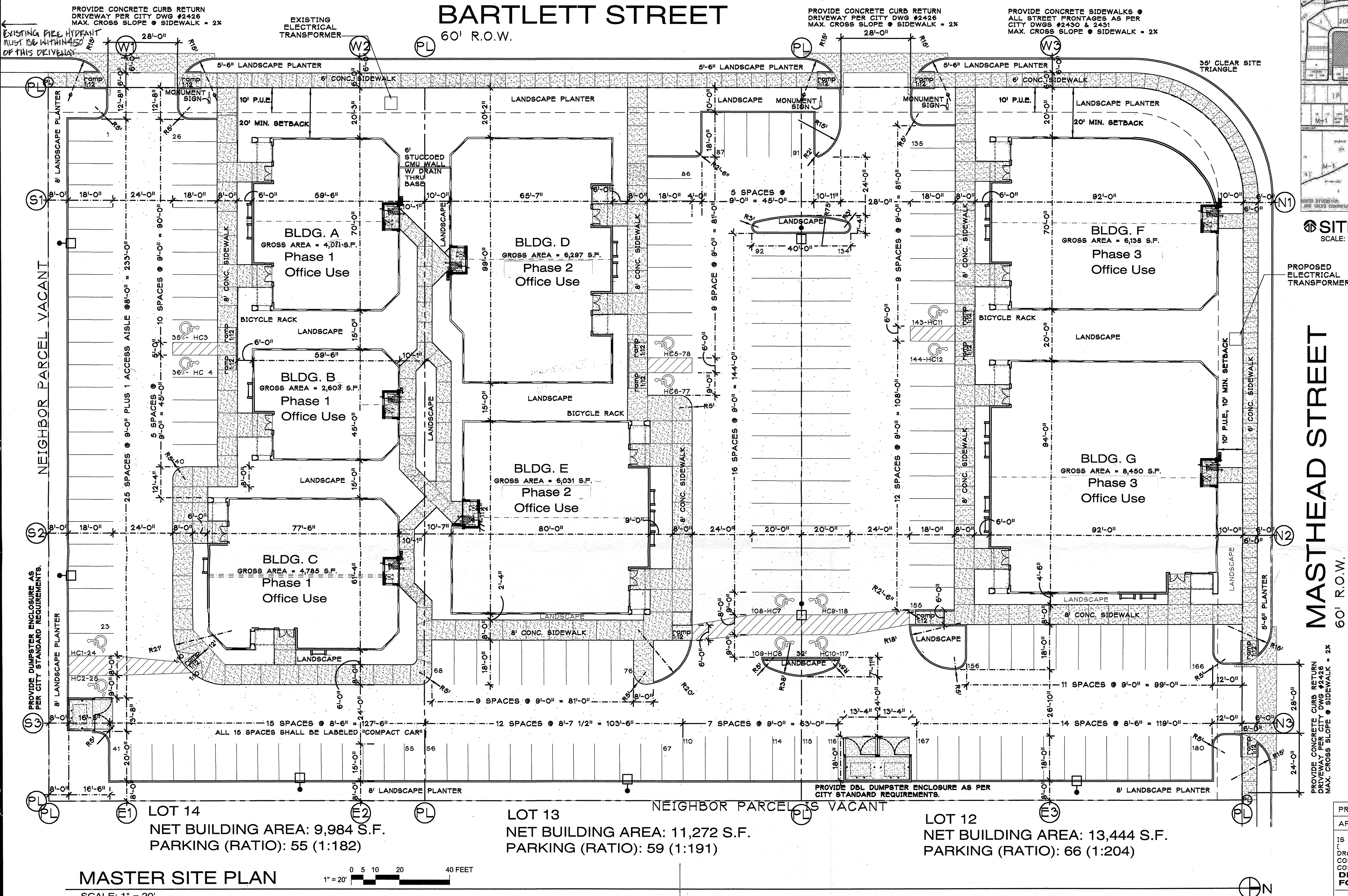
SIGNAGE: A MONUMENT SIGN SHALL BE PROVIDED AT ALL BARTLETT STREET CURB RETURN ENTRANCES. INDIVIDUAL WALL MOUNTED BUILDING SIGNS SHALL BE PROVIDED AT EACH BUSINESS ENTRANCE, AS INDICATED ON BUILDING ELEVATIONS.

DORMAN and BREEN
LAURENCE BREEN A.L.A.
SANTA FE, NM 505-982-9196

R + B
RICHARD DORMAN F.A.I.A.
ALBUQUERQUE, NM 505-299-5940

Masthead Pointe
Lots 12, 13 & 14
Journal Center 2, Unit 2
ALBUQUERQUE, NM

C-1.1
2 OF 24



SITE LOCATION
SCALE: 1" = 1000'

UTILITY LEGEND

- UTILITY PEDESTAL
- SANITARY SEWER MANHOLE
- CENTERLINE MONUMENT
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- TELEPHONE MANHOLE
- POLE MOUNTED LIGHT FIXTURE
20' HIGH, "LITHONIA" OR EQUAL,
MODEL KAD, FLAT LENSED SQUARE.

PAVEMENT LEGEND

- CONCRETE
- COLORED CONCRETE
- ASPHALT PAVEMENT
- LANDSCAPE PLANTER
AREAS (NO HATCH)
- DESIGNATED WHEELCHAIR
ROUTE, 2% MAX. X-SLOPE

MASTHEAD STREET
60' R.O.W.

MASTER SITE PLAN

SCALE: 1" = 20'

PROJECT DATA

LEGAL DESCRIPTION:
LOTS 12, 13 & 14 JOURNAL CENTER 2, UNIT 2, BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.

ZONE ATLAS: D-17-Z
ZONE CLASSIFICATION: IP
LAND USE DATA
COMBINED LOT AREA: 3.17 AC (137,904 SQ.FT.)
COMBINED BUILDING FLOOR AREAS: 34,700 SQ.FT., 25%
NET LOT AREA: 103,204 SQ.FT., 75%
LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN

OFFSTREET PARKING REQUIREMENTS:
NET LEASEABLE AREA = 34,700 SQ.FT.
OFFICE USE
REQUIRED PARKING STALLS
= 174 STALLS REQ'D @ 1200 SQ.FT.

PROVIDED PARKING STALLS = 180 STALLS,
INCLUDES 8 REQ'D ACCESSIBLE SPACES
PLUS 4 VAN ACCESSIBLE STALLS
REQUIRED & PROVIDED BICYCLE PARKING =
8 SPACES

SITE LIGHTING: SHALL BE PROVIDED BY SHIELDED
BUILDING MOUNTED WALL FIXTURES AND SHIELDED
20' POLE LIGHTS.

SIGNAGE: A MONUMENT SIGN SHALL BE PROVIDED
AT ALL BARTLETT STREET CURB RETURN
ENTRANCES. INDIVIDUAL WALL MOUNTED BUILDING
SIGNS SHALL BE PROVIDED AT EACH BUSINESS
ENTRANCE, AS INDICATED ON BUILDING
ELEVATIONS.

LOT 12
NET BUILDING AREA: 13,444 S.F.
PARKING (RATIO): 66 (1:204)

LOT 13
NET BUILDING AREA: 11,272 S.F.
PARKING (RATIO): 59 (1:191)

LOT 14
NET BUILDING AREA: 9,984 S.F.
PARKING (RATIO): 55 (1:182)

PROJECT NO. **1003782**
APPLICATION NO. **04-10773**

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
YES () NO (X) IF YES, THEN A SET OF APPROVED
DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY
CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR
CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT APPROVAL:

TRAFFIC ENGINEER: *Bradley P. Bingham* **12-29-04**
TRANSPORTATION DIVISION
UTILITY DEVELOPMENT DIVISION: *Christina Sandoval* **12/29/04**
PARKS RECREATION: *Kellie Cook* **12-29-04**
CITY ENGINEER: *Michael Holton* **1-10-05**
DRB CHAIRPERSON, PLANNING DEPT.: *Maurice* **12/29/04**

ENVIRONMENTAL HEALTH (CONDITIONAL): *Michael Holton* **1-10-05**
SOLID WASTE MANAGEMENT: *Maurice* **12/29/04**
DRB CHAIRPERSON, PLANNING DEPT.: *Maurice* **12/29/04**

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